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NOTES

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THIS SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION SUPPLIED AND TO THE SURVEYOR'S BEST KNOWLEDGE ARE APPROXIMATELY AS SHOWN. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.

2. I HAVE EXAMINED THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR GWINNETT COUNTY, GEORGIA AND INCORPORATED AREAS, COMMUNITY PANEL NUMBER 13135C00B1G, PANEL 81 OF 155, EFFECTIVE DATE MARCH 4, 2013 AND FOUND NO PORTION OF THE PROPERTY SHOWN HEREON TO FALL WITHIN A DESIGNATED FLOOD ZONE "A" (AREAS OF 100 YEAR FLOOD). THE PROPERTY SHOWN HEREON TO FALL WITHIN A DESIGNATED FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD).

3. THE ORTHOMETRIC HEIGHTS (ELEVATIONS AND CONTOURS) SHOWN HEREON WERE DETERMINED BY GPS OBSERVATIONS AND WERE ADJUSTED BY PLANNERS AND ENGINEERS COLLABORATIVE IN NOVEMBER 2025. NORTH AMERICAN DATUM OF 1983 (NAD83), NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), GEORGIA WEST ZONE STATE PLANE COORDINATES.

4. THE TERM "CERTIFICATION" RELATING TO PROFESSIONAL ENGINEERING AND LAND SURVEYING SERVICES SHALL MEAN A SIGNED STATEMENT BASED UPON FACTS AND KNOWLEDGE KNOWN TO THE REGISTRANT AND IS NOT A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED.

5. THIS SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE INSPECTION REPORT. EASEMENTS OR OTHER ENCUMBRANCES MAY EXIST ON PUBLIC RECORD BUT NOT BE SHOWN HEREON.

(IF TITLE AVAILABLE) THE PROPERTY DESCRIBED HERE ON (THE "PROPERTY") IS THE SAME AS THE PROPERTY DESCRIBED IN COMMITMENT NO. _____ WITH AN EFFECTIVE DATE OF _____ AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.

6. NO ZONING INFORMATION PROVIDED FOR BUILDING SETBACKS.

7. THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF GEORGIA.

8. THE PROPERTY HAS DIRECT ACCESS TO CROOKED CREEK ROAD AND THE CORNERS PARKWAY, A DEDICATED PUBLIC STREET OR HIGHWAY.

9. THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

10. THIS DATA SET WAS TESTED TO MEET ASPRS POSITIONAL ACCURACY STANDARDS FOR DIGITAL GEOSPATIAL DATA (2014) FOR A 5.7 (CM) RMSEZ VERTICAL ACCURACY CLASS. ACTUAL NVA ACCURACY WAS FOUND TO BE RMSEZ = 5.7 CM, EQUATING TO +/- 11.3 CM AT 95% CONFIDENCE LEVEL. ACTUAL VVA ACCURACY WAS FOUND TO BE +/- 17.2 CM AT THE 95TH PERCENTILE.

11. AT THE TIME OF SURVEY THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A CEMETERY OR BURIAL SITE.

12. AT THE TIME OF SURVEY, THERE WAS NO OBSERVED EVIDENCE OF ANY DELINEATED WETLAND AREAS.

13. THE SUBJECT PROPERTY IS CONTIGUOUS AND CONTAINS NO GAPS OR GORES.

REFERENCES

1. ALTA/ACSM LAND TITLE SURVEY FOR WELLS REF-6600 THE CORNERS PARKWAY OWNER, LLC, A DELAWARE LIMITED LIABILITY COMPANY, MAC 6200 CORNERS, LLC, A GEORGIA LIMITED LIABILITY COMPANY, ITS SUCCESSORS AND ASSIGNS; "RGA REINSURANCE COMPANY, ITS SUCCESSORS AND/OR ASSIGNS AS THEIR RESPECTIVE INTEREST MAY APPEAR" & CHICAGO TITLE INSURANCE COMPANY, JOB NUMBER 1.15.0258.600, FILE NUMBER 211-E-042, PREPARED BY TRAVIS PRUITT & ASSOCIATES, INC., DATED JUNE 24, 2025, LAST REVISED 9/15/15, SIGNED AND SEALED BY JAIME F. HIGGINS, REGISTERED LAND SURVEYOR IN THE STATE OF GEORGIA, PROFESSIONAL LICENSE NUMBER 2802.

ALTA/NSPS LAND TITLE SURVEY - TABLE "A" ITEMS

- 1. MONUMENTS PLACED OR FOUND AT ALL MAJOR CORNERS OF THE BOUNDARY OF THE SURVEYED PROPERTY, AND SHOWN HEREON.
- 2. ADDRESS(ES) OF THE SURVEYED PROPERTY: 6200 THE CORNERS PARKWAY, NORCROSS, GEORGIA
- 3. FLOOD ZONE INFORMATION IS INCLUDED IN GENERAL NOTES, NOTE 2.
- 4. GROSS LAND AREA OF SUBJECT PROPERTY IS 16.117 ACRES.

6(A). IF THE CURRENT ZONING CLASSIFICATION, SETBACK REQUIREMENTS, THE HEIGHT AND FLOOR SPACE AREA RESTRICTIONS, AND PARKING REQUIREMENTS SPECIFIC TO THE SURVEYED PROPERTY ARE SET FORTH IN A ZONING REPORT OR LETTER PROVIDED TO THE SURVEYOR BY THE CLIENT OR THE CLIENT'S DESIGNATED REPRESENTATIVE, LIST THE ABOVE ITEMS ON THE PLAT OR MAP AND IDENTIFY THE DATE AND SOURCE OF THE REPORT OR LETTER.

6(B). IF THE ZONING SETBACK REQUIREMENTS SPECIFIC TO THE SURVEYED PROPERTY ARE SET FORTH IN A ZONING REPORT OR LETTER PROVIDED TO THE SURVEYOR BY THE CLIENT OR THE CLIENT'S DESIGNATED REPRESENTATIVE, AND IF THOSE REQUIREMENTS DO NOT REQUIRE AN INTERPRETATION BY THE SURVEYOR, GRAPHICALLY DEPICT THOSE REQUIREMENTS ON THE PLAT OR MAP AND IDENTIFY THE DATE AND SOURCE OF THE REPORT OR LETTER.

7(A)(1). EXTERIOR DIMENSIONS OF ALL BUILDINGS AT GROUND LEVEL ARE SHOWN HEREON.

7(C). MEASURED HEIGHT OF ALL BUILDINGS ABOVE GRADE SHOWN HEREON.

8. SUBSTANTIAL FEATURES OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK ARE SHOWN HEREON.

9. NUMBER AND TYPE OF CLEARLY IDENTIFIABLE PARKING SPACES ON SURFACE PARKING AREAS, LOTS AND IN PARKING STRUCTURES IS SHOWN HEREON. REGULAR PARKING SPACES: 774 HANDICAP PARKING SPACES: 16 TOTAL PARKING SPACES: 790

10. THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE PROPERTY, AND NO ENCROACHMENTS ONTO THE PROPERTY BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES, EXCEPT AS FOLLOWS:

11. OBSERVED EVIDENCE OF UNDERGROUND UTILITIES EXISTING ON OR SERVING THE SURVEYED PROPERTY LOCATED AND SHOWN HEREON. NO ADDITIONAL LOCATE OR INVESTIGATION OF UTILITIES REQUESTED BY THE CLIENT.

13. ADJACENT OWNER INFORMATION IS SHOWN HEREON AS REQUIRED BY GEORGIA STANDARDS.

14. DISTANCE FROM PROPERTY TO INTERSECTION OF THE (NEAREST STREET) IS SHOWN HEREON.

16. NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.

17. NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES IF SUCH INFORMATION IS MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION. NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.

ZONING (PER REFERENCE 1)

CURRENT ZONING - C2
FRONT YARD - 50 FEET
SIDE YARD - 10 FEET
REAR YARD - 15 FEET

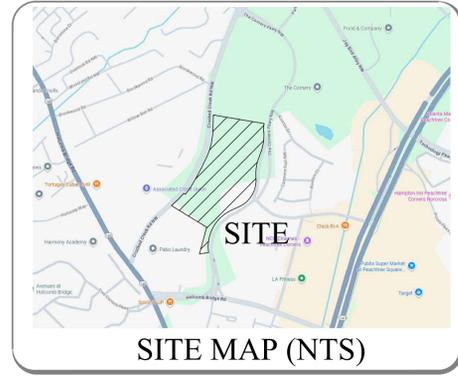
LEGAL DESCRIPTION

LL THAT TRACT OR PARCEL OF LAND lying and being in Land Lot 283, of the 6th District, Gwinnett County, Georgia and being more particularly described as follows:

BEGIN at a set 1/2 inch rebar with cap located 999.50 feet more or less on the easterly right of way line of Crooked Creek Road (variable public right of way) as measured southwesterly from the most southerly end of mitered intersection created by the southerly right of way line of The Corners Parkway (variable public right of way) and said easterly right of way line of Crooked Creek Road, said rebar being the POINT OF BEGINNING;

THENCE leaving said easterly right of way of Crooked Creek Road and proceed S80°25'07"E a distance of 565.28 feet to a set 1/2 inch rebar with cap on the westerly right of way of said The Corners Parkway; thence along said westerly right of way of The Corners Parkway the following courses and distances: along a curve turning to the left with an arc length of 95.58 feet, having a radius of 430.33 feet, being subtended by a chord bearing of S01°57'32"W, and a chord length of 95.38 feet to a point; along a curve turning to the right with an arc length of 206.85 feet, having a radius of 499.02 feet, being subtended by a chord bearing of S07°45'32"W, and a chord length of 205.37 feet to a point; S19°38'02"W a distance of 100.00 feet to a point; along a curve turning to the left with an arc length of 156.71 feet, having a radius of 438.00 feet, being subtended by a chord bearing of S09°23'02"W, and a chord length of 155.88 feet to a point; S00°51'58"E a distance of 69.98 feet to a point; along a curve turning to the right with an arc length of 369.30 feet, having a radius of 317.00 feet, being subtended by a chord bearing of S32°30'32"W, and a chord length of 348.77 feet to a point; S65°53'02"W a distance of 85.00 feet to a point; along a curve turning to the left with an arc length of 570.17 feet, having a radius of 439.68 feet, being subtended by a chord bearing of S28°44'52"W, and a chord length of 531.05 feet to a set PK Nail; thence leaving said westerly right of way of The Corners Parkway and proceed S81°27'55"W a distance of 101.92 feet to a set PK Nail; thence N15°03'16"E a distance of 303.15 feet to a set 1/2 inch rebar with cap; thence N58°34'45"W a distance of 432.41 feet to a found 1/2 inch open to pipe; thence N58°34'45"W a distance of 21.35 feet to a set PK Nail on said easterly right of way line of Crooked Creek Road; thence along said easterly right of way of Crooked Creek Road the following courses and distances: N47°45'39"E a distance of 75.01 feet to a point; along a curve turning to the left with an arc length of 115.79 feet, having a radius of 860.41 feet, being subtended by a chord bearing of N43°54'20"E, and a chord length of 115.70 feet to a set PK Nail; S58°30'50"E a distance of 20.22 feet to a set 1/2 inch rebar with cap; along a curve turning to the left with an arc length of 161.86 feet, having a radius of 880.41 feet, being subtended by a chord bearing of N34°35'15"E, and a chord length of 161.63 feet to a point; N29°19'14"E a distance of 70.97 feet to a point; along a curve turning to the left with an arc length of 234.98 feet, having a radius of 2904.79 feet, being subtended by a chord bearing of N27°00'11"E, and a chord length of 234.92 feet to a point; along a curve turning to the left with an arc length of 304.44 feet, having a radius of 765.25 feet, being subtended by a chord bearing of N13°17'19"E, and a chord length of 302.44 feet to a point; N01°52'54"E a distance of 169.40 feet to a set 1/2 inch rebar with cap, said rebar being the POINT OF BEGINNING.

Tract or parcel contains 704,673 square feet or 16.177 acres.



This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated hereon. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A Section 15-6-67.

Date of Map or Plat: 11/25/2025

THE FIELD DATA UPON WHICH THIS PLAT IS BASED WAS COLLECTED USING A TOPCON TOTAL STATION "TS1033", "RS105", GEOMAX ZOO100 ROBOTIC STATION, A GEOMAX ZENIUS800 SERIES DATA COLLECTOR, eGPS 201L GNSS RECEIVER WITH A SITE-LOCALIZED RTK NETWORK, AND HAS A RELATIVE POSITIONAL ACCURACY OF 0.1 FEET.

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND WAS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 1,036,094 FEET.

To McKinley Homes; Title Company;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1-4, 8, 9, 10, 13, and 16 of Table A thereof. The field work was completed on: 11/21/2025

Date of Map or Plat: 11/25/2025

Surveyor's Signature _____

Printed name _____

SHEET 1 OF 5
DRAWN BY: J.S.
CHECKED BY: J.M.S.
FILE NO.: 190555.00
DATE: 11/25/2025
SCALE: 1" = 40'
DATE OF FIELD WORK: 11/21/25



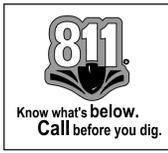
COUNTY: GWINNETT
STATE: GEORGIA

ALTA/NSPS LAND TITLE SURVEY
FOR
MCKINLEY HOMES
AND
TITLE COMPANY

LAND LOT(S): 283
DISTRICT: 6TH

REV	DATE	DESCRIPTION	BY
5			
4			
3			
2			
1			

PECC 60 YEARS
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(770) 451-2741 WWW.PEC.PLUS
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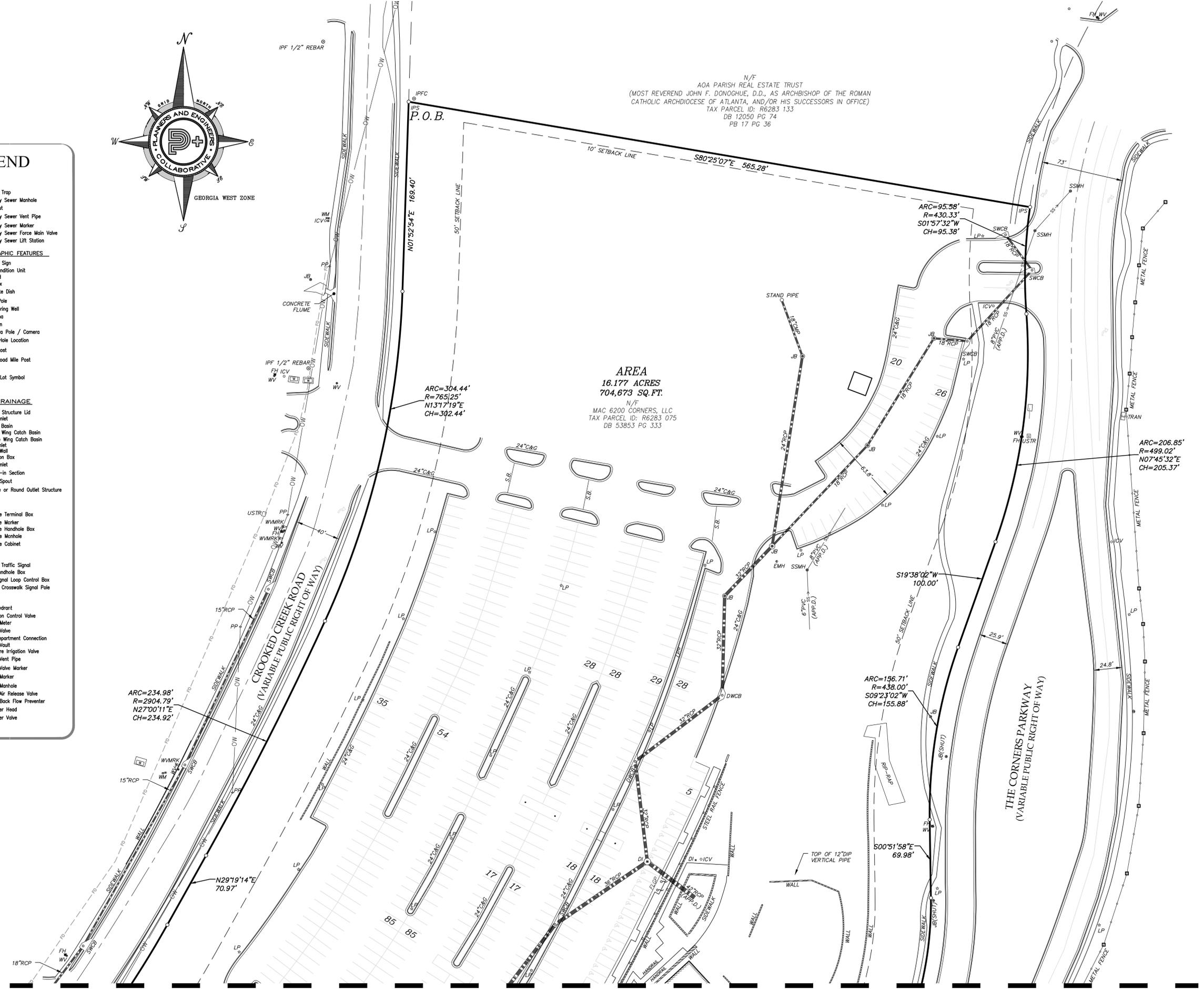
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STRUCTURE LEGEND

- | | |
|--------------------------------|------------------------------------|
| CABLE / TV | SEWER |
| Cable / TV Marker | Grease Trap |
| Cable / TV Pedestal | Sanitary Sewer Manhole |
| Cable / TV Manhole | Cleanout |
| Cable / TV Handhole | Sanitary Sewer Vent Pipe |
| Cable / TV Cable Box | Sanitary Sewer Marker |
| | Sanitary Sewer Force Main Valve |
| | Sanitary Sewer Lift Station |
| ELECTRIC/POWER | SITE / TOPOGRAPHIC FEATURES |
| Transformer | Street Sign |
| Gas Wire | Air Condition Unit |
| Electric Meter | Bollard |
| Power Pole/Utility Pole | Mailbox |
| Street Light/Light Pole | Satellite Dish |
| Electric Panel | Flag Pole |
| Electric Box | Monitoring Well |
| Electric Manhole | Antenna |
| Electric Handhole | Column |
| Electric / Power Marker | Camera Pole / Camera |
| Spot Light | Bore Hole Location |
| FIBER OPTIC | Mile Post |
| Fiber Optic Marker | Rail Road Mile Post |
| Fiber Optic Manhole | |
| Fiber Optic Pedestal | Land Lot Symbol |
| GAS | STORM / DRAINAGE |
| Gas Meter | Storm Structure Lid |
| Gas Valve | Drop Inlet |
| Gas FFI Cap | Catch Basin |
| Gas Manhole | Single Wing Catch Basin |
| Gas Marker | Double Wing Catch Basin |
| Gas Pressure Relief Valve | Weir Inlet |
| Gas Vault | Head Wall |
| Gas Vent Pipe | Junction Box |
| | Curb Inlet |
| | Flared-in Section |
| | Down Spout |
| | Square or Round Outlet Structure |
| PAVEMENT MARKING | TELEPHONE |
| Pavement Marking | Telephone Terminal Box |
| Pavement Marking | Telephone Marker |
| Pavement Marking | Telephone Handhole Box |
| Turn Arrow Left/Right | Telephone Manhole |
| Turn Arrow Left | Telephone Cabinet |
| Turn Arrow Right | |
| Traffic Arrow Straight | TRAFFIC |
| Traffic Arrow Straight/Left | Overhead Traffic Signal |
| Traffic Arrow Straight/Right | Traffic Handhole Box |
| Traffic Arrow U-Turn | Traffic Signal Loop Control Box |
| Handicap Pavement Marking | Traffic & Crosswalk Signal Pole |
| Bike Lane Pavement Marking | |
| PROPERTY MONUMENTS | WATER |
| Right-of-Way Monument Found | Fire Hydrant |
| Concrete Monument Found | Irrigation Control Valve |
| Iron Pin Set | Water Meter |
| Iron Pin Found (Rebar found) | Water Valve |
| PK Nail Set | Fire Department Connection |
| PK Nail Found | Water Vault |
| Point | Pressure Irrigation Valve |
| Benchmark | Water Vent Pipe |
| | Water Valve Marker |
| | Water Marker |
| | Water Manhole |
| | Water Air Release Valve |
| | Water Back Flow Preventer |
| | Sprinkler Head |
| | Sprinkler Valve |
| MISCELLANEOUS UTILITIES | |
| Utility Structure | |



N/F
AOA PARISH REAL ESTATE TRUST
(MOST REVEREND JOHN F. DONOGHUE, D.D., AS ARCHBISHOP OF THE ROMAN CATHOLIC ARCHDIOCESE OF ATLANTA, AND/OR HIS SUCCESSORS IN OFFICE)
TAX PARCEL ID: R6283 133
DB 12050 PG. 74
PB 17 PG. 36

AREA
16.177 ACRES
704,673 SQ. FT.
N/F
MAC 6200 CORNERS, LLC
TAX PARCEL ID: R6283 075
DB 53853 PG. 333

ARC=234.98'
R=2904.79'
N27°00'11"E
CH=234.92'

ARC=304.44'
R=765.25'
N131°19'E
CH=302.44'

ARC=95.58'
R=430.33'
S01°57'32"W
CH=95.38'

ARC=206.85'
R=499.02'
N07°45'32"E
CH=205.37'

ARC=156.71'
R=438.00'
S09°23'02"W
CH=155.88'

500°51'58"E
69.98'

MATCH LINE - SEE SHEET 2

SHEET 2 OF 5
DRAWN BY: M.S.
CHECKED BY: J.C.S.
FILE NO.: 190555.00
DATE: 11/25/2025
SCALE: 1" = 40'
DATE OF FIELD WORK: 11/21/25

ALTA/NSPS LAND TITLE SURVEY
FOR
MCKINLEY HOMES
AND
TITLE COMPANY

REV	DATE	DESCRIPTION	BY
5			
4			
3			
2			
1			

PECC 60 YEARS
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ARBORETS + SURVEYING & CONSTRUCTION + WATER RESOURCES
350 RESEARCH COURT, REACH TREE CORNERS, GEORGIA 30092
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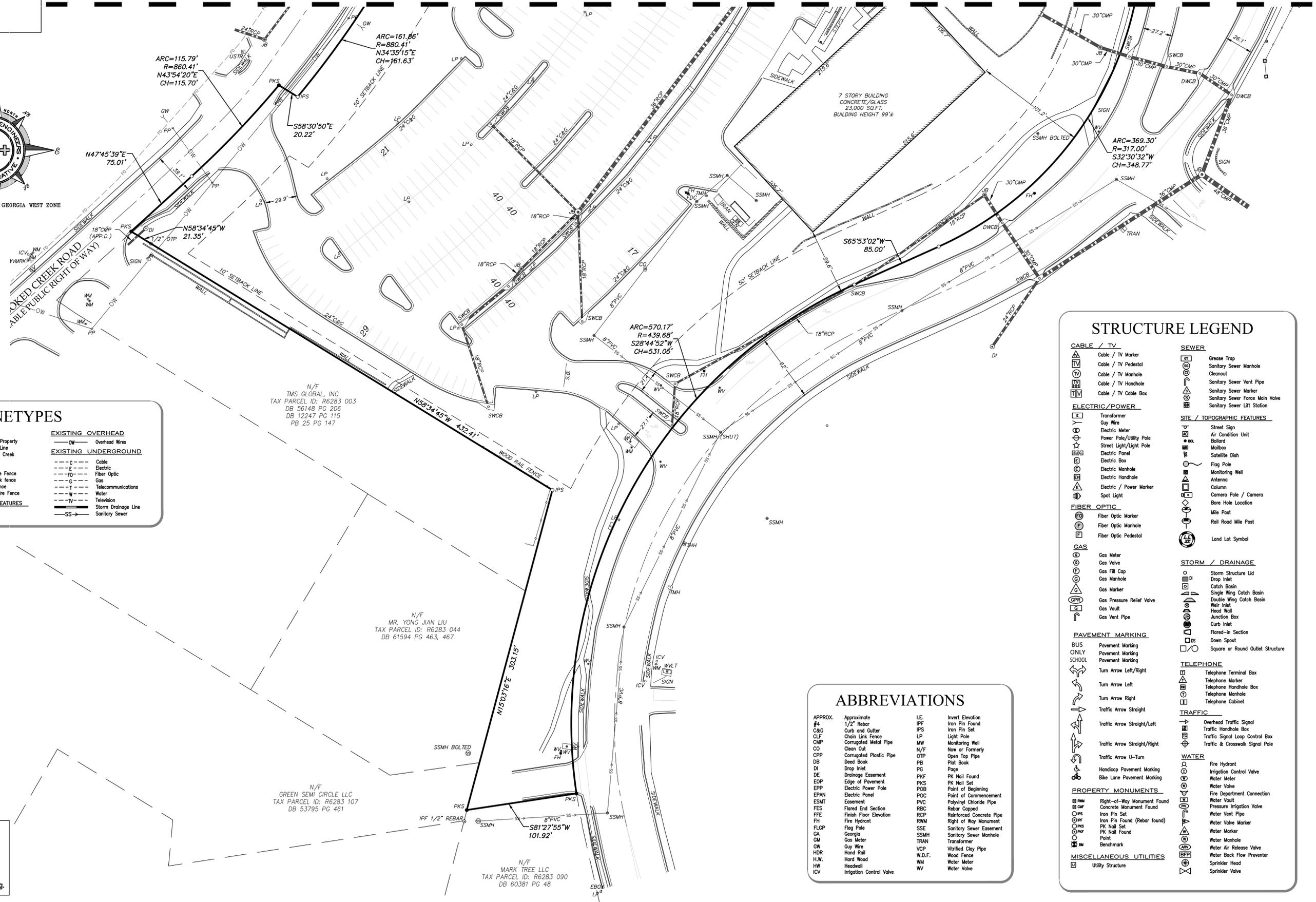
WINNETT COUNTY
GEORGIA

LAND LOT(S) 283
DISTRICT 6/H

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MATCH LINE - SEE SHEET 2



LINETYPES

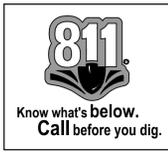
PROPERTY	EXISTING OVERHEAD
--- Adjacent Property	--- Overhead Wires
--- Property Line	--- Existing Underground
--- Center of Creek	
FENCE LINES	EXISTING UNDERGROUND
-x- Barb Wire Fence	--- C --- Cable
-o- Chain link fence	--- E --- Electric
-d- Wood Fence	--- FO --- Fiber Optic
-w- Woven Wire Fence	--- G --- Gas
	--- T --- Telecommunications
	--- W --- Water
	--- TV --- Television
SITE / TOPOGRAPHIC FEATURES	--- SD --- Storm Drainage Line
o Guardrail	--- SS --- Sanitary Sewer

STRUCTURE LEGEND

CABLE / TV	SEWER
△ Cable / TV Marker	⊠ Grease Trap
○ Cable / TV Pedestal	⊡ Sanitary Sewer Manhole
□ Cable / TV Manhole	○ Cleanout
⊞ Cable / TV Handhole	⊞ Sanitary Sewer Vent Pipe
⊞ Cable / TV Cable Box	⊞ Sanitary Sewer Marker
	⊞ Sanitary Sewer Force Main Valve
	⊞ Sanitary Sewer Lift Station
ELECTRIC / POWER	SITE / TOPOGRAPHIC FEATURES
⊞ Transformer	⊞ Street Sign
⊞ Guy Wire	⊞ Air Condition Unit
⊞ Electric Meter	⊞ Bollard
⊞ Power Pole/Utility Pole	⊞ Mailbox
⊞ Street Light/Light Pole	⊞ Satellite Dish
⊞ Electric Panel	⊞ Flag Pole
⊞ Electric Box	⊞ Monitoring Well
⊞ Electric Manhole	⊞ Antenna
⊞ Electric Handhole	⊞ Column
⊞ Electric / Power Marker	⊞ Camera Pole / Camera
⊞ Spot Light	⊞ Bore Hole Location
	⊞ Mile Post
	⊞ Rail Road Mile Post
	⊞ Land Lot Symbol
FIBER OPTIC	STORM / DRAINAGE
⊞ Fiber Optic Marker	⊞ Storm Structure Lid
⊞ Fiber Optic Manhole	⊞ Drop Inlet
⊞ Fiber Optic Pedestal	⊞ Catch Basin
	⊞ Single Wing Catch Basin
	⊞ Double Wing Catch Basin
	⊞ Weir Inlet
	⊞ Head Wall
	⊞ Junction Box
	⊞ Curb Inlet
	⊞ Flared-in Section
	⊞ Down Spout
	⊞ Square or Round Outlet Structure
GAS	TELEPHONE
⊞ Gas Meter	⊞ Telephone Terminal Box
⊞ Gas Valve	⊞ Telephone Marker
⊞ Gas Fill Cap	⊞ Telephone Handhole Box
⊞ Gas Manhole	⊞ Telephone Manhole
⊞ Gas Marker	⊞ Telephone Cabinet
⊞ Gas Pressure Relief Valve	
⊞ Gas Vault	
⊞ Gas Vent Pipe	
PAVEMENT MARKING	TRAFFIC
⊞ Pavement Marking	⊞ Overhead Traffic Signal
⊞ Pavement Marking	⊞ Traffic Handhole Box
⊞ Pavement Marking	⊞ Traffic Signal Loop Control Box
⊞ Turn Arrow Left/Right	⊞ Traffic & Crosswalk Signal Pole
⊞ Turn Arrow Left	
⊞ Turn Arrow Right	
⊞ Traffic Arrow Straight	
⊞ Traffic Arrow Straight/Left	
⊞ Traffic Arrow Straight/Right	
⊞ Traffic Arrow U-Turn	
⊞ Handicap Pavement Marking	
⊞ Bike Lane Pavement Marking	
PROPERTY MONUMENTS	WATER
⊞ Right-of-Way Monument Found	⊞ Fire Hydrant
⊞ Concrete Monument Found	⊞ Irrigation Control Valve
⊞ Iron Pin Set	⊞ Water Meter
⊞ Iron Pin Found (Rebar found)	⊞ Water Valve
⊞ PK Nail Set	⊞ Fire Department Connection
⊞ PK Nail Found	⊞ Water Vault
⊞ Point	⊞ Pressure Irrigation Valve
⊞ Benchmark	⊞ Water Vent Pipe
	⊞ Water Valve Marker
	⊞ Water Marker
	⊞ Water Manhole
	⊞ Water Air Release Valve
	⊞ Water Back Flow Preventer
	⊞ Sprinkler Head
	⊞ Sprinkler Valve
MISCELLANEOUS UTILITIES	
⊞ Utility Structure	

ABBREVIATIONS

APPROX.	Approximate	I.E.	Invert Elevation
#4	1/2" Rebar	IPF	Iron Pin Found
C&G	Curb and Gutter	IPS	Iron Pin Set
CLF	Chain Link Fence	LP	Light Pole
CMP	Corrugated Metal Pipe	MW	Monitoring Well
CO	Clean Out	N/F	Not or Formerly
CPP	Corrugated Plastic Pipe	OTP	Open Top Pipe
DB	Deed Book	PB	Plot Book
DI	Drop Inlet	PG	Page
DE	Drainage Easement	PKF	PK Nail Found
EOP	Edge of Pavement	PKS	PK Nail Set
EPP	Electric Power Pole	POB	Point of Beginning
EPAN	Electric Panel	POC	Point of Commencement
ESMT	Easement	PVC	Polyvinyl Chloride Pipe
FES	Flared End Section	RBC	Rebar Capped
FFC	Finish Floor Elevation	RCP	Reinforced Concrete Pipe
FH	Fire Hydrant	RWM	Right of Way Monument
FLGP	Flag Pole	SSE	Sanitary Sewer Easement
GA	Georgia	SSMH	Sanitary Sewer Manhole
GM	Gas Meter	TRAN	Transformer
GW	Guy Wire	VCP	Vitrified Clay Pipe
HDR	Hard Road	W.D.F.	W.D.F.
H.W.	Hard Wood	WM	Water Meter
HW	Headwall	WV	Water Valve
ICV	Irrigation Control Valve		



SHEET 3 OF 5
 DRAWN BY: JVS
 CHECKED BY: JVS
 FILE NO.: 190555.00
 DATE: 11/25/2025
 SCALE: 1" = 40'
 DATE OF FIELD WORK: 11/21/25



ALTA/NSPS LAND TITLE SURVEY
 FOR
 MCKINLEY HOMES
 AND
 TITLE COMPANY

GEORGIA
 COUNTY
 GWINNETT

NO.	REVISIONS	DESCRIPTION	DATE	BY
5				
4				
3				
2				
1				

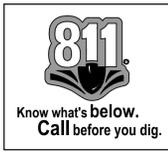
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MATCH LINE - SEE SHEET 5

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SHEET 4 OF 5
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 CHECKED BY: J.S.
 FILE NO.: 190555-00
 DATE: 11/25/2025
 SCALE: 1" = 40'
 DATE OF FIELD WORK: 11/21/25



FOR
MCKINLEY HOMES AND TITLE COMPANY
 LAND LOTS: 283
 DISTRICT: 6/H
 COUNTY: GWINNETT
 GEORGIA

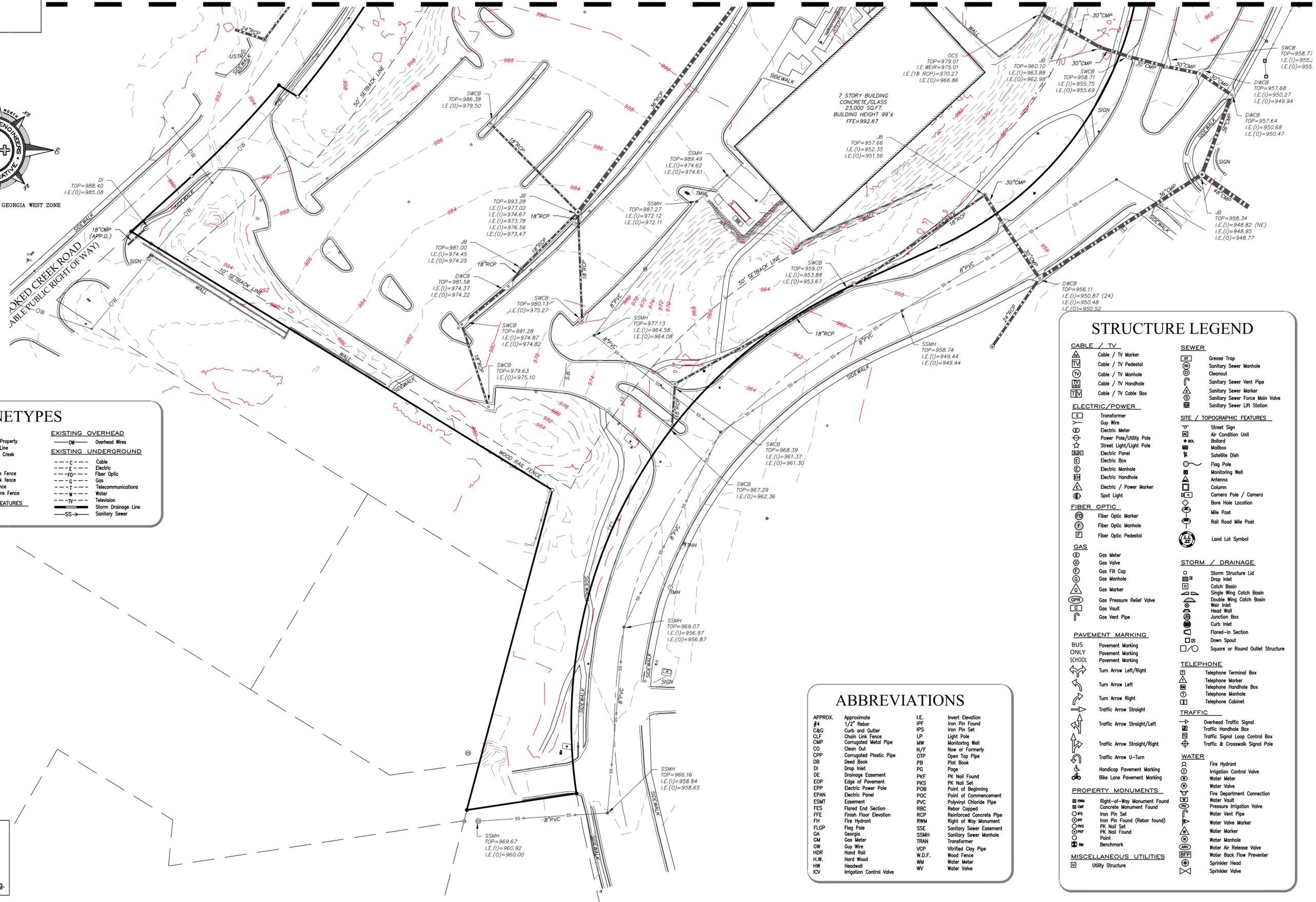
REV	DATE	DESCRIPTION	BY
5			
4			
3			
2			
1			

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MATCH LINE - SEE SHEET 4



LINETYPES

PROPERTY		EXISTING OVERHEAD	
---	Adjacent Property	OW	Overhead Wires
---	Property Line	---	EXISTING UNDERGROUND
---	Center of Creek	---	Cable
---		---	Electric
---		---	Fiber Optic
---		---	Gas
---		---	Telecommunications
---		---	Water
---		---	Television
---		---	Storm Drainage Line
---		---	Sanitary Sewer
FENCE LINES			
X	Barb Wire Fence		
o	Chain link fence		
o	Wood Fence		
o	Woven Wire Fence		
SITE / TOPOGRAPHIC FEATURES			
o	Guardrail		

STRUCTURE LEGEND

CABLE / TV		SEWER	
[Symbol]	Cable / TV Marker	[Symbol]	Grease Trap
[Symbol]	Cable / TV Pedestal	[Symbol]	Sanitary Sewer Manhole
[Symbol]	Cable / TV Manhole	[Symbol]	Cleanout
[Symbol]	Cable / TV Handhole	[Symbol]	Sanitary Sewer Vent Pipe
[Symbol]	Cable / TV Cable Box	[Symbol]	Sanitary Sewer Marker
		[Symbol]	Sanitary Sewer Force Main Valve
		[Symbol]	Sanitary Sewer Lift Station
ELECTRIC / POWER		SITE / TOPOGRAPHIC FEATURES	
[Symbol]	Transformer	[Symbol]	Street Sign
[Symbol]	Guy Wire	[Symbol]	Air Condition Unit
[Symbol]	Electric Meter	[Symbol]	Bollard
[Symbol]	Power Pole/Utility Pole	[Symbol]	Mailbox
[Symbol]	Street Light/Light Pole	[Symbol]	Satellite Dish
[Symbol]	Electric Panel	[Symbol]	Flag Pole
[Symbol]	Electric Box	[Symbol]	Monitoring Well
[Symbol]	Electric Manhole	[Symbol]	Antenna
[Symbol]	Electric Handhole	[Symbol]	Column
[Symbol]	Electric / Power Marker	[Symbol]	Bore Hole Location
[Symbol]	Spot Light	[Symbol]	Mail Post
		[Symbol]	Rail Road Mile Post
		[Symbol]	Land Lot Symbol
FIBER OPTIC		STORM / DRAINAGE	
[Symbol]	Fiber Optic Marker	[Symbol]	Storm Structure Lid
[Symbol]	Fiber Optic Manhole	[Symbol]	Drop Inlet
[Symbol]	Fiber Optic Pedestal	[Symbol]	Catch Basin
		[Symbol]	Single Wing Catch Basin
		[Symbol]	Double Wing Catch Basin
		[Symbol]	Weir Inlet
		[Symbol]	Head Well
		[Symbol]	Junction Box
		[Symbol]	Curb Inlet
		[Symbol]	Flared-in Section
		[Symbol]	Down Spout
		[Symbol]	Square or Round Outlet Structure
GAS		PAVEMENT MARKING	
[Symbol]	Gas Meter	[Symbol]	Pavement Marking
[Symbol]	Gas Valve	[Symbol]	Pavement Marking
[Symbol]	Gas Fill Cap	[Symbol]	Pavement Marking
[Symbol]	Gas Manhole	[Symbol]	Turn Arrow Left/Right
[Symbol]	Gas Marker	[Symbol]	Turn Arrow Left
[Symbol]	Gas Pressure Relief Valve	[Symbol]	Turn Arrow Right
[Symbol]	Gas Vault	[Symbol]	Traffic Arrow Straight
[Symbol]	Gas Vent Pipe	[Symbol]	Traffic Arrow Straight/Left
		[Symbol]	Traffic Arrow Straight/Right
		[Symbol]	Traffic Arrow U-Turn
		[Symbol]	Handicap Pavement Marking
		[Symbol]	Bike Lane Pavement Marking
PROPERTY MONUMENTS		TELEPHONE	
[Symbol]	Right-of-Way Monument Found	[Symbol]	Telephone Terminal Box
[Symbol]	Concrete Monument Found	[Symbol]	Telephone Marker
[Symbol]	Iron Pin Set	[Symbol]	Telephone Handhole Box
[Symbol]	Iron Pin Found (Rebar found)	[Symbol]	Telephone Manhole
[Symbol]	PK Nail Set	[Symbol]	Telephone Cabinet
[Symbol]	PK Nail Found		
[Symbol]	Point		
[Symbol]	Benchmark		
MISCELLANEOUS UTILITIES		TRAFFIC	
[Symbol]	Utility Structure	[Symbol]	Overhead Traffic Signal
		[Symbol]	Traffic Handhole Box
		[Symbol]	Traffic Signal Loop Control Box
		[Symbol]	Traffic & Crosswalk Signal Pole
		[Symbol]	Water
		[Symbol]	Fire Hydrant
		[Symbol]	Irrigation Control Valve
		[Symbol]	Water Meter
		[Symbol]	Water Valve
		[Symbol]	Fire Department Connection
		[Symbol]	Water Vault
		[Symbol]	Pressure Irrigation Valve
		[Symbol]	Water Vent Pipe
		[Symbol]	Water Valve Marker
		[Symbol]	Water Marker
		[Symbol]	Water Manhole
		[Symbol]	Water Air Release Valve
		[Symbol]	Water Back Flow Preventer
		[Symbol]	Sprinkler Head
		[Symbol]	Sprinkler Valve

ABBREVIATIONS

APPROX.	Approximate	I.E.	Invert Elevation
#4	1/2" Rebar	IPS	Iron Pin Set
C&G	Curb and Gutter	LP	Light Pole
CLF	Chain Link Fence	MW	Monitoring Well
CMP	Corrugated Metal Pipe	N/F	Now or Formerly
CO	Clean Out	OTF	Open Top Pipe
CPP	Corrugated Plastic Pipe	PB	Plot Book
DB	Deed Book	PG	Page
DI	Drop Inlet	PKF	PK Nail Found
DE	Drainage Easement	PKS	PK Nail Set
ECP	Edge of Pavement	POB	Point of Beginning
EPP	Electric Power Pole	POC	Point of Commencement
EPAN	Electric Panel	PVC	Polyvinyl Chloride Pipe
ESMT	Easement	RBC	Rebar Capped
FES	Finished End Section	RCP	Reinforced Concrete Pipe
FEE	Finish Floor Elevation	RHM	Right of Way Monument
FIH	Fire Hydrant	SSE	Sanitary Sewer Easement
FLGP	Flag Pole	SSMH	Sanitary Sewer Manhole
GA	Georgia	TRAN	Transformer
GM	Gas Meter	VCP	Vitrified Clay Pipe
GW	Guy Wire	W.D.F.	Wood Fence
HDR	Hard Rail	WM	Water Meter
H.W.	Hard Wood	WV	Water Valve
HW	Headwall		
ICV	Irrigation Control Valve		



SHEET 5 OF 5
 DRAWN BY: JVS
 CHECKED BY: JACS
 FILE NO.: 190553.00
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ALTA/NSPS LAND TITLE SURVEY
 FOR
 MCKINLEY HOMES
 AND
 TITLE COMPANY

REVISIONS

NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			
5			

LAND LOT(S) 283
 DISTRICT 6/H

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