



PLANNING COMMISSION AGENDA

**MARCH 10, 2015
7:00 PM
CITY HALL**

- A. Roll Call**
- B. Approval of January 13, 2015 Minutes**
- C. Old Business: (None)**
- D. New Business:**
 - 1. SUP2015-001 Request approval of site plan revisions, building elevations, and associated variances pursuant to condition 2G of Gwinnett County case CIC-08-021 for a 6.47 acre retail center development located at 5242 Peachtree Parkway (Corner of Peachtree Parkway and Peachtree Corners Circle); 6th District ; Land Lot 301; Parcel 31**
- E. City Business Items:**
 - 1. Winters Chapel Road Area Study preliminary report presented by Pond + Co.**
- F. Comments by Staff and Planning Commissioners.**
- G. Adjournment.**

CITY OF PEACHTREE CORNERS
PLANNING COMMISSION
JANUARY 13, 2015

The City of Peachtree Corners held a Planning Commission meeting. The meeting was held at City Hall, 147 Technology Parkway, Suite 200, Peachtree Corners, GA, 30092. The following were in attendance:

Planning Commission: Matt Houser, Chairman, Post D
Alan Kaplan, Post A
Mark Middleton, Post B
Mark Willis, Post C
Italia Metts, Post E

Staff: Diana Wheeler, Community Development Director
Kym Chereck, City Clerk
Greg Ramsey, Public Works Director

MINUTES:

**MOTION TO APPROVE THE MINUTES FROM THE DECEMBER 9,
2014 PLANNING COMMISSION.**

By: Mark Willis

Seconded by: Italia Metts

Vote: Passed 5-0 (Willis, Metts, Houser, Kaplan, Middleton)

OLD BUSINESS: (None)

NEW BUSINESS: (None)

CITY BUSINESS ITEMS:

1. PH 2015-008

Consideration of amending Article XIII of the 2012 City of Peachtree Corners Zoning Resolution by adding 'Liquor Store' as a Special Use within C-2, C-3, and M-1 zoning districts.

Mrs. Diana Wheeler, Community Development Director, informed the Commission of the amendment to Article XIII of the 2012 Zoning Resolution. Included in the Commission's packets was a draft Ordinance for review. Chairman Houser opened the floor for public comment. There was no public comment. A motion was made after discussion concerning, among other things, distance between stores, and proper zoning.

MOTION TO ADD ON TO SUBPARAGRAPH E VERBIAGE TO READ A LIQUOR STORE SHALL NOT BE LOCATED CLOSER THAN 3000 FEET TO ANOTHER LIQUOR STORE REGARDLESS OF THE JURISDICTION.

By: Mark Middleton

Seconded: Alan Kaplan

Vote: (5-0) (Middleton, Kaplan, Houser, Willis, Metts)

MOTION TO STRIKE SECTION 1310, M-1, LIGHT INDUSTRY DISTRICT.

By: Matt Houser

Seconded: Alan Kaplan

Vote: (5-0) (Houser, Kaplan, Middleton, Willis, Metts)

MOTION TO AMEND SUBPARAGRAPH C TO ADD THE LANGUAGE TO SAY LIQUOR STORES MUST OPERATE AS A SOLE TENANT IN FREESTANDING BUILDINGS.

By: Mark Willis

Seconded: Italia Metts

Vote: (5-0) (Willis, Metts, Houser, Kaplan, Middleton)

2. Discussion concerning transportation planning.

Mr. Greg Ramsey, Public Works Director, informed the Commission of all the projects under development and planned for the future. After discussion, Chairman Houser recommended that a transportation plan be produced.

3. City of Peachtree Corners 2033 Comprehensive Plan Work Program review.

Mrs. Wheeler discussed the 2033 Comprehensive Plan Work Program and informed the Commission that the Plan would be looked at again at the five year mark.

4. Update on Holcomb Bridge Road Corridor Study and Winters Chapel Road Area Study.

Mrs. Diana Wheeler, Community Development Director, informed the Commission that a Community meeting with Peachtree Corners and Dunwoody is proposed for February 24, 2015. Mrs. Wheeler stated that she will inform the Commission when a concrete date is set.

The Planning Commission meeting concluded at 8:30 PM.

Approved,

Attest:

Matt Houser, Chairman

Kym Chereck, City Clerk

SUP 2015-001
Roberts Properties

**CITY OF PEACHTREE CORNERS
COMMUNITY DEVELOPMENT DEPARTMENT**

SPECIAL USE PERMIT ANALYSIS

CASE NUMBER :**SUP2015-001**
ZONING :C-2
LOCATION :5242 PEACHTREE PARKWAY
MAP NUMBERS :R6301 031
ACREAGE :6.47 ACRES
PROPOSED DEVELOPMENT :REQUEST APPROVAL OF BUILDING ELEVATIONS PURSUANT
TO CONDITION 2G OF CIC-08-021 AND ASSOCIATED
VARIANCES
FUTURE DEVELOPMENT MAP: PREFERRED OFFICE

APPLICANT: LEE TUCKER, MAHAFFEY PICKENS TUCKER, LLP
1550 NORTH BROWN ROAD, STE. 125
LAWRENCEVILLE, GA 30043

CONTACT: LEE TUCKER PHONE: 770.232.0000

OWNER: ROBERTS PROPERTIES PEACHTREE RETAIL, LLC
375 NORTHRIDGE RD, STE. 330
ATLANTA, GA 30350

RECOMMENDATION: APPROVE WITH CONDITIONS

BACKGROUND:

The subject property is a 6.47 acre tract of land located at the northeast corner of Peachtree Parkway and Peachtree Corners Circle. The 0.993 acre tract of land at the corner of the site is not included in this request as the property is developed as a Chase Bank. The subject property was approved pursuant to CIC-08-021 for commercial uses and to be developed in general conformity to the original approved concept plan or similar to a 'forum/avenue style' development. The approved conditions of zoning required implementation of a specific design concept for the proposed development. The applicant was required to submit final building elevation/plans for review and approval by the Planning Commission as stipulated in condition 2G:

Buildings shall be finished with architectural treatments containing a mixture of glass, brick, stone and/or stucco. All sides shall have a 32-inch or greater water table of brick or stone, except where full length glass or doors are located. The elevations of the buildings shall be in general conformity with the materials presented to the Planning Commission at its October 16, 2007 meeting, and final plans will be submitted to the Planning Commission and approved by the Director of Planning and Development. All mechanical appurtenances and equipment and/or ductwork shall be screened from view. Screening shall coordinate with the building architecture.

ELEVATIONS:

The original approved concept plans (attached) for the development consisted of Mediterranean architectural elements such as barrel tile roofing material and heavy use of stucco as the primary building façade. The building elevations are highlighted by arched entryways and windows, large balcony, colonnade, and decorative chimney designs. Retail uses would appear to have been concentrated on the ground floor with office uses located to the top floor, and parking provided centrally and adjacent to each building. Additional parking would have been provided in a 2-level parking deck at the northern end of the property and along each road frontage. The overall intent of the design was to provide a small scale commercial development with distinctive character and feel similar to a small town center with a centralized fountain serving as the focal point for the development.

The applicant decided not to pursue the Mediterranean themed development and in April, 2013, another proposal was submitted for the property. That plan (attached) was approved and included a more 'Forum-like' architecture primarily consisting of stone and stucco. However, that development was also not pursued and new plans have been submitted.

The currently submitted site plan and elevations provide a different layout and building elevation from either of the previously approved plans. The site plan shows that the proposed development would incorporate the same large building as the Mediterranean plan to the rear of the site and two, free-standing buildings facing Peachtree Parkway. Parking is located centrally and internally to the development and a parking deck is included at the back of the property. A fountain element will be incorporated into the overall development as was shown on the original proposal.

Elevation approval is only being requested for the two buildings along the front. The larger building at the back of the site has not been designed and drawings will need to be submitted in the future for consideration of those elevations. The most current elevations (attached) would be more characteristic of and comparable with the 'Forum/Avenue style' appearance than the original approved elevations. The proposed elevations have a more contemporary aesthetic than either the original plans or the Forum. The exterior of the buildings have a primarily stone and brick appearance with stucco accent bands along cornice lines. The elevations show a flat roofline and the visual diversity in building height is provided by taller elements at the entrance to the buildings.

Except for the proposed roof line, the building elevations, as currently provided, most closely resemble a 'Forum type' development in appearance, layout, and building type. The use of awnings, variations in fenestration, and enclosed outdoor seating areas are similar to elements used at the Forum. Other Forum-like elements such as planters next to buildings and along walkways have not been included, but can be added as a condition of approval. In summary, the submitted plans appear to meet the intent of a 'Forum type' development as required in the original Gwinnett County zoning case.

VARIANCES REQUESTED:

1. Applicant's Request: No internal building setbacks to be required in connection with the subdivision of property.

Staff Comment: The original plan for the property called for the construction of multiple buildings as a single development under one ownership. Now, the applicant would like to subdivide and sell the property into separate development parcels. However, each parcel should have the appearance of being part of a unified development. Therefore, this variance is necessary to give the overall development a cohesive, unified appearance. Without this variance, zoning code requirements would impose distances between buildings and parking areas and give each parcel the appearance of being an independent, free-standing outparcel instead of part of a master planned development.

2. No landscape strips or landscape buffers along internal property lines in connection with the subdivision of property.

Staff Comment: Same as #1, above. Without this variance, zoning code requirements would generate double landscape strips between buildings and parking areas and give each parcel the appearance of being an independent, free-standing outparcel.

3. External landscape along Peachtree Parkway to be a minimum of 5 feet in width.

Staff Comment: The applicant would like to extend the reinforced pervious slope into a portion of the front yard which would reduce the required landscape strip in that location from 10 ft. to 5 ft. The landscape strip in front of both the Chase Bank and the Sprouts retail center is 10ft. in width. So, if this variance is granted, the applicant should ensure that the same trees and plant material installed at those other two locations can be accommodated at this site in order to maintain a uniform street front appearance.

4. Reinforced pervious slopes and temporary disturbance allowed to encroach into 50 ft. and 75 ft. stream buffer per submitted plan.

Staff Comment: The applicant would like to install a reinforced pervious slope (picture attached) instead of a retaining wall along the northern property line. This type of engineered wall will have a more natural appearance near the stream and is preferable to a standard retaining wall. However, in order to make the site plan work, the applicant needs to encroach into the existing stream buffer. To compensate for this intrusion, the applicant is willing to dedicate .9 acres of land (approx. 4 times the area of intrusion) to be added to the Town Center trail system and preserved as green space. This .9 acres is in a significantly strategic location between the applicant's property and Peachtree Corners Circle. It will benefit the Town Center project to have this additional land for the planned pedestrian trail.

RECOMMENDATION:

Approve Special Use Permit(s) SUP2015-001, subject to the following Gwinnett County conditions (which are copied and / or modified as shown from CIC-08-021 with additions in **Bold** and Deletions in ~~strike through~~) followed by Peachtree Corners specific conditions:

Gwinnett County Original Conditions (as modified):

- I. To restrict the use of the property as follows:
 - A. All uses and special use permitted within the C-1 zoning district. All uses permitted within the C-2 zoning district, except for the following: animal hospitals or veterinary clinics; tattoo and piercing parlors; adult bookstores or entertainment; drive-thru fast food service; automotive car wash, automotive parts store; billboards (as provided in Section 1113.1); building, electrical or plumbing contractors; funeral homes or mausoleums; furniture rental establishments; convenience food stores with or without fuel pumps, emission inspection stations; equipment rental; hotels and motels; on-site laundry or dry cleaning establishments, self-service or coin operated laundries; liquor stores; mobile buildings, parking lots and garages; plant nursery sales facility; recreation facilities which exceeds 3500 square feet (but may be up to 4000 square feet for Spa Sydell type use); recovered materials processing facility, taxidermist, yard trimmings composting facility; clubs, lodges, fraternal institutions and meeting halls; caretaker or watchman quarters; auto body repair shops, auto repair shops or tire stores, automotive service stations with or without fuel pumps; building material sales with outdoor storage, contractors offices or the outside storage of equipment or materials, heavy equipment and farm equipment sales and service and truck rental; mini-warehouse storage facilities; mobile home or mobile building leasing or sales lots, taxi cab or limousine services and no outdoor storage of any type; pest control businesses; pet shops or grooming establishments; lounges; and any temporary uses.
 - B. This is a concept specific zoning. Project is to be generally developed as a forum/avenues style development and should include office elements similar in “look and feel” to the existing development immediately across Peachtree Parkway from this property and currently known as “The Forum”, or as set forth in the elevations ~~presented to the Board of Commissioners as prepared by Wakefield, Beasley & Associates~~ and the site plan prepared by **LAI Engineering** ~~Wood & Partners, Inc. dated October 5, 2007~~ **January 20, 2015**. A forum/avenues type of development shall be defined as a retail development of small shops similar in design and concept to “The Forum”. The landscape plan and architectural plans shall be submitted to the ~~Gwinnett County~~ Planning Commission and approved by the Community Development Director prior to any permits being issued.

- C. Drive-through businesses shall be prohibited, except for banks/financial institutions which may include a drive-through facility as an integrated part of the primary banking operation if the following provisions are met. Any such drive-through facility shall be structurally attached to the bank/financial institution building. Any person-to-person communication shall be conducted only through a sealed (non-operable) window (which may include an associated bank deposit tray and/or tube) and speaker system. The volume control for the speaker system shall be set so that sound shall not be audible more than 10-feet from any such speaker. Any in-person “reach-through” opening and/or the passing of food through such opening shall be prohibited. To the extent that any allowed structure ceases to be used as a bank/financial institution, then the drive-through facility associated therewith shall be demolished.
 - D. Abide by all requirements of Section 1315 (Activity Center/Corridor Overlay District).
 - E. The dimensions of any bank/financial institution drive-through facility shall be constructed in general conformity with the site plan prepared by Wakefield, Beasley and Associates, dated October 17, 2008, and submitted for the record at the Planning Commission’s October 21, 2008 meeting. Specifically, the drive aisle width at the drive-through entrance and exit shall be a maximum width of 24 feet and shall taper in accordance with the configuration depicted in the aforementioned site plan.
2. To satisfy the following site development considerations:
- A. Provide a 50-foot wide natural buffer adjacent to residential zoning. The developer shall be allowed to grade 20-feet into the buffer in order to reduce/eliminate retaining walls in accordance with the three buffer plan drawings prepared by Bilson and Associates, dated September 9, 2008, and submitted for the record at the Planning Commission’s October 21, 2008 meeting. The graded area of the buffer shall be replanted in accordance with the buffer plan drawings with native Georgia trees including Tulip Poplar, Maple, Cryptomeria and Pine Trees in equal distribution to provide an effective visual screen. In no event will there be less than a 75-foot setback adjacent to the stream depicted on the site plan. The developer shall place the portion of the subject property within the stream buffer in a conservation easement.
 - B. Provide bike racks within the development in accordance with the overlay standards.
 - C. Provide internal access to any outparcel development. No direct access to Peachtree Parkway other than the shopping center entrance per Department of Transportation approval.

- D. Entrance/exits shall be allowed onto Peachtree Corners Circle per Department of Transportation approval.
- E. No billboards are permitted.
- F. Dumpsters shall be screened by an opaque decorative wall, at least six (6) feet in height, which will coordinate with the building architecture, and with a gated entry. Pick-up for dumpsters shall be limited to between the hours of 8:00 a.m. and 6:00 p.m.
- G. Buildings shall be finished with architectural treatments containing a mixture of glass, brick, stone and/or stucco **comparable in design and appearance to 'The Forum'**. All sides shall have a 32-inch or greater water table of brick or stone, except where full length glass or doors are located. The elevations of the buildings shall be in general conformity with the materials **plans presented to and approved by the City Council at its April 21, 2015 meeting.** ~~October 16, 2007 meeting, and final plans will be submitted to the Planning Commission and approved by the Director of Planning and Development.~~ All mechanical appurtenances and equipment and/or ductwork shall be screened from view. Screening shall coordinate with the building architecture.
- H. All buildings shall provide a variation in roof line similar to that of 'The Forum', which consists of a mixture of flat, pitched, pyramidal, conical, or mansard roof design. Corner/end unit towers shall incorporate a pyramidal or conical roof design consistent with a Forum style development.**
- I. Architectural design elements such as dormer windows shall be incorporated into the building roof line for structures larger than 4,000 square feet.**
- J. All street or walkway pavers internal to the development shall be of brick, stone, or paving material comparable in appearance and be limited to grey or natural-tone colors, which will coordinate with building architecture.
- K. Provide landscaped islands through the parking area, including a minimum ten-foot wide landscaped island at the end of each parking bay and a minimum six-foot wide landscaped island for each 225-feet of continuous bay length, or alternate plan as may be approved by the Community Development Director.
- L. Provide or relocate and reconstruct sidewalks, as required, a minimum of five feet in width adjacent to Peachtree Parkway (U.S. Hwy. 141) and Peachtree Corners Circle. Sidewalks may meander along these roads where feasible and per DOT approval. Provide internal sidewalks connecting office, retail, and outparcel development. Submit pedestrian access plan for review and approval of the Community Development Director.

- M. Outdoor lighting shall be contained in cut-off type luminaries and shall be directed in toward the property so as not to reflect into adjacent properties nor to create a hazard for passing automobile traffic. Any lights located on the rear of the building must be directed downward.
- N. Multi-tenant buildings shall be limited to wall signage only. Project signage shall be limited to one monument sign per road frontage except for one subdivision entrance sign and one primary ground sign adjacent to Peachtree Parkway. Monument signs shall coordinate with building architecture.
- O. Any detention ponds shall be visibly screened with landscape plantings to be approved by the Community Development Director.
- P. No outside speakers shall be allowed other than on a bank usage, if any, or a Muzak system may be allowed provided no shrill or excessive noise and vibrations, amplified live entertainers, outside paging systems, phone bells, or loudspeakers will be allowed. Any Muzak system shall have downward facing speakers and shall be inaudible ten feet from the speakers.
- Q. Business hours are to be limited to Monday through Thursday from 7:00 a.m. to 12:00 midnight and Friday through Sunday from 7:00 a.m. to 2:00 a.m, **(unless further restricted by other regulations)**. Business hours for a coffee/bagel shop and any specialty gourmet food store(s) shall be 6:00 a.m. to 2:00 a.m. seven days a week.
- R. All food service facilities on the property, including outparcels, shall install odor scrubbers which remove 95% of cooking odors as determined by the Community Development Director.
- S. **Development shall provide a temporary 20-foot natural buffer, except for utility crossings, along the right-of-way of Peachtree Parkway and Peachtree Corners Circle. Temporary buffer may be removed upon issuance of a building permit.**
- I. Truck delivery shall be limited to the hours of 8:00 a.m. to 6:00 p.m.
- II. No overnight parking or idling of delivery trucks shall be allowed.
- T. Operation of parking lot cleaning machinery or other maintenance equipment that emits noise shall be limited to the hours of 8:00 a.m. to 9:30 p.m.
- U. Prior to any grading or clearing, all buffers shall be clearly marked with bright orange tree save fencing to insure that no improper or accidental buffer intrusions occur.

Peachtree Corners Additional Conditions:

- V. A tree survey showing the location of specimen trees on the property shall be submitted prior to Land Disturbance Permit application.
- W. An encroachment into the 50 ft. undisturbed buffer and 75 ft. impervious stream setback line shall be permitted for the installation of a reinforced pervious slope along a portion of the northern property line as shown on LAI Engineering drawings dated 1-30-15.
- X. All Variances requested shall be approved subject to the following:
 - 1. Landscaping along the property frontage shall match and be a continuation of the landscaping at Chase Bank.
 - 2. Temporary disturbance area shown on the Peachtree Retail Master Plan dated 2/27/15 shall be replanted as approved by the City Arborist.
 - 3. Internal landscape strips and parking areas shall be developed substantially as shown on the Peachtree Retail Master Plan dated 2/27/15.
 - 4. Pervious pavers shall be installed as shown on the Peachtree Retail Master Plan dated 2/27/15.
- Y. Building Elevations shall be approved subject to the following:
 - 1. Exterior building materials shall be primarily brick or stone on all building sides.
 - 2. Appearance of the buildings shall substantially conform to the drawings prepared by HOK and Wakefield Beasley and Associates dated 2/27/15.
 - 3. Planters with vegetation approved by the City Arborist shall be placed along the building exterior or, as an alternate, climbing plant material shall be installed at the base of the buildings or next to trellises or arbors.
 - 4. All mechanical equipment (roof top and on the ground) shall be screened from ground view.
- Z. A minimum of .9 acres of land located at the northeast corner of the property shall be dedicated to the DDA toward the development of a pedestrian trail system along the stream. However, this area shall be counted towards the applicant's open space and tree density requirements.
- AA. A property owners association shall be established in order to assume responsibility for common area maintenance and other property related issues.
- BB. At least one pedestrian access location shall be identified on the plan. This location shall serve as the place where pedestrians can cross the stream and traverse from the subject property to the Town Center property.

- CC. The applicant shall be responsible for construction of the pedestrian access from his property to the stream trail. If all of the applicant's property has been sold at the time that the stream trail is built, the Property Owners Association shall be required to have the pedestrian access built.
- DD. Grading may be done internal throughout the site; however, where no plans have been permitted for specific building development, a 75 ft. undisturbed tree buffer shall remain along the adjacent roadway frontage in order to minimize the view of disturbed land.
- EE. Graded land that becomes inactive (no building permits pending) for more than 6 months shall be stabilized, seeded and shall meet all other ordinance requirements for graded property. Additional landscaping may also be required to be added in order to mitigate the appearance of the land disturbance.
- FF. Cross access and parking easements will be established between all of the individually owned parcels.

REZONING, SPECIAL USE PERMIT, OR CHANGE IN CONDITIONS APPLICATION

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF PEACHTREE CORNERS, GEORGIA

APPLICANT INFORMATION	OWNER INFORMATION
<small>Roberts Properties Peachtree Retail, LLC</small> NAME: <u>c/o Mahaffey Pickens Tucker, LLP</u>	NAME: <u>Roberts Properties Peachtree Retail, LLC</u>
ADDRESS: <u>1550 North Brown Rd, Ste 125</u>	ADDRESS: <u>375 Northridge Rd, Suite 330</u>
CITY: <u>Lawrenceville</u>	CITY: <u>Atlanta</u>
STATE: <u>Georgia</u> ZIP: <u>30043</u>	STATE: <u>Georgia</u> ZIP: <u>30350</u>
PHONE: <u>770-232-0000</u>	PHONE: <u>770-232-0000</u>
E-MAIL: <u>ltucker@mptlawfirm.com</u>	E-MAIL: <u>cr@robertsproperties.com</u>
CONTACT PERSON: <u>Lee Tucker / Wes Turner</u> PHONE: <u>770-232-0000</u>	
CONTACT'S E-MAIL: <u>ltucker@mptlawfirm.com or wturner@mptlawfirm.com</u>	

APPLICANT IS THE:

OWNER'S AGENT
 PROPERTY OWNER
 CONTRACT PURCHASER

PRESENT ZONING DISTRICTS(S): C-2 REQUESTED ZONING DISTRICT: C-2

LAND DISTRICT(S): 6 LAND LOT(S): 301 ACREAGE: 6.470

ADDRESS OF PROPERTY: 5242 Peachtree Pkwy, Peachtree Corners 30092

PROPOSED DEVELOPMENT: Site Plan Approval for a Commercial/Retail Development

Staff Use Only This Section

Case Number: SUP 2015-001 -
 Hearing Date: P/C 3/10/15 C/C 3/17/15
 Received Date: 4/2/15
 Fees Paid: \$11600
 By: WES TURNER

Related Cases & Applicable Conditions:

 Description: _____

RESIDENTIAL DEVELOPMENT

NON-RESIDENTIAL DEVELOPMENT

No. of Lots/Dwelling Units _____

No. of Buildings/Lots: 2

Dwelling Unit Size (Sq. Ft.): _____

Total Bldg. Sq. Ft.: 13,733

Gross Density: _____

FEE SCHEDULE

1. Rezoning, Change-in-Conditions and Special Use Permit Fees – Residential Zoning Districts

(note: a Special Use Permit related to a rezoning case shall not incur an additional fee)

A. For the following single-family residential zoning districts: RA-200, R-140, R-LL, R-100, R-75, RL, MHS.

- 0 - 5 Acres = \$ 500
- > 5 - 10 Acres = \$ 1,000
- > 10 - 20 Acres = \$ 1,500
- > 20 - 100 Acres = \$ 2,000
- > 100 - Acres = \$ 2,500 plus \$40 for each additional acre over 100
- Maximum Fee: \$10,000

B. For the following single and multifamily residential zoning districts: R-TH, RMD, RM-6, RM-8, RM-10, RM-13, R-SR, MH, R-60, R-ZT, R-75 MODIFIED or CSO, and R-100 MODIFIED or CSO.

- 0 - 5 Acres = \$ 850
- > 5 - 10 Acres = \$1,600
- > 10 - 20 Acres = \$2,100
- > 20 - 100 Acres = \$2,600
- > 100 - Acres = \$3,200 plus \$40 for each additional acre over 100

2. Rezoning, Change-in-Conditions and Special Use Permit Fees - Non-Residential Zoning Districts

(note: a Special Use Permit related to a rezoning case shall not incur an additional fee)

For the following office, commercial and industrial zoning districts: C-1, C-2, C-3, O-1, OBP, M-1, M-2, HS, NS.

- 0 - 5 Acres = \$ 850
- > 5 - 10 Acres = \$1,600
- > 10 - 20 Acres = \$2,100
- > 20 - 100 Acres = \$2,600
- > 100 - Acres = \$3,200 plus \$50 for each additional acre over 100

3. Mixed-Use (MUD and MUO) or High Rise Residential (HRR)

Application Fee – \$1,200 plus \$75 per acre (maximum fee - \$10,000)

- 4. Chattahoochee Corridor Review (involving a public hearing) - \$150.
- 5. Buffer Reduction (Greater than 50%) Application Fee - \$500.
- 6. Zoning Certification Letter - \$100 (per non-contiguous parcel).



Matthew P. Benson
 Alissa L. Cummo
 Kelly O. Faber
 Amanda F. Henningsen
 Christopher D. Holbrook
 Gerald Davidson, Jr.*
 Jill H. Harris*

Joshua P. Johnson
 Jeffrey R. Mahaffey
 Steven A. Pickens
 Andrew D. Stancil
 Kenneth W. Stroud
 R. Lee Tucker, Jr.
 Wesley C. Turner
 *of Counsel

**ROBERTS PROPERTIES PEACHTREE RETAIL, LLC'S
 REQUEST FOR SITE PLAN APPROVAL AND RELATED VARIANCES**

Mahaffey Pickens Tucker, LLP submits this Public Hearing Application on behalf Roberts Properties Peachtree Retail, LLC (the "Owner") in order to pursue approval of (i) the enclosed site plan (the "Site Plan") which will govern the Owner's proposed development of the subject property (the "Property"), (ii) the enclosed building elevations for the initial components of the development (the "Building Elevations") and (iii) approvals associated with the Site Plan which are necessitated by the Owner's anticipated subdivision of the Property (collectively, the "Approvals").

The Property is zoned C-2 and its use and development is governed by CIC-08-021 (the "Zoning Conditions") which was approved by the Gwinnett County Board of Commissioners prior to the incorporation of the City of Peachtree Corners (it is important to note that the Owner does not seek any zoning map amendment in connection with this Public Hearing Application). The Zoning Conditions provide, among other matters, that the Owner must submit its Site Plan and building elevations to the appropriate governing body for review and approval. Due to the requests set forth herein and in an effort to clarify the conditions pursuant to which the Owner may develop the Property, the Owner is requesting a public hearing before the City's Planning Commission and City Council in its pursuit of the Approvals.

Site Plan and Building Elevations

The Owner submits the Site Plan which presents the initial phase of the development of the Property's frontage along Peachtree Parkway, is consistent with the Zoning Conditions and is economically feasible based on current market conditions. Similarly, the Owner submits the Building Elevations for proposed buildings 1 and 2 which are compliant with the City's overlay standards as set forth in Section 1315 of the zoning ordinance (together with the City's other development-related ordinances such as the Buffer, Landscape and Tree Ordinance, the "Ordinance") and are compatible with the existing buildings in the immediate vicinity of the Property. In conjunction with its development of the Property, the Owner is excited to bring "Black Walnut" restaurant to the City of Peachtree Corners.

Site Specific Approvals Associated with the Site Plan

Considering the nature of the development of the Property and the fact that the Owner anticipates attracting national restaurant and retail tenants for the Property who will desire to own their respective building pads within the project (such as Black Walnut), the Owner needs to subdivide the Property. The Ordinance contains several provisions which inhibit the Owner's ability to subdivide the Property but which would not otherwise apply to the Property if it were to continue to be owned as a single tract and be developed in accord with the Site Plan.

When considered in the context of the development of the entire Property, the Site Plan adheres to the provisions of Section 1315.2(3)(3.D) of the Ordinance which encourage that parking be focused to the sides and rear of projects consisting of buildings which exceed 7,500 square feet of space. Buildings 1 and 2 consist of 13,733 square feet of restaurant and retail space (building 1 contains 7,033 square feet and building 2 contains 6,700 square feet). The proposed number of parking spaces provided for buildings 1 and 2 are consistent with the allowances provided in the Ordinance for these types of uses. The Site Plan reflects 93 impervious parking spaces and 19 pervious parking spaces.

The anticipated subdivision of the Property will create internal property lines (and related setbacks/buffers) that would not otherwise exist within the development. The Zoning Conditions and the Ordinance require inter-parcel access and the Site Plan complies with these requirements. Additionally, it is customary for commercial property lines to be situated within driveway infrastructure. That being the case, the Site Plan reflects building configurations which are based upon a unified development of the Property rather than individual lots.

The Property is adjacent to a stream (as depicted in the Site Plan) which requires the imposition of a 50 foot undisturbed stream buffer and 75 foot impervious surface setback (inclusive of the 50 foot buffer). In order to develop the Property and provide the green space reflected in the Site Plan, the Owner seeks approval to install a reinforced pervious slope (and, a limited amount of curb and gutter infrastructure) along the Property's northern property line (an example of the proposed slope is enclosed with this letter). Due to the Property's steep topography along the stream, the reinforced pervious slope is a means by which the Owner can stabilize the development in the subject area while maintaining environmentally friendly best management practices. Similarly, the internal sidewalks within the development will be adjacent to the curb structure in order to facilitate pedestrian accessibility.

In light of the foregoing, the Owner requests approval of the following items which are reflected in the Site Plan, would be applicable to the development of the Property as a single tract and shall apply in the event of a subdivision of the Property:

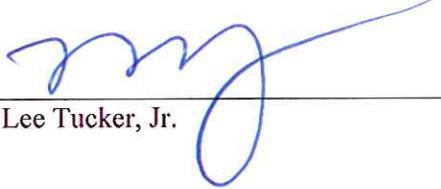
- Allowance that the parking orientation for the individual buildings reflected in the Site Plan may be configured as set forth in the Site Plan;

- Allowance that outdoor seating and dining shall be allowed for the individual buildings within the Property;
- Allowance that internal building and/or structure setbacks shall not be required in connection with the subdivision of the Property;
- Allowance that landscape strips/buffers along internal property lines shall not be required in connection with the subdivision of the Property;
- Requirement that the external landscape strip along Peachtree Parkway shall be a minimum of 5 feet in width;
- Allowance of the reinforced pervious slope as depicted in the Site Plan;
- Allowance of a temporary encroachment into the 50 foot stream buffer as depicted in the Site Plan with any such disturbed area to be returned to its natural state immediately after development;
- Allowance of a permanent encroachment into the 75 foot impervious surface setback along the stream as depicted in the Site Plan;
- Requirement that any encroachment into the impervious surface setback along the stream be offset by the incorporation of twice as much pervious area within the balance of the Property as is subject to said encroachment;
- Requirement that structures internal to the development, such as dumpsters and mechanical equipment, must be screened as required by the Ordinance but may be located as depicted in the Site Plan;
- Allowance that internal sidewalks may adjoin the curbing for the Property's internal driveway and parking infrastructure, as applicable; and
- Allowance for a medium bronze colored metal standing seam roof (mansard roof) as depicted in the Black Walnut elevations attached hereto.

This 2nd day of February, 2015.

Respectfully submitted,

MAHAFFEY PICKENS TUCKER, LLP



R. Lee Tucker, Jr.

APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

Pursuant to section 1702 of the 2012 zoning resolution, the city council finds that the following standards are relevant in balancing the interest in promoting the public health, safety, morality or general welfare against the right to the unrestricted use of property and shall govern the exercise of the zoning power.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

A. Will this proposed rezoning, special use permit, or change in conditions permit a use that is suitable in view of the use and development of adjacent and nearby property?

See Attached

B. Will this proposed rezoning, special use permit, or change in conditions will adversely affect the existing use or usability of adjacent or nearby property?

See Attached

C. Does the property to be affected by a proposed rezoning, special use permit, or change in conditions have reasonable economic use as currently zoned?

See Attached

D. Will the proposed rezoning, special use permit, or change in conditions will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools?

See Attached

E. Will the proposed rezoning, special use permit, or change in conditions is in conformity with the policy and intent of the land use plan?

See Attached

F. Are there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed rezoning, special use permit, or change in conditions?

See Attached

Applicant's Response
Standards Governing the Exercise of the Zoning Power

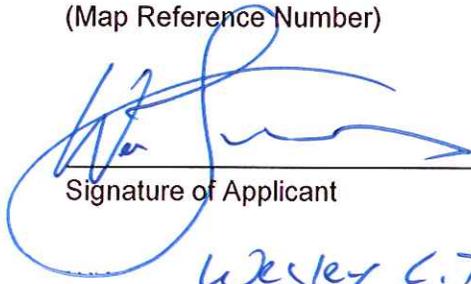
- (A) Yes, the proposed Site Plan Approval Request will permit a use that is suitable in view of the use and development of adjacent and nearby property.
- (B) No, the requested Site Plan Approval Request will not adversely affect the existing use or usability of adjacent or nearby property but, to the contrary, will be compatible and consistent with such uses as currently exist or as are contemplated in the future.
- (C) The property which is the subject of the requested Site Plan Approval Request does have reasonable economic use as currently zoned; however, such economic use is enhanced with the approval of the requested Site Plan. Applicant therefore submits the highest and best use of the subject tract is for C-2 with the associated land use entitlements.
- (D) No, the requested Site Plan Approval will not result in a use which will or could cause an excessive or burdensome use of the existing streets, transportation facilities, utilities or schools.
- (E) Yes. The requested Site Plan Approval is in conformity with the intent of the 2033 Comprehensive Plan and the subject tract is adequately served by transportation thoroughfares providing appropriate ingress and egress to and from the property.
- (F) Yes, the existing zonings of adjacent and nearby properties give additional supporting grounds for the approval of the Site Plan.

VERIFICATION OF CURRENT PAID PROPERTY TAXES FOR REZONING

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED CERTIFIES THAT ALL CITY OF PEACHTREE CORNERS PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE TAX COMMISSIONER OF GWINNETT COUNTY, GEORGIA. IN NO CASE SHALL A PUBLIC HEARING APPLICATION BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE REZONING REQUEST.

PARCEL I.D. NUMBER: 6 - 301 - 031
(Map Reference Number) District Land Lot Parcel



Signature of Applicant

2/2/15
Date

Wesley C. Turner, Attorney for Applicant
Type or Print Name and Title

Tax Commissioners Use Only

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

[Signature]
NAME

Tax Service Associate
TITLE

2/2/2015
DATE

APPLICANT'S CERTIFICATION

The undersigned below states under oath that they are authorized to make this application. The undersigned is aware that no application or reapplication affecting the same land shall be acted upon within 12 months from the date of last action by the city council unless waived by the city council. In no case shall an application or reapplication be acted upon in less than six (6) months from the date of last action by the city council.

David M Phillips 1/30/15
Signature of Applicant Date

DAVID M PHILLIPS - VP of DEVELOPMENT
Type or Print Name and Title

Sarah Roberts 1-30-15
Signature of Notary Public Date



PROPERTY OWNER'S CERTIFICATION

The undersigned below states under oath that they are authorized to make this application. The undersigned is aware that no application or reapplication affecting the same land shall be acted upon within 12 months from the date of last action by the city council unless waived by the city council. In no case shall an application or reapplication be acted upon in less than six (6) months from the date of last action by the city council. As the property owner, I authorize the above noted applicant to act on my behalf with regard to this application.

Roberts Properties Peachtree Retail, LLC

David M Phillips 1/30/15
Signature of Property Owner Date

DAVID M PHILLIPS - VP of DEVELOPMENT
Type or Print Name and Title

Sarah Roberts 1-30-15
Signature of Notary Public Date

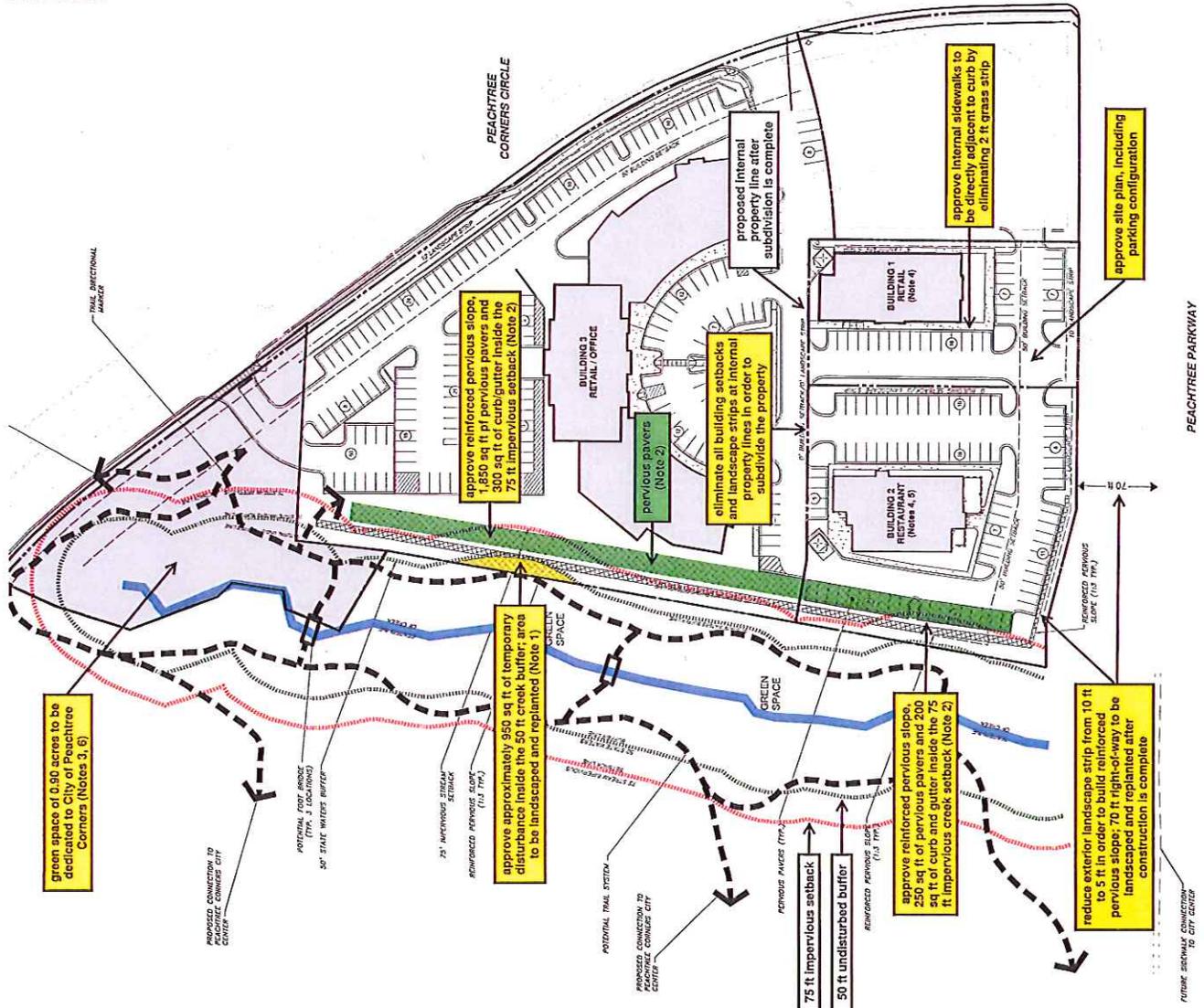
Notary Seal



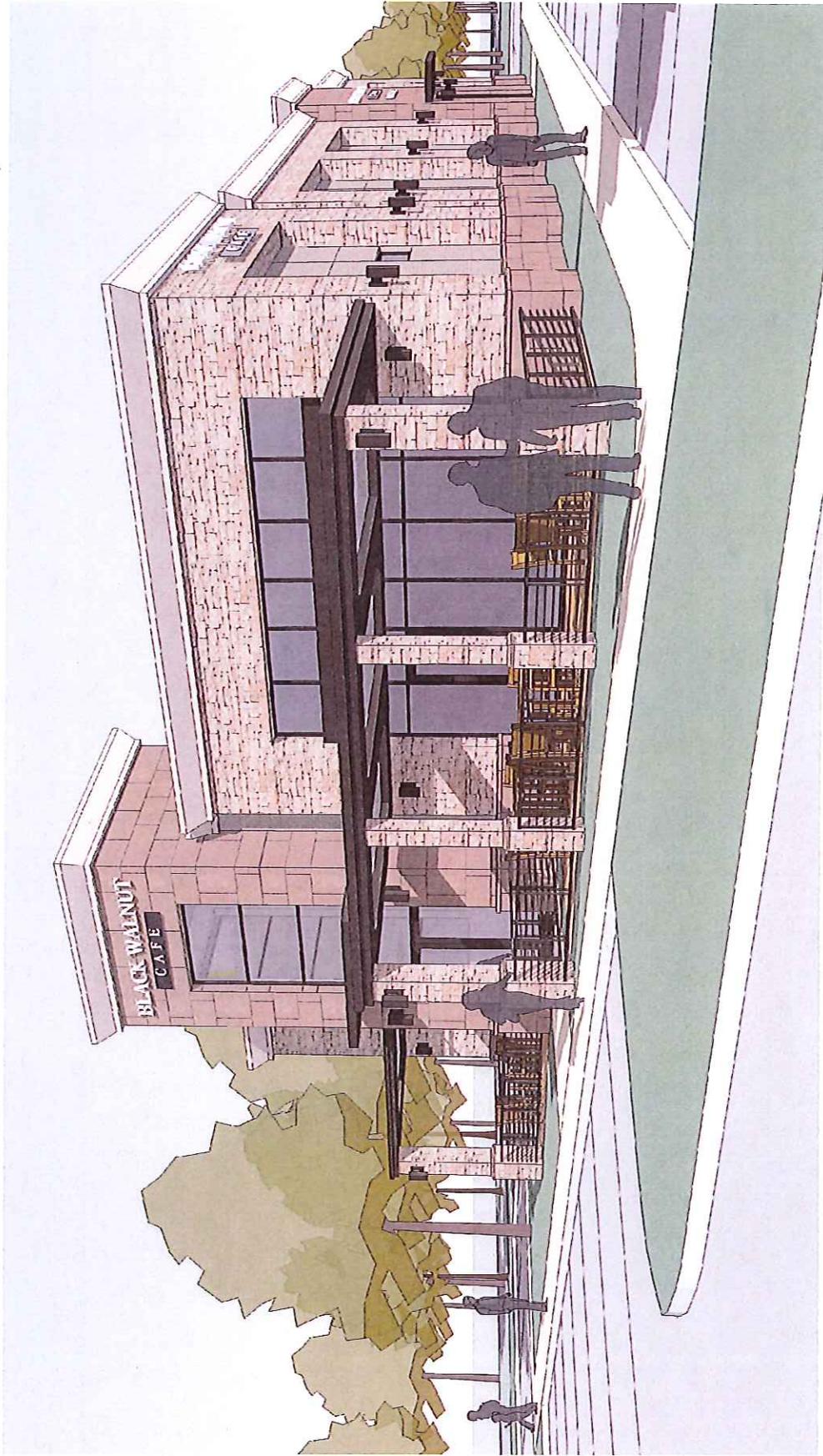
PEACHTREE RETAIL MASTER PLAN

NOTES:

- 1) In order to construct the reinforced pervious slope along the north property line, it will be necessary to temporarily disturb approximately 950 sq ft of land within the 50 ft creek buffer located at Building 3. The limits of disturbance will be an average of 100 ft in length and 9.5 ft in width. All disturbed areas within the 50 ft creek buffer will be landscaped and replanted after construction of the reinforced pervious slope is complete. There will be no permanent encroachments inside the 50 ft creek buffer.
- 2) The site plan proposes approximately 500 sq ft of impervious curb/gutter encroachments within the 75 ft impervious creek setback. The site plan also proposes approximately 2,100 sq ft of parking spaces within the 75 ft impervious creek setback. Therefore, there will be a total of 2,600 sq ft of encroachments inside the impervious setback. To offset these encroachments and to maximize the green footprint along the creek, 10,500 sq ft of pervious pavers will be installed at all parking spaces along the north property line (2,100 sq ft inside the impervious setback and 8,400 sq ft outside the impervious setback). Therefore, in addition to entirely offsetting the proposed encroachments of 2,600 sq ft, an additional 8,400 sq ft of pervious area will be provided outside the impervious setback.
- 3) Green space of 0.90 acres (or 39,200 sq ft) will be dedicated to the City of Peachtree Corners. Of this acreage, 0.34 acres (or 14,900 sq ft) of land is located outside of the 75 ft impervious creek setback. As outlined in Notes 1 and 2 above, there will be a total of 3,550 sq ft of temporary and permanent encroachments into the creek buffer and creek setback. Therefore, the 14,900 sq ft of buildable land located within the green space dedication area is 4 times greater than the requested encroachments of 3,550 sq ft. Additionally, there will be no driveways or parking on the land being dedicated as green space.
- 4) Approve exterior architecture for Building 1 (Retail Building) and Building 2 (Black Walnut Restaurant).
- 5) Approve outdoor seating and dining at Building 2 (Black Walnut Restaurant).
- 6) Land value of 0.90 acre green space being dedicated is \$500,000.



2/27/15



BLACK WALNUT CAFÉ

2/27/15



ROBERTS PROPERTIES, INC.
770-594-6000 - www.robertsproperties.com

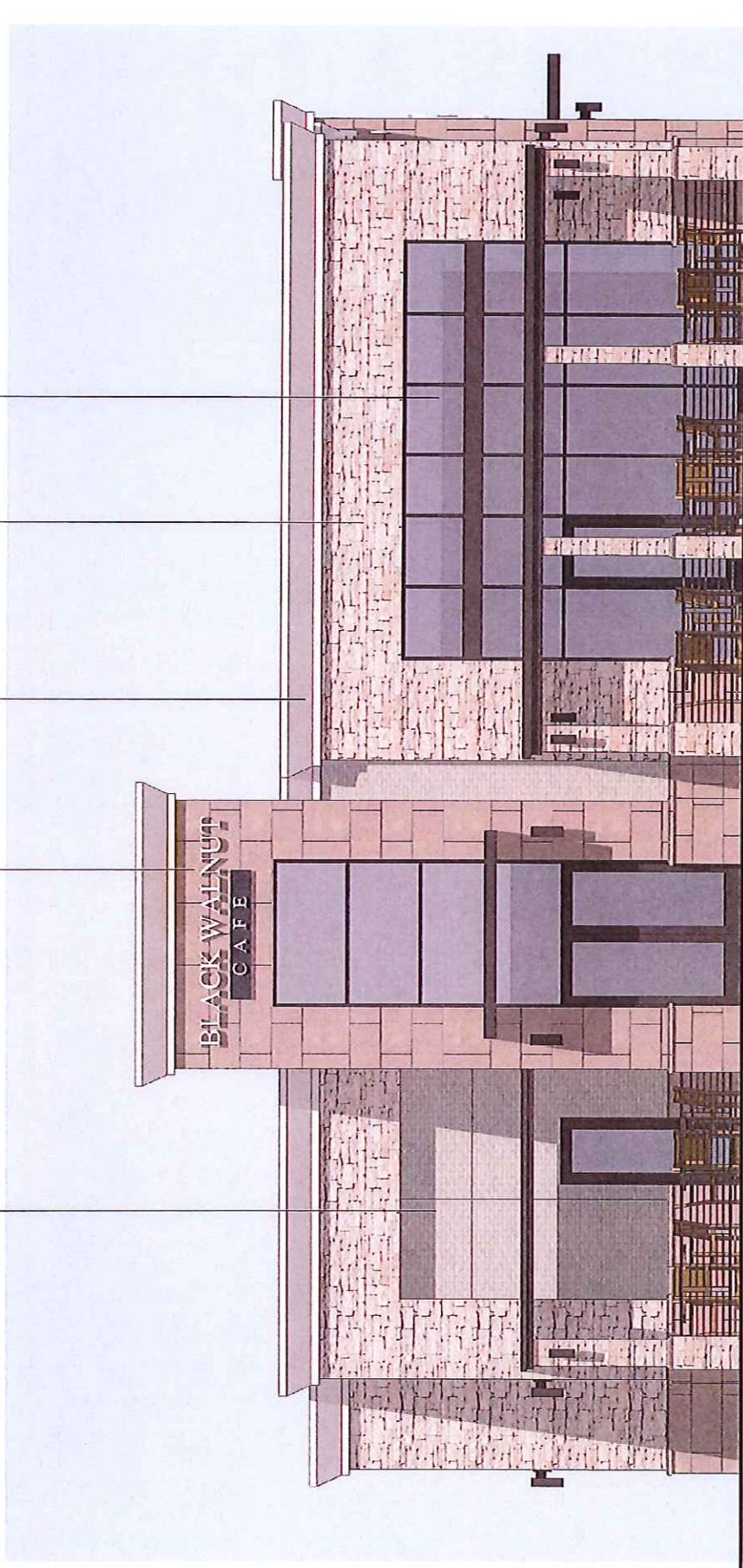
PEACHTREE PARKWAY RETAIL

PEACHTREE CORNERS · GEORGIA

creating communities for tomorrow's lifestyle



BRICK
CAST STONE
EIFS CORNICE
STONE
GLASS



BLACK WALNUT CAFÉ

FRONT ELEVATION 2/27/15



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770-394-6000 - www.robertsproperties.com

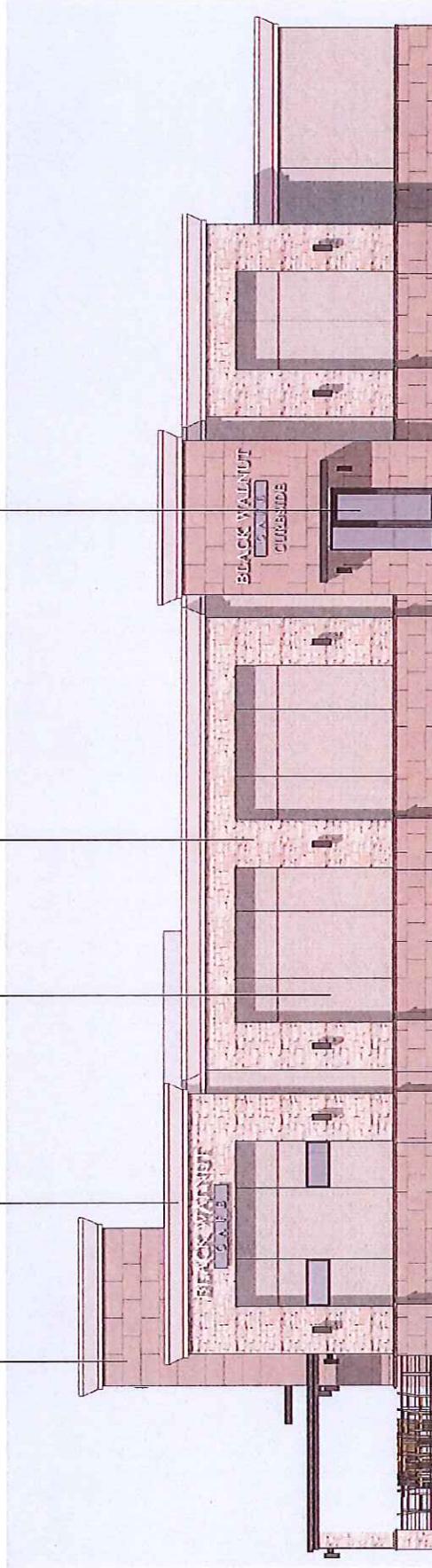
PEACHTREE PARKWAY RETAIL

PEACHTREE CORNERS · GEORGIA

creating communities for tomorrow's lifestyle



CAST STONE
EIFS CORNICE
BRICK
STONE
GLASS



BLACK WALNUT CAFÉ

SIDE ELEVATION SOUTH

2/27/15



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PEACHTREE PARKWAY RETAIL

PEACHTREE CORNERS · GEORGIA

creating communities for superior lifestyles



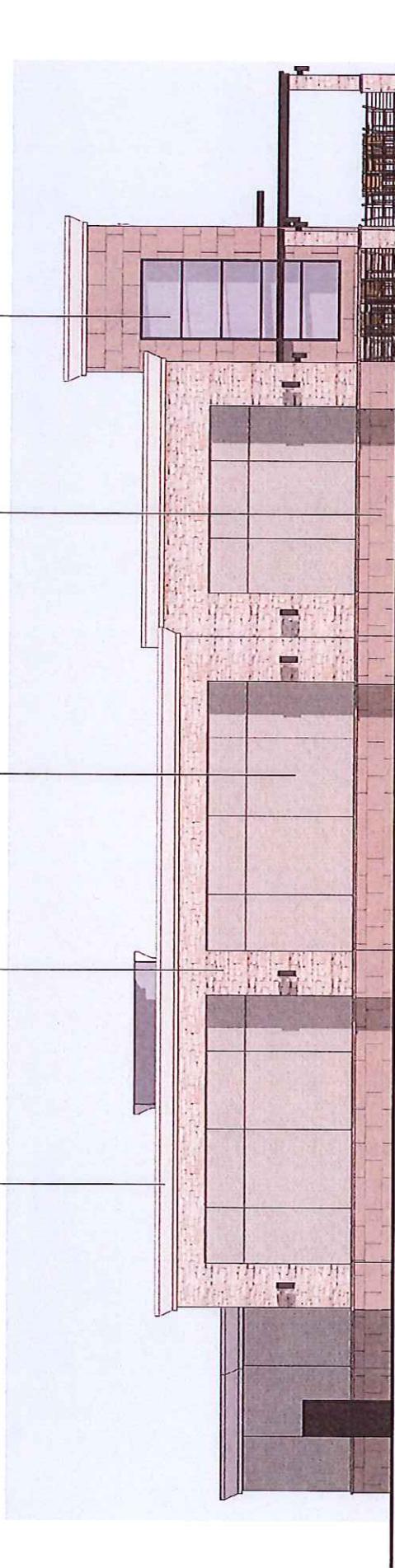
EIFS
CORNICE

STONE

BRICK

CAST
STONE

GLASS



BLACK WALNUT CAFÉ

SIDE ELEVATION NORTH

2/27/15



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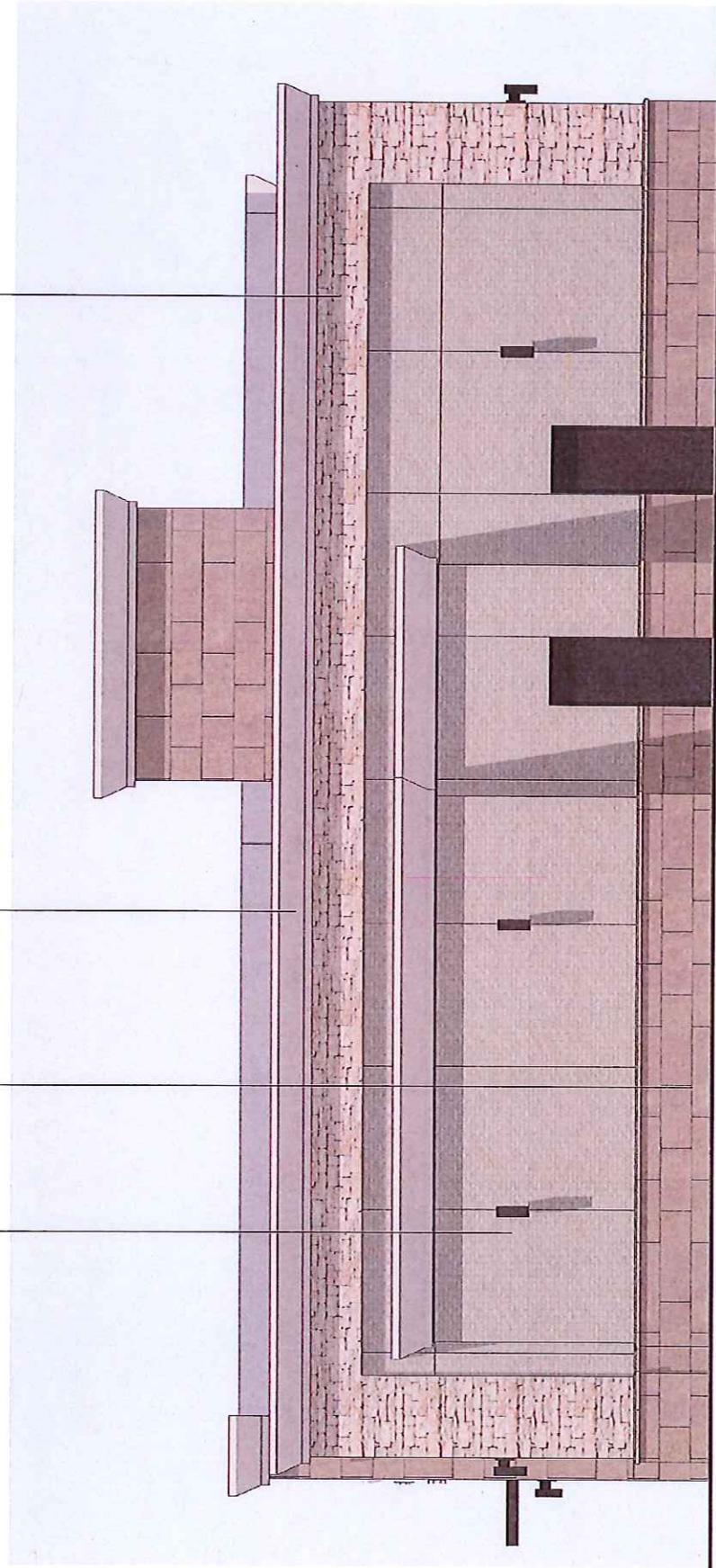


STONE

EIFS
CORNICE

CAST
STONE

BRICK



BLACK WALNUT CAFÉ

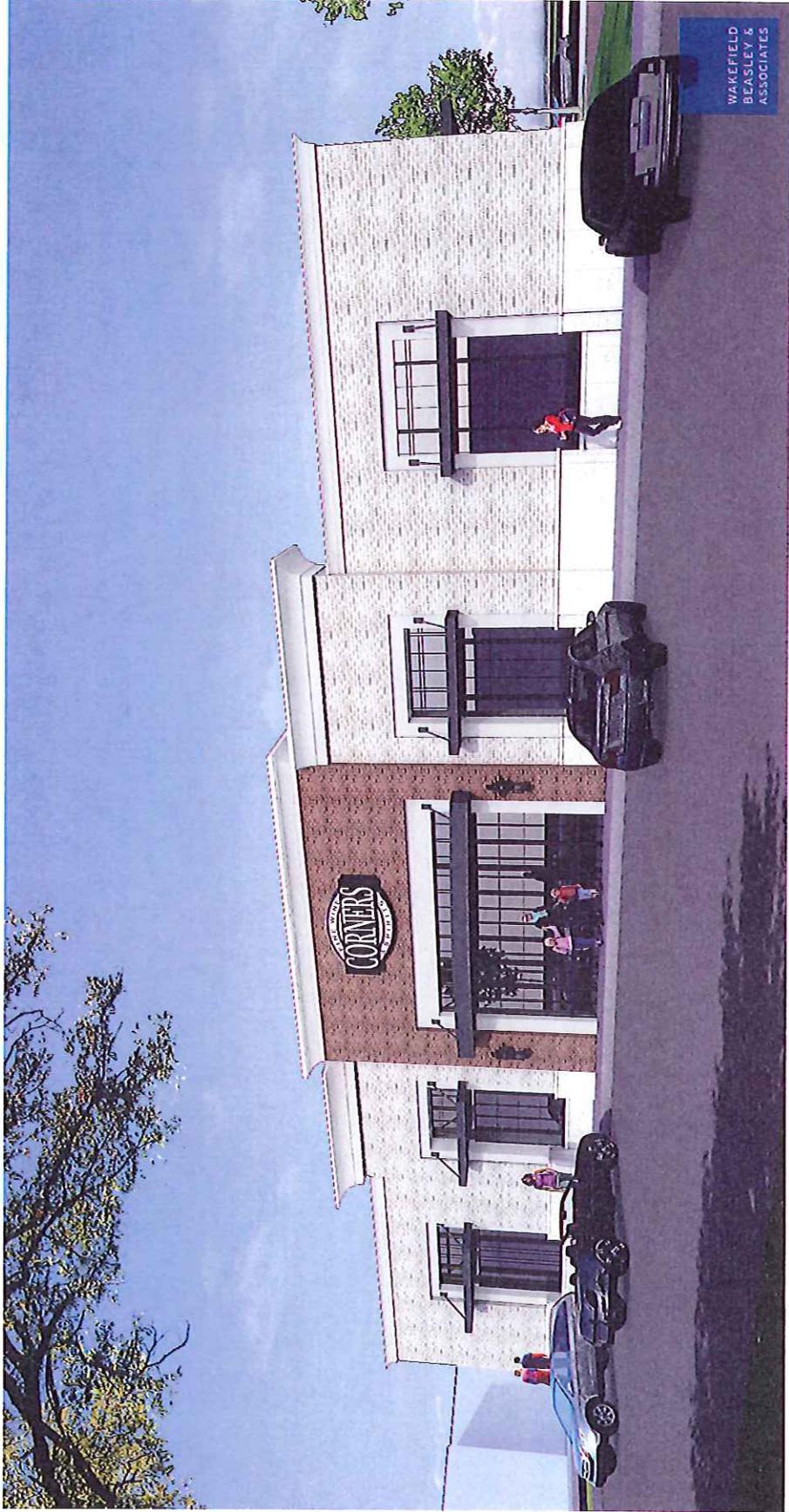
REAR ELEVATION 2/27/19



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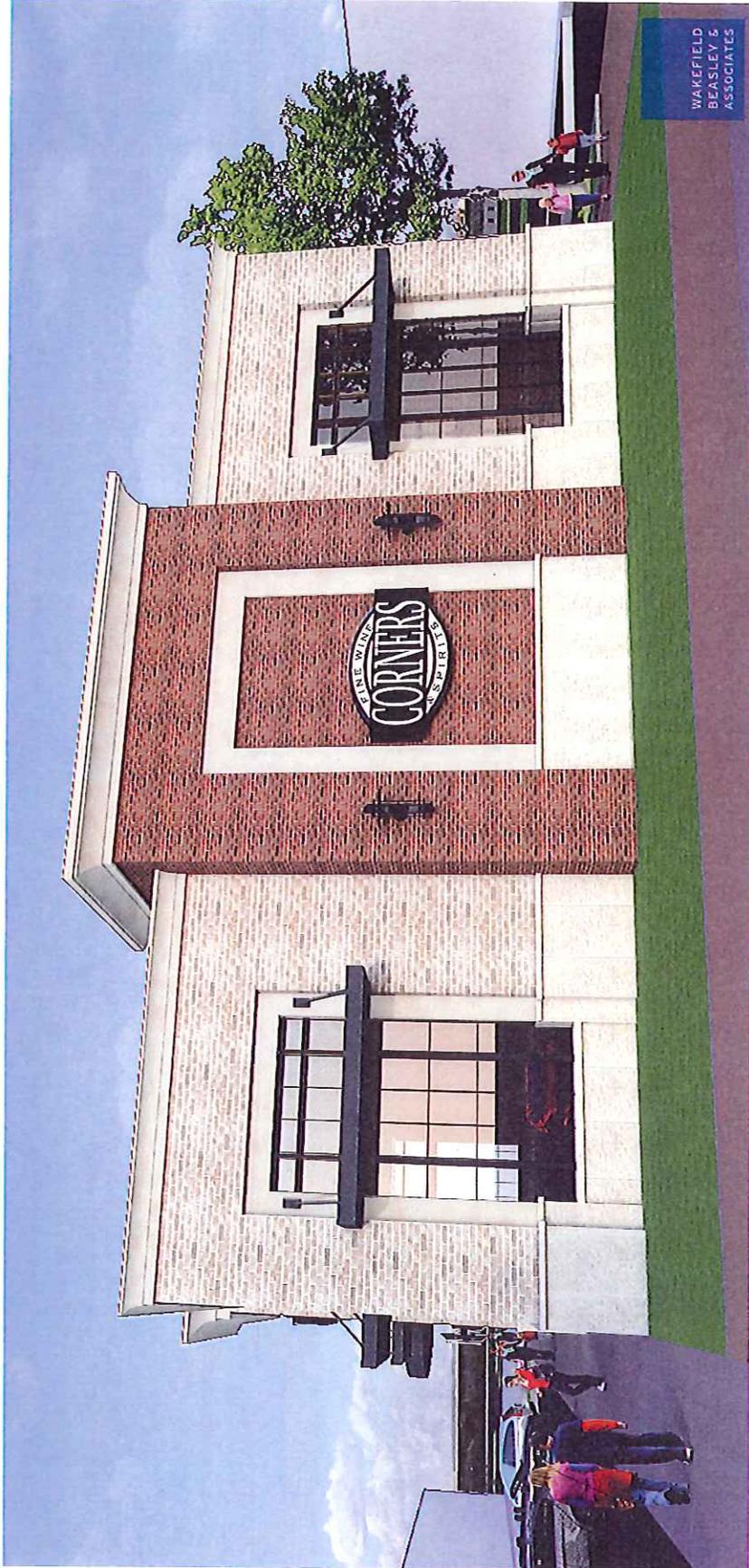




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WAKEFIELD
BEASLEY &
ASSOCIATES

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LEGAL DESCRIPTION

All that tract or parcel of land lying and being in Land Lot 301 of the 6th Land District, Gwinnett County, Georgia and being more particularly described as follows:

TO FIND THE POINT OF COMMENCEMENT, begin at the Intersection of the Northerly Right-of-Way of Peachtree Corners Circle (Right-of-Way Varies) and the Easterly Right-of-Way of Peachtree Parkway a.k.a. State Route 141 (Right-of-Way varies) if extended to form a Point; THENCE leaving said Intersection along a curve to the right having a radius of 11459.16 feet and an arc length of 12.26 feet and being subtended by a chord of North 28 degrees 40 minutes 36 seconds East for a distance of 12.26 feet to a Point on the aforesaid Right-of-Way of Peachtree Parkway; THENCE along a curve to the right having a radius of 11459.16 feet and an arc length of 193.28 feet, being subtended by a chord of North 29 degrees 11 minutes 25 seconds East for a distance of 193.28 feet to an Iron Pin Set, said point being THE POINT OF BEGINNING.

THENCE from said point as thus established and continuing along said Right-of-Way of Peachtree Parkway a.k.a. State Route 141, along a curve to the right having a radius of 11459.16 feet and an arc length of 34.18 feet, being subtended by a chord of North 29 degrees 45 minutes 33 seconds East for a distance of 34.18 feet to a Point; THENCE North 29 degrees 50 minutes 43 seconds East for a distance of 197.39 feet to a Point; THENCE North 43 degrees 52 minutes 53 seconds East for a distance of 103.08 feet to a Concrete Monument Found; THENCE North 29 degrees 50 minutes 43 seconds East for a distance of 36.23 feet to an Iron Pin Set; THENCE Leaving said Right-of-Way, South 50 degrees 38 minutes 31 seconds East for a distance of 579.74 feet to an Iron Pin Set; THENCE North 60 degrees 17 minutes 25 seconds East for a distance of 79.92 feet to a Point; THENCE South 43 degrees 20 minutes 32 seconds East for a distance of 4.57 feet to a Point; THENCE South 39 degrees 18 minutes 20 seconds East for a distance of 45.68 feet to a Point; THENCE South 24 degrees 20 minutes 32 seconds West for a distance of 16.31 feet to a Point; THENCE South 52 degrees 04 minutes 36 seconds East for a distance of 45.03 feet to a Point; THENCE North 76 degrees 10 minutes 24 seconds East for a distance of 17.53 feet to a Point; THENCE South 78 degrees 56 minutes 48 seconds East for a distance of 28.11 feet to a Point; THENCE South 82 degrees 06 minutes 50 seconds East for a distance of 52.83 feet to a Point; THENCE South 42 degrees 59 minutes 22 seconds East for a distance of 67.80 feet to a Point; THENCE South 36 degrees 25 minutes 57 seconds East for a distance of 59.65 feet to an Iron Pin Set, said Point being along the Northerly Right-of-Way of Peachtree Corners Circle (Right-of-Way Varies); THENCE continuing along said Right-of-Way along a curve to the right having a radius of 612.50 feet and an arc length of 136.89 feet, being subtended by a chord of South 76 degrees 58 minutes 13 seconds West for a distance of 136.61 feet to a point; THENCE South 83 degrees 22 minutes 24 seconds West for a distance of 133.45 feet to a point; THENCE South 83 degrees 22 minutes 24 seconds West for a distance of 329.56 feet to a point; THENCE along a curve to the right having a radius of 678.00 feet and an arc length of 245.66 feet, being subtended by a chord of North 86 degrees 14 minutes 47 seconds West for a distance of 244.32 feet to an Iron Pin Set; THENCE leaving said Right-of-Way, North 13 degrees 56 minutes 08 seconds East for a distance of 44.57 feet to an Iron Pin Set; THENCE along a curve to the right having a radius of 599.00 feet and an arc length of 137.27 feet, being subtended by a

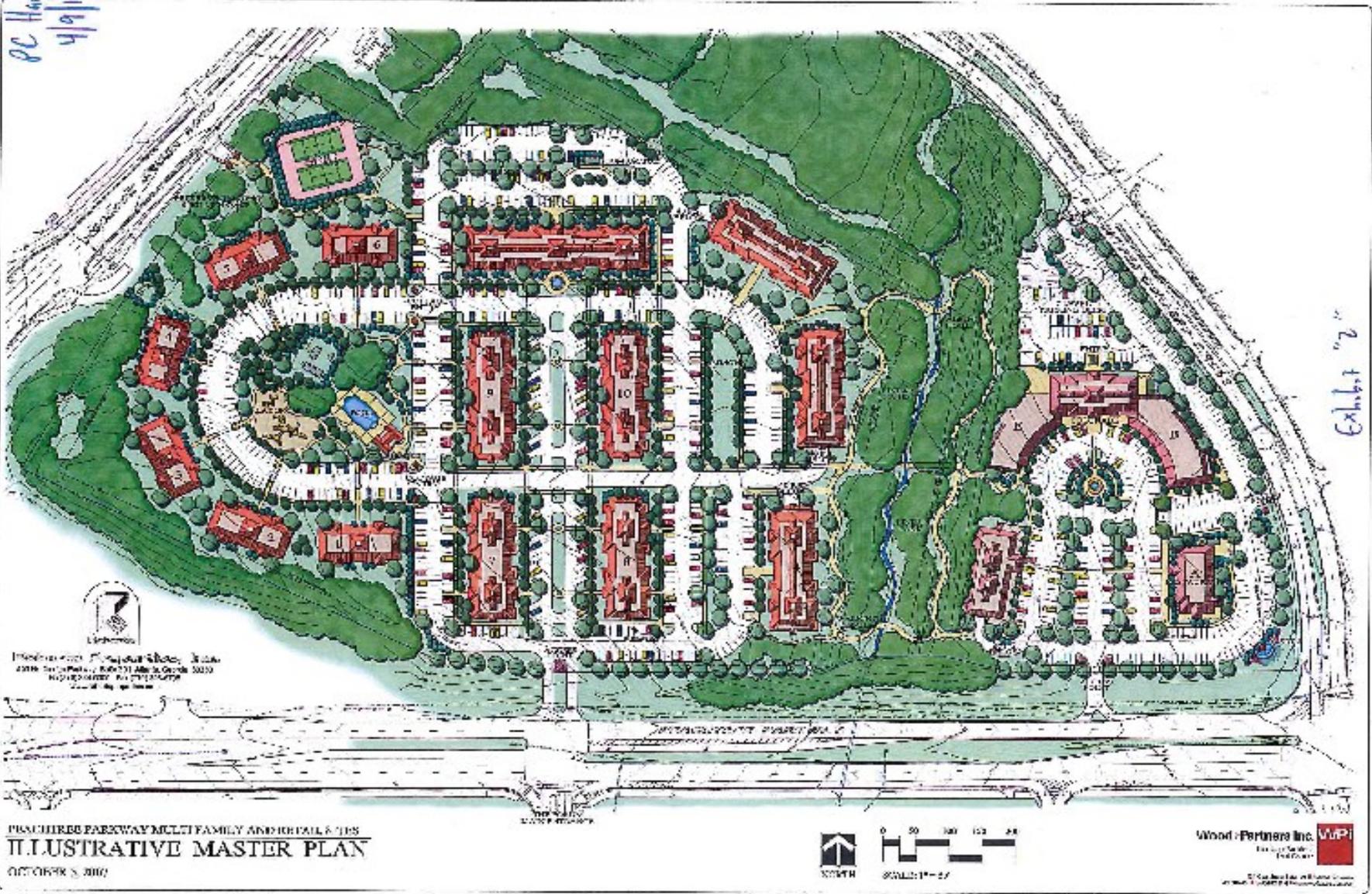
chord of North 20 degrees 30 minutes 02 seconds East for a distance of 136.97 feet to an Iron Pin Set;
THENCE North 60 degrees 09 minutes 53 seconds West for a distance of 211.78 feet to an Iron Pin Set,
said point being THE POINT OF BEGINNING.

Said property contains 6.476 acres.

PC Hoodout
4/9/13

1/2

Exhibit "2"



Previous Site Plan (Now Void) Approved by Gwinnett County on 10/5/07



Previous Elevations (Now Void) Approved by Gwinnett County Planning Commission 10/16/07





ELEGANT
AT HOSKINS



FEB 21 2006

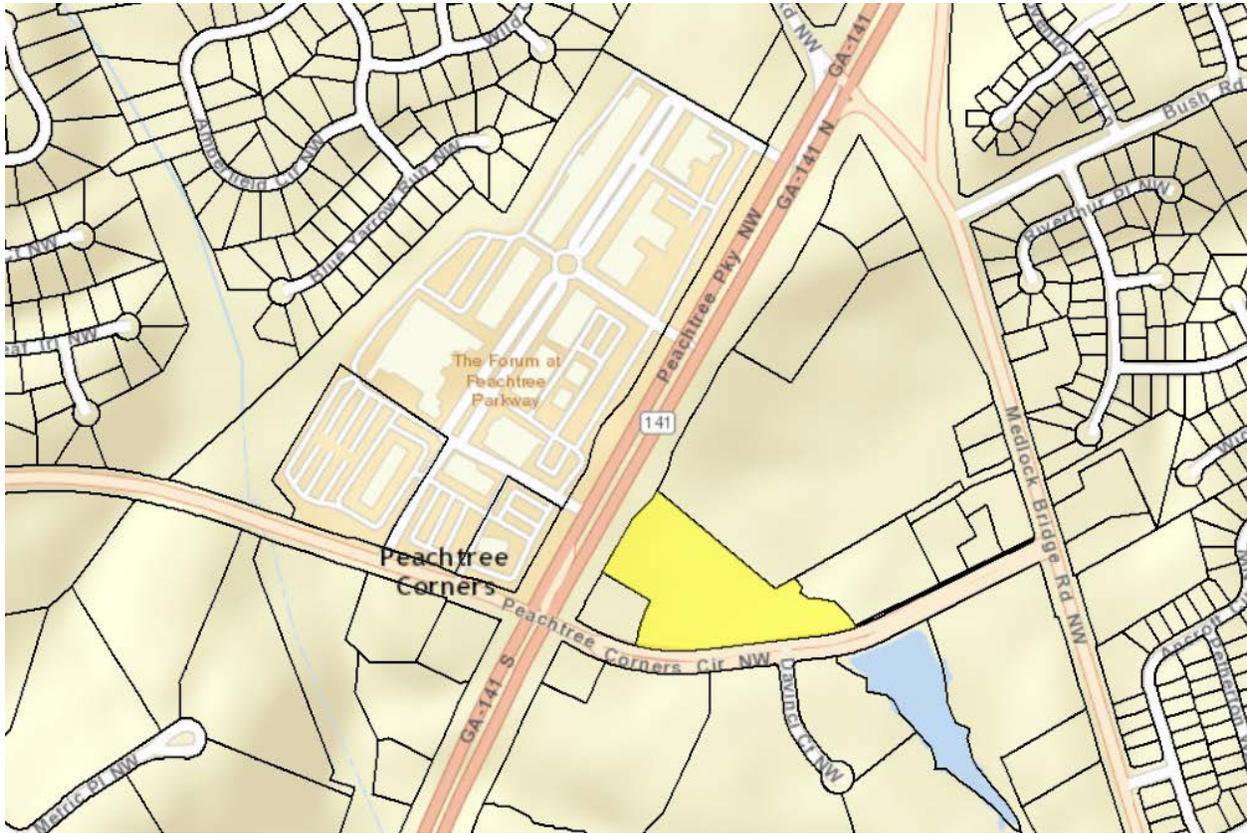






PUBLIC HEARING

Roberts Properties



CASE NUMBER: SUP2015-001

HEARING DATES:	PLANNING COMMISSION	CITY COUNCIL 1ST READING	CITY COUNCIL 2ND READING
	3/10/2015	3/17/2015	4/21/15

PROPERTY ADDRESS: 5242 Peachtree Parkway

Winters Chapel Road Area Study

AREA 1 ANALYSIS

ROADWAY CHARACTERISTICS



- Right of way width 75'-80'
- Roadway width: Mostly 24', 2 drive lanes with small asphalt shoulders.
- Two-lane road with no sidewalks in most places.
- Grass shoulder on east side of roadway.
- Curb along west side of road for most of length of this section.
- Speed limit 35 mph.
- Sidewalk and curb and gutter on east side of road in vicinity of Seigakuin School.

DESIGN CONSIDERATIONS



- Periodic drainage swales on east side of road.
- Possible wetlands on (low density) property on east side of roadway.
- Limited sight distance near Seigakuin School.
- Overhead power lines.
- Existing vegetation.
- Possible hazards for pedestrians crossing at Spalding due to lack of pedestrian facilities.

SIDEWALK GAPS



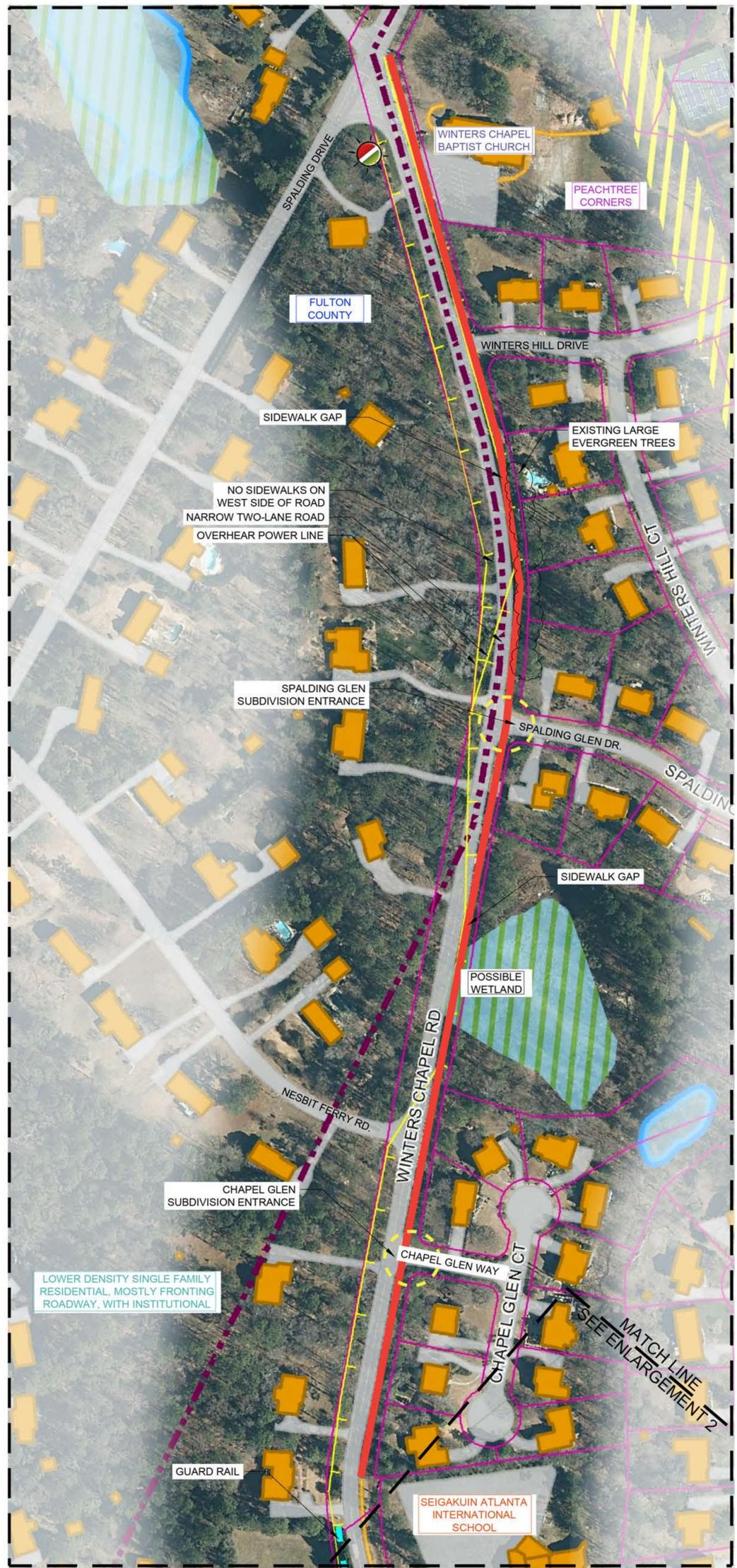
- No sidewalks on west side of road, although sidewalks in this area may not be appropriate due to single family housing type and drainage conditions.
- No sidewalk on east side of road between Spalding Drive and Seigakuin School.

MAP 1 DESCRIPTION:

The Winters Chapel Road corridor in this area is characterized by a two-lane road approximately 24' wide with wooded lots on either side. There are no sidewalks in this area. There are several single family house on large lots that front the roadway and single family subdivision houses that have backs or sides to the roads. There is a lighted intersection at Spalding Drive and the Winters Chapel Methodist Church is on the east side of this intersection. The west side of the roadway is Fulton County/ Sandy Springs and the east side of the roadway is Peachtree Corners. Peachtree Corners owns the right of way on the east side of the roadway.

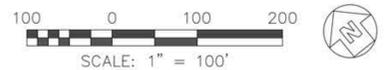


KEY PLAN
NTS



WINTERS CHAPEL ROAD CORRIDOR

PEACHTREE CORNERS AND DUNWOODY



Legend

STUDY AREA	TRAFFIC SIGNALS	SUBDIVISION ENTRANCE
COUNTY BOUNDARY	GA POWER EASEMENT	SIDEWALK GAP
OTHER IMPERVIOUS	BUILDING FOOTPRINT	GUARD RAIL
BRIDGE	PEACHTREE CORNERS PARCELS	OVERHEAD POWER LINES
DRIVEWAY	STORM STRUCTURE	POOR VISIBILITY ZONE
PARKING LOT	STORM PIPE	ACTIVITY ZONE
WALKWAY	STREAMS	COLONIAL GAS EASEMENT
SIDEWALK	WATER	PEACHTREE CORNERS PARCELS
ROAD	WETLANDS	CHARACTER AREAS
	FLOODPLAINS	

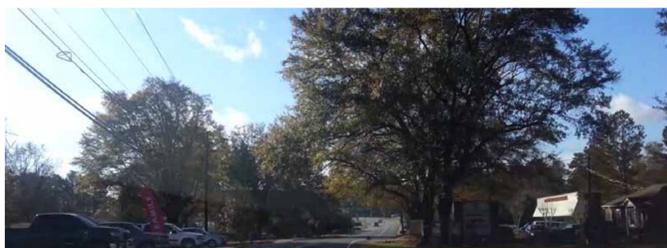
AREA 3 ANALYSIS

ROADWAY CHARACTERISTICS



- Right of way width: 75'-85'
- Roadway width : Varies
 - 24'-26' 2 drive lanes, small asphalt shoulders
 - 32'-38' 2 drive lanes, 1 side turn/accel decel lane
- Two-lane road, widens with additional turn lane and curb and gutter in some areas.
- Sidewalks along east side.
- No sidewalks along west side.
- Shoulders vary throughout corridor, some with curb, no gutter, some grass, some curb, and with sidewalk.
- Some areas of large paved shoulders/widened road.
- Speed limit 40 mph road.

DESIGN CONSIDERATIONS



- Periodic drainage swales on west side of road.
- Large cemetery on west side.
- Overhead power lines.
- Drainage swales along west side of roadway.
- Residential fences within right of way.
- Possible stream adjacent to roadway.
- Character transition zone on south side of area between residential and business/office/ institutional zone

SIDEWALK GAPS



- No sidewalks on west side of road, but additional sidewalks may not be necessary within low density residential area.
- Sidewalk gap along existing office/business area on west side of road.

MAP 3 DESCRIPTION:

This area has two-lane roads of 24' width and areas where the road widens from 32' up to 38' to accommodate a side turning lane. While there are no sidewalks along the western side of the roadway, there are consistent sidewalks along the eastern side. This area is characterized by single family homes fronting Winters Chapel as well as a cemetery that borders the roadway. The character of the roadway changes south of the cemetery where a business district begins. Dunwoody is the jurisdiction for the areas north of the Winters Chapel Methodist Church Property. Peachtree Corners has jurisdiction is on the south side along both sides of the roadway in this map area.



KEY PLAN
NTS



WINTERS CHAPEL ROAD CORRIDOR

PEACHTREE CORNERS AND DUNWOODY

Legend

	STUDY AREA		TRAFFIC SIGNALS		SUBDIVISION ENTRANCE
	COUNTY BOUNDARY		GA POWER EASEMENT		SIDEWALK GAP
	OTHER IMPERVIOUS		BUILDING FOOTPRINT		GUARD RAIL
	BRIDGE		DUNWOODY PARCELS		OVERHEAD POWER LINES
	DRIVEWAY		STORM STRUCTURE		POOR VISIBILITY ZONE
	PARKING LOT		STORM PIPE		ACTIVITY ZONE
	WALKWAY		STREAMS		COLONIAL GAS EASEMENT
	SIDEWALK		WATER		PEACHTREE CORNERS PARCELS
	ROAD		WETLANDS		CHARACTER AREAS
			FLOODPLAINS		

AREA 4 ANALYSIS

ROADWAY CHARACTERISTICS



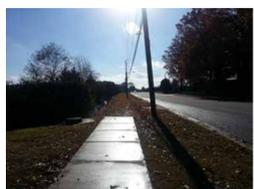
- Right of way width: Varies from about 65'-140'
- Roadway width:
 1. 36', 2 drive lanes, 1 additional lane (unofficial turn lane for access to multiple businesses or turn lane).
 2. 40' (in front of Walmart/Peeler). 2 drive lanes, 1 center turn lane, 7' shoulder.
 3. 42', 2 drive lanes, 1 turn lane, center median varies.
 4. 40-44' 2 drive lanes, wide center median.
 5. 50' with 2 drive lanes, 1 side turn/accel decal lane, 1 shoulder/ decal lane for water plant.
 6. 50' 2 drive lanes including a widened merge lane, 1 center turn lane.
- Two-lane road, widens with additional turn lane and pavement shoulders in some areas.
- Sidewalks along east side in business district.
- Sidewalks along west side in area south of Peeler Road.
- Entire area has curb, some areas of gutters with curbs.
- Some areas of large paved shoulders/widened road.
- Speed limit 40 mph.

DESIGN CONSIDERATIONS



- Periodic drainage swales on west side of road.
- Overhead power lines.
- Large Power Easement/ Transmission Line.
- Drainage swales long west side of roadway.
- Heavy vehicle and pedestrian traffic zone.
- Intersection with Peeler Road may present hazards for pedestrians and vehicles.
- Character transition zone between business/office area and water treatment plant zone
- Inconsistent applications of crosswalks.

SIDEWALK GAPS



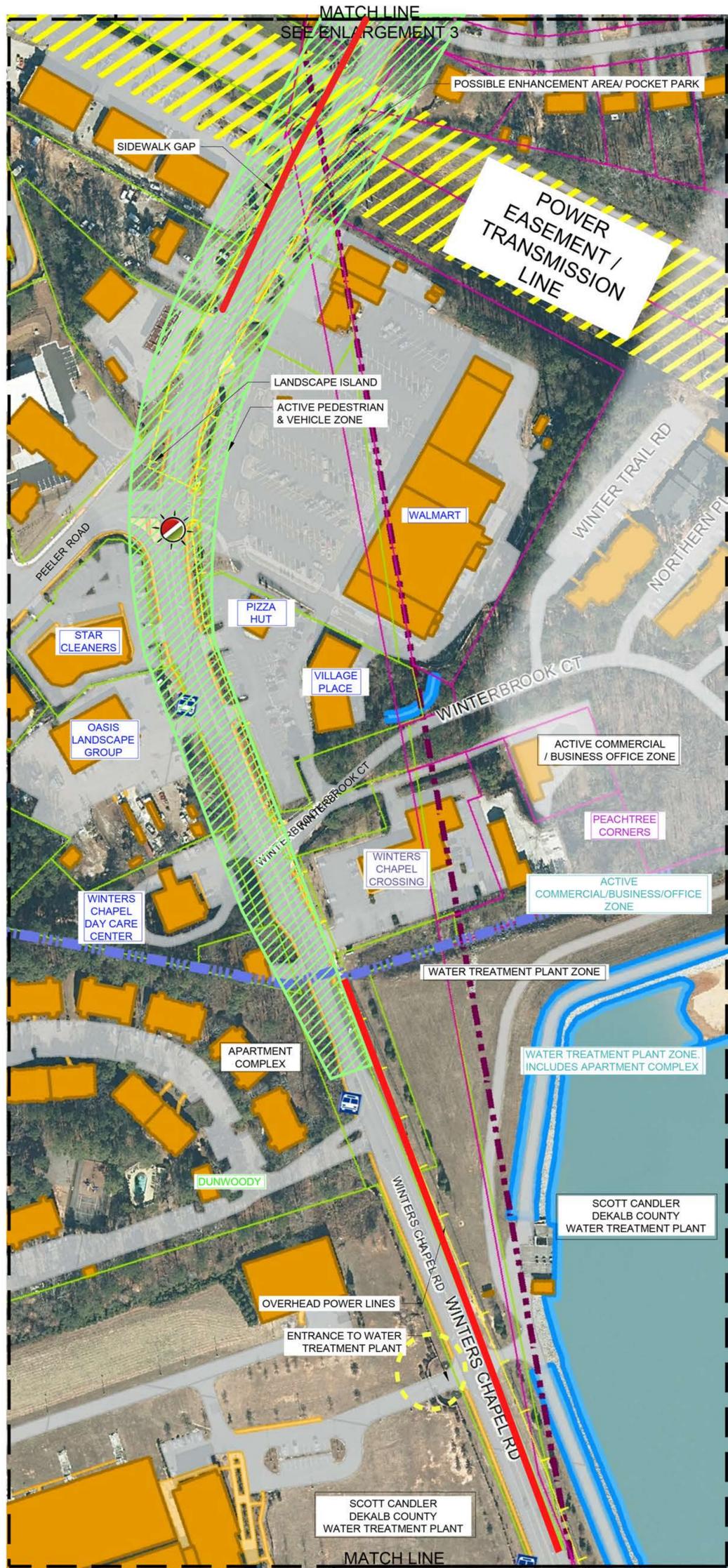
- No sidewalks on west side of road, north of Peeler road.
- Existing sidewalk along east side ends between existing commercial and water treatment plant frontage

MAP 4 DESCRIPTION:

The roadway width and right of way width vary greatly in this space due to the commercial nature of the area and the intersection with Peeler Road. Road widths vary from 36' up to 50' depending on the amount and type of lanes. There are consistent sidewalks in the commercial area on the east side of the road, but there is a gap on the east side of the road along the water treatment plant area. There are sidewalks on the west side of the road with a gap north of Peeler Road towards the power easement. This area is characterized by commercial and office units along the northern portion of the map. The southern area of the map transitions into an area that backs up against an apartment complex and a large zone fronted by the DeKalb County Scott Candler Water Treatment Plant. There is a bus route in this area with bus stops on the west side of the roadway south of Peeler Road. There is a large electrical transmission easement that crosses the northern portion of Winter's Chapel. Most of this roadway right of way falls within the jurisdiction of Dunwoody.



KEY PLAN
NTS



WINTERS CHAPEL ROAD CORRIDOR

PEACHTREE CORNERS AND DUNWOODY

Legend

	STUDY AREA		TRAFFIC SIGNALS		SUBDIVISION ENTRANCE
	COUNTY BOUNDARY		GA POWER EASEMENT		SIDEWALK GAP
	OTHER IMPERVIOUS		BUILDING FOOTPRINT		GUARD RAIL
	BRIDGE		DUNWOODY PARCELS		OVERHEAD POWER LINES
	DRIVEWAY		STORM STRUCTURE		POOR VISIBILITY ZONE
	PARKING LOT		STORM PIPE		ACTIVITY ZONE
	WALKWAY		WATER		COLONIAL GAS EASEMENT
	SIDEWALK		WETLANDS		PEACHTREE CORNERS PARCELS
	ROAD		FLOODPLAINS		CHARACTER AREAS

AREA 5 ANALYSIS

ROADWAY CHARACTERISTICS



- Right of way width: Varies from 65' to about 90'
- Roadway width:
 1. 24' with 2 drive lanes, small asphalt shoulders.
 2. 36' with 2 drive lanes, 1 side turn/accel decal lane.
 3. 50' with 2 drive lanes, 1 side turn/accel decal lane, 1 shoulder/ decal lane for water plant.
 4. 55' with 2 drive lanes, 1 extra-wide subdivision turn lane and some center median.
 5. 65' with 4 drive lanes, 1 side turn/accel decal lane near business area.
 6. 80' with 4 drive lanes, 1 center turn lane, and parking lot turn lane.
- Two-lane road, with occasional turn lanes north of business area.
- Four-lane road with turn lanes in business area adjacent to Peachtree Industrial.
- Sidewalks along west side are consistent.
- No sidewalks along east side.
- Curb along most of roadway on both sides.
- Part of the corridor has curb with gutter along both sides.
- Speed limit 40 mph.

DESIGN CONSIDERATIONS



- High vehicular and pedestrian traffic zone adjacent to businesses at Peachtree Industrial.
- Pedestrian crossing hazards in commercial area.
- Overhead power lines.
- Character transition zone on between residential and water treatment plant zone.
- Character transitions from Peachtree Industrial commercial and residential.

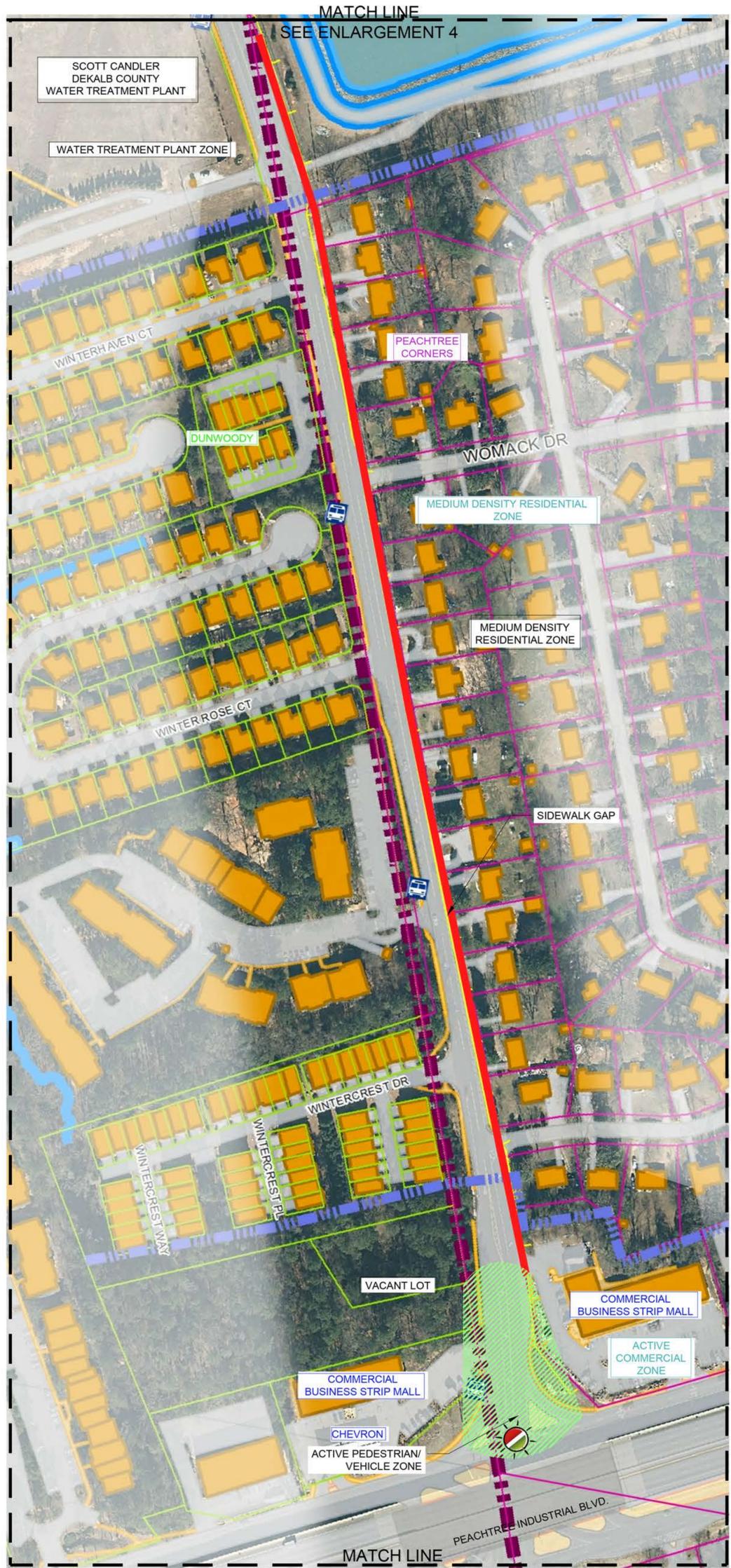
SIDEWALK GAPS



- No sidewalks from businesses at Peachtree Industrial north on east side.

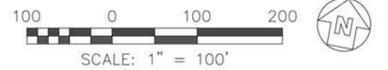
MAP 5 DESCRIPTION:

The roadway width varies greatly from 24' with two drive lanes up to 80' in the areas adjacent to the businesses where multiple turn/merge lanes exist. This area is characterized by single family residential frontage on the east side of the road and condo/apartment complexes/single family residential subdivisions on the west side of the road. There is one vacant lot and a couple of commercial business complexes at the Peachtree Industrial intersection. There are consistent sidewalks along the western side of the road and a significant gap on the east side of the road just north of the businesses at Peachtree Industrial. There is a bus route in this area with bus stops on the west side of the roadway. The eastern side of the roadway is within Peachtree Corners while the western side of the roadway is City of Dunwoody.



WINTERS CHAPEL ROAD CORRIDOR

PEACHTREE CORNERS AND DUNWOODY



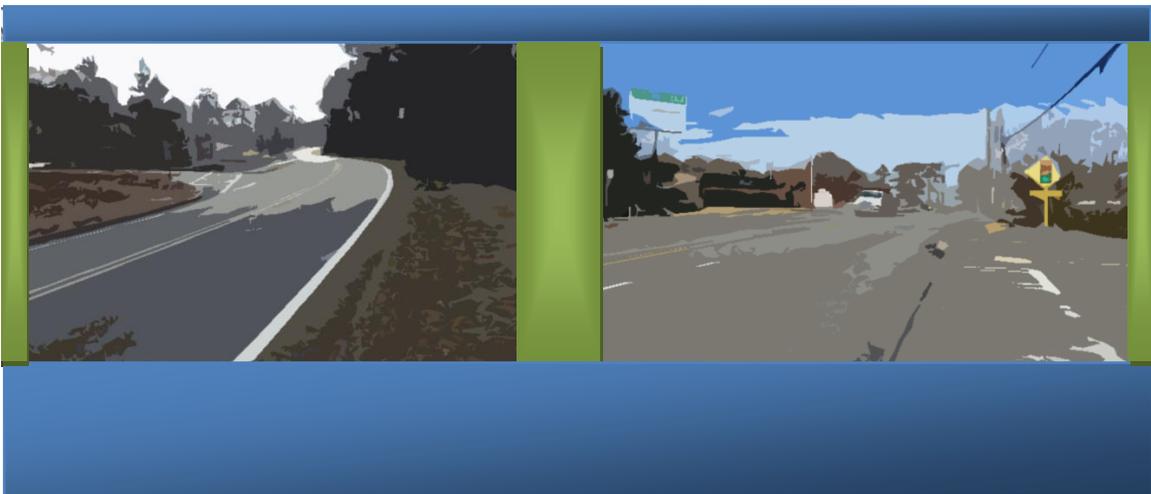
Legend

	STUDY AREA		TRAFFIC SIGNALS		SUBDIVISION ENTRANCE
	COUNTY BOUNDARY		GA POWER EASEMENT		SIDEWALK GAP
	OTHER IMPERVIOUS		BUILDING FOOTPRINT		GUARD RAIL
	BRIDGE		DUNWOODY PARCELS		OVERHEAD POWER LINES
	DRIVEWAY		STORM STRUCTURE		LIMITED SIGHT ZONE
	PARKING LOT		STORM PIPE		ACTIVITY ZONE
	WALKWAY		STREAMS		COLONIAL GAS EASEMENT
	SIDEWALK		WATER		PEACHTREE CORNERS PARCELS
	ROAD		WETLANDS		CHARACTER AREAS
			FLOODPLAINS		



Dunwoody – Peachtree Corners Winters Chapel Design Standards

Technical Assessment Documents |
December 29, 2014



Winters Chapel Design Study: Site Inventory and Analysis Key Findings

Based upon GIS Data collection and site visits, we have compiled information about the Winters Chapel Road Corridor from Peachtree Industrial north to Spalding Drive. The area is approximately a 2.5 mile corridor that traverses through Dunwoody, Peachtree Corners and an area of Sandy Springs/ Fulton County. Below are our key findings for each area as they relate to the five maps of the corridor that we have created. The maps and summary boards offer a graphic version of the textual information presented below. This information -- together with the analysis of the existing **regulatory framework** -- will be used in the creation of design standards and streetscape recommendations going forward. Furthermore, we have collected and captured electronically additional data identifying signs, location of sewer lines and underground utilities. While not shown on the graphic submittals for legibility purposes, this information will also be considered as the team prepares recommendations.

Map 1 Analysis and Findings

Summary:

The Winters Chapel Road corridor in this area is characterized by a two-lane road approximately 24' wide with wooded lots on either side. There are no sidewalks in this area. There are several single family house on large lots that front the roadway and single family subdivision houses that have backs or sides to the roads. There is a lighted intersection at Spalding Drive and the Winters Chapel Methodist Church is on the east side of this intersection. The west side of the roadway is Fulton County/ Sandy Springs and the east side of the roadway is Peachtree Corners. Peachtree Corners owns the right of way on the east side of the roadway.

Roadway Characteristics:

Right of way width 75'-80'

Roadway width: Mostly 24', 2 drive lanes with small asphalt shoulders.

Two-lane road with no sidewalks in most places.

Grass shoulder on east side of roadway.

Curb along west side of road for most of length of this section.

Speed limit 35 mph.

Peachtree Corners – Dunwoody Winter Chapel Design Standards Site Inventory & Analysis

Design Considerations:

- Periodic drainage swales on east side of road.
- Possible wetlands on (low density) property on east side of roadway.
- Limited sight distance near Seigakuin School.
- Existing vegetation.
- Possible hazards for pedestrians crossing at Spalding due to lack of pedestrian facilities.

Sidewalk Gaps:

- No sidewalks on west side of road, although sidewalks in this area may not be appropriate due to single family housing type and drainage conditions.
- No sidewalk on east side of road between Spalding Drive and Seigakuin School.

Utilities:

- Overhead power lines, locations along sides of road vary.
 - There is a water line along the east side of the roadway in this area.
 - There is a gravity sewer line along the east side of the roadway south of Winters Hill Drive to Chapel Glen Way.
- There are storm sewers and inlets:
- At Winters Hill Drive
 - In the vicinity of Spalding Glen Drive on the east side of the road.

Map 2 Analysis and Findings

Summary:

The majority of the corridor in this area is 22'-26' wide with two drive lanes and several areas where the road widens to accommodate turn lanes. There is one area of poor road visibility north of Spalding Lane. There are no sidewalks along the western side of the roadway and there is a sidewalk gap between the Seigakuin School and Marston Way. The frontage is dominated by single family residential either fronting the road or subdivisions that back up to the roadway. There are two institutions in this area, the Seigakuin Atlanta International School in the northern area and Congregation Beth Shalom on the southern side. The Colonial Pipeline easement crosses south of the Seigakuin School, and there is a large power-transmission easement north of Beth Shalom. The character of this area changes between north of Dunwoody Club Dr. and south of the power/transmission easement. The north side of this map is within Peachtree Corners on both sides of the roadway. The southern area of this map is Dunwoody on both sides of the roadway.

Roadway Characteristics:

Peachtree Corners – Dunwoody Winter Chapel Design Standards Site Inventory & Analysis

Right of Way: 65'-85, 120' at Dunwoody Club

Roadway width: Varies

22'-26' 2 drive lanes, small asphalt shoulders

36'-40' 2 drive lanes, 1 side turn/accel decel lane

Two-lane road, widens with additional turn lane and curb and gutter in some areas.

Sidewalks along east side in some sections.

Shoulders vary, some with curb and gutter, some grass shoulder.

Some areas have curb, no gutter, varying on both sides of roadway.

Speed limit 30 mph at Spalding Ln., 40 mph elsewhere.

Design Considerations:

Periodic drainage swales on east side of road.

Limited sight distance near Seigakuin School.

Possible hazards to pedestrian crossing Dunwoody Club, Congregation Beth Shalom and Seigakuin School.

Sidewalk Gaps:

No sidewalks on west side of road, but sidewalks in this area may not be appropriate due to single family housing type and drainage conditions.

No sidewalk between Spalding Drive and Seigakuin School.

Utilities:

Overhead power lines, locations along sides of road vary.

Colonial Pipeline Gas easement crosses roadway.

Large power/ transmission Line crossed roadway.

There is a water line along the east side of the roadway in this area.

There are storm sewers and inlets:

- At the frontage of the Seigakuin School.
- Along the west side of the road across from Newton Drive
- Along the east side of the road north of Marston Way.
- Along the east side of the road south of Marston Way.
- Along the northern entrance to Congregation Beth Shalom.

Map 3 Analysis and Findings

This area has two-lane roads of 24' width and areas where the road widens from 32' up to 38' to accommodate a side turning lane. While there are no sidewalks along the western side of the roadway, there are consistent sidewalks along the eastern side. This area is characterized by single family homes fronting Winters Chapel as well as a cemetery that borders the roadway. The character of the roadway changes south of the cemetery where a business district begins. Dunwoody is the jurisdiction for the areas north of the Winters Chapel Methodist Church Property. Peachtree Corners has jurisdiction on the south side along both sides of the roadway in this map area.

Roadway Characteristics:

Right of way width: 75'-85'

Roadway width: Varies

24'-26' 2 drive lanes, small asphalt shoulders

32'-38' 2 drive lanes, 1 side turn/accel decel lane

Two-lane road, widens with additional turn lane and curb and gutter in some areas.

Sidewalks along east side.

No sidewalks along west side.

Shoulders vary throughout corridor, some with curb, no gutter, some grass, some curb, and with sidewalk.

Some areas of large paved shoulders/widened road.

Speed limit 40 mph road.

Design Considerations:

Periodic drainage swales on west side of road.

Large cemetery on west side.

Drainage swales along west side of roadway.

Residential fences within right of way.

Possible stream adjacent to roadway.

Character transition zone on south side of area between residential and business/office/ institutional zone

Sidewalk Gaps:

No sidewalks on west side of road, but additional sidewalks may not be necessary within low density residential area.

Sidewalk gap along existing office/business area on west side of road.

Peachtree Corners – Dunwoody Winter Chapel Design Standards Site Inventory & Analysis

Utilities:

Overhead power lines, locations along sides of road vary.

AT&T has marked lines on the east side of the roadway south of the Methodist Church. There are marked underground fiber lines on the west side of the roadway in this area south of the cemetery.

There are storm sewers and inlets:

- South of Charmant Place

Map 4 Analysis and Findings

The roadway width and right of way width vary greatly in this space due to the commercial nature of the area and the intersection with Peeler Road. Road widths vary from 36' up to 50' depending on the amount and type of lanes. There are consistent sidewalks in the commercial area on the east side of the road, but there is a gap on the east side of the road along the water treatment plant area. There are sidewalks on the west side of the road with a gap north of Peeler Road towards the power easement. This area is characterized by commercial and office units along the northern portion of the map. The southern area of the map transitions into an area that backs up against an apartment complex and a large zone fronted by the Dekalb County Scott Candler Water Treatment Plant. There is a bus route in this area with bus stops on the west side of the roadway south of Peeler Road. There is a large electrical transmission easement that crosses the northern portion of Winter's Chapel. Most of this roadway right of way falls within the jurisdiction of Dunwoody.

Roadway Characteristics:

Right of way width: Varies from about 65'-140'

Roadway width:

1. 36', 2 drive lanes, 1 additional lane (unofficial turn lane for access to multiple businesses or turn lane).
2. 40' (in front of Walmart/Peeler). 2 drive lanes, 1 center turn lane, 7' shoulder.
3. 42', 2 drive lanes, 1 turn lane, center median varies.
4. 40-44' 2 drive lanes, wide center median.
5. 50' with 2 drive lanes, 1 side turn/accel decel lane, 1 shoulder/ decel lane for water plant.
6. 50' 2 drive lanes including a widened merge lane, 1 center turn lane.

Two-lane road, widens with additional turn lane and pavement shoulders in some areas.

Sidewalks along east side in business district.

Sidewalks along west side in area south of Peeler Road.

Entire area has curb, some areas of gutters with curbs.

Some areas of large paved shoulders/widened road.

Peachtree Corners – Dunwoody Winter Chapel Design Standards Site Inventory & Analysis

Speed limit 40 mph.

Design Considerations:

Periodic drainage swales on west side of road.

Drainage swales long west side of roadway.

Heavy vehicle and pedestrian traffic zone.

Intersection with Peeler Road may present hazards for pedestrians and vehicles.

Character transition zone between business/office area and water treatment plant zone

Inconsistent applications of crosswalks.

Sidewalk Gaps:

No sidewalks on west side of road, north of Peeler Road.

Existing sidewalk along east side ends between existing commercial and water treatment plant frontage.

Utilities:

Large Power Easement/ Transmission Line.

Overhead power lines, locations along sides of road vary.

AT&T has marked lines on the east side of the roadway.

There are marked underground fiber lines on the west side of the roadway in this area.

There are storm sewers and inlets:

- along the east side of the road south of the power easement.
- along the west side of the right of way north of the intersection of Peeler Road
- along both sides of the road in the vicinity of Winterbrook Ct.
- on the northwestern corner of the water treatment plant property in the right of way.

Map 5 Analysis and Findings

The roadway width varies greatly from 24' with two drive lanes up to 80' in the areas adjacent to the businesses where multiple turn/merge lanes exist. This area is characterized by single family residential frontage on the east side of the road and condo/apartment complexes/single family residential subdivisions on the west side of the road. There is one vacant lot and a couple of commercial business complexes at the Peachtree Industrial intersection. There are consistent sidewalks along the western side of the road and a significant gap on the east side of the road just north of the businesses at Peachtree Industrial. There is a bus route in this area with bus stops on the west side of the roadway. The eastern

Peachtree Corners – Dunwoody Winter Chapel Design Standards Site Inventory & Analysis

side of the roadway is within Peachtree Corners while the western side of the roadway is City of Dunwoody.

Roadway Characteristics:

Right of way width: Varies from 65' to about 90'

Roadway width:

1. 24' with 2 drive lanes, small asphalt shoulders.
2. 36 ' with 2 drive lanes,1 side turn/accel decel lane.
3. 50' with 2 drive lanes,1 side turn/accel decel lane, 1 shoulder/ decel lane for water plant.
4. 55' with 2 drive lanes,1 extra-wide subdivision turn lane and some center median.
5. 65' with 4 drive lanes,1 side turn/accel decal lane near business area.
6. 80' with 4 drive lanes,1 center turn lane, and parking lot turn lane.

Two-lane road, with occasional turn lanes north of business area.

Four-lane road with turn lanes in business area adjacent to Peachtree Industrial.

Sidewalks along west side are consistent.

No sidewalks along east side.

Curb along most of roadway on both sides.

Part of the corridor has curb with gutter along both sides.

Speed limit 40 mph.

Design Considerations:

High vehicular and pedestrian traffic zone adjacent to businesses at Peachtree Industrial.

Pedestrian crossing hazards in commercial area.

Character transition zone on between residential and water treatment plant zone.

Character transitions from Peachtree Industrial commercial and residential.

Sidewalk Gaps:

No sidewalks from businesses at Peachtree Industrial north on east side.

Utilities:

AT&T has marked lines on the east side of the roadway.

Overhead power lines, locations along sides of road vary.

There are marked underground fiber lines on the west side of the roadway in this area.

There are storm sewers and inlets:

- on both sides of the road south of Wintercrest Drive
- on the southwestern corner of the water treatment plant property in the right of way.

Winters Chapel Design Study: Cities of Dunwoody & Peachtree Corners Regulatory Framework

1 Summary Comparison of Relevant Development & Property Codes

This document identifies code similarities and differences between the City of Dunwoody and the City of Peachtree Corners found in their respective land development, subdivisions, zoning design standards, street ordinances and property maintenance codes. Section 1 presents a table indicating that many of the street and streetscape requirements contain similar dimensions and requirements. Sections 2 and 3 compile the original text of code from the respective cities. Section 4 notes information about the overall transportation network, based on the City of Dunwoody Transportation Master Plan (TMP) (the Gwinnett County Comprehensive Transportation Plan was also reviewed, but no projects or needs assessment were found to apply to Winters Chapel). According to the Dunwoody TMP, the corridor is classified as a minor arterial, although the majority of the road segment is comprised of 2 lanes, rather than the 4 anticipated by the City of Peachtree Corners as appropriate for this functional classification. Traffic conditions along it vary between a LOS level E and F. The segment immediately at and near the intersection with 141 contains 4 lanes and completed sidewalks.

The City of Peachtree Corners requires nonresidential and multi-family development to provide a 10 foot landscape strip in the front yard adjacent to the ROW, in addition to the ROW planting strip. A few parcels on the City of Peachtree Corners side of the corridor fall within the Overlay District boundary – the Overlay requires interparcel connectivity and a few additional design standards that may be appropriate to apply along the entire corridor.

Both cities require property owners adjacent to ROW to be responsible for the maintenance of street trees. The City of Dunwoody allows individual land development applicants to pay a fee “in-lieu-of” infrastructure improvements like sidewalks and other standards.

The table below summarizes how the cities compare in key infrastructure improvement requirements and streetscape design.

**Peachtree Corners – Dunwoody Winter Chapel Design Standards
Regulatory Framework**

TOPIC	City of Dunwoody	City of Peachtree Corners
Trigger Improvement Requirements	16.27: Specifies criteria whereby applicant required to provide: ROW, bike, sidewalk and streetscape (or fee-in-lieu)	-
Minor Arterial Standards (Feet)	Total ROW: - Travel Lane: 11 Shoulder Total: 13 Sidewalk: 5 Bike: 4 (16.244.h. requires on improved arterials) Planting Strip: 6 Utility Space: 3 Curb & Gutter: 2 Street furniture: -	Total ROW: 80 – 100 Travel Lane: lane width not specified, but s/be 4 lanes Shoulder Total: 11 Sidewalk: 5 setback 2 ft from curb Bike: - Planting Strip: 5 Res’l Street frontage buffer: 50 Utility: 3.5 Curb & Gutter: - Street furniture: overlay requires pad for future pedestrian amenities 2x8 foot pad every 300 linear ft
Street Trees	16.223 Max interval: 50 feet Min distance intersection: 25 feet Both sides of street: Required Flexibility: Arborist may permit modifications Min caliper: Single-stemmed, 3 in. Species list: Appendix B Max % per species: 35%	Max interval: 50 feet Min distance intersection: 25 feet Both sides of street: Required Flexibility: Min inch diameter: 3 inches Species list: “ native or suitable to this region” Max % per species: 5.2.4 (1) Res = 33%
Street Trees Maintenance	“Street trees must be maintained by the property owner...responsibility statement on the final plat”	“Street trees shall be maintained and cared for by the property owner adjacent to the tree except...” HOAs
Landscape Strip	-	4.1.1 a & b nonresidential/MF: 10 feet adjacent to ROW
Utilities	26.99 May be required underground	Overlay: requires underground utilities when planting street trees 5.24 Residential:
Drive Separation/ Access Mgt	16.222 (d) Director may require rear alleys or marginal access streets	From intersection: 100 feet centerline Min between drives: 100 between centerline Max # curb cuts: 1 per 400 ft frontage Overlay: If centerline between 100-200 from intersecting street ROW, access restriction may be imposed

**Peachtree Corners – Dunwoody Winter Chapel Design Standards
Regulatory Framework**

TOPIC	City of Dunwoody	City of Peachtree Corners
Inter-parcel connectivity	16.222 (t) Access Mgt: Not required on minor arterial, only arterials and greater (stub-outs and cross-access required).	Overlay:1.A. Required.
Street Lights	26-3(b) and 26-4: Illumination based on road classification; public works must approve prior to installation	Required in ROW: Staggered, 150 feet apart Overlay: Cobrahead light fixture heads. Pole type = Fluted Black Max pole height 40 ft
Paths to community facilities	16.224(d) Required easement for paths; 15 feet width and constructed per city standards.	-
Property Maintenance	8.86 Property owners keep property “clean and sanitary”. Authority: Chief Building Inspector	14.303. (b) Property owners abutting a right of way shall not allow yard trimmings to accumulate on a public street or sidewalk. (c) The unpaved areas of front yards shall be maintained with grass, ground cover or other type of landscaping..... Authority: Chief of Police

2 City of Dunwoody Development and Property Maintenance Codes

Ch 26 Streets, Sidewalks and Other Public Places

26-3 (b) Table of Street Light Illumination (foot candles by road classification)

26-4 Compliance (procedure). Any party placing street light fixtures in ROW must receive review and approval from public works

26-4 (b) Roadway or street lighting luminaires or fixtures installed within the public rights-of-way as security lights, or for the **purpose of lighting areas other than the public streets**, shall be mounted on the side of the pole opposite from the street and shall be oriented in such a manner to ensure that the lateral light distribution pattern is parallel to the street and that the vertical light distribution, at the initial light source, is perpendicular to the street, so as to protect the users of the street from objectionable glare. The approval of the city shall be obtained before installation of these lights.

Ch 16 Land Development Regulations

Sec. 16-27. - Applicability.

Applicants for any building permit or development permit must construct or otherwise provide for public right-of-way improvements as set forth in 16-28 **IF** issuance of the permit would result in any of the following:

- (1) Creation of a **new access** point to a public street;
- (2) Addition of eight or more motor vehicle **parking** stalls on the subject lot;
- (3) **Structural improvements to existing buildings** that exceed 25 percent of the county tax assessor's 100 percent assessed value of the existing improvements on the subject property, based on the value of all structural improvements over the previous 12-month period;
- (4) New buildings or building additions that result in an **increase in existing building** floor area on the subject property by more than **ten percent**, based on the total floor area added over the previous 12-month period; or
- (5) A change in use or method of operation that results in a 20 percent or greater **increase in traffic generation potential**, based on average daily and peak-hour traffic generation data published by the Institute of Transportation Engineers (ITE).

Peachtree Corners – Dunwoody Winter Chapel Design Standards Regulatory Framework

Sec. 16-28. **THEN:**

- (1) Dedication of public right-of-way on the same side of the street as the subject property;
- (2) Paved roadway, including bike lanes, on the same side of the street as the subject property;
- (3) Sidewalks on the same side of the street as the subject property;
- (4) Concrete curbs and gutters on the same side of the street as the subject property;
- (5) Storm drainage systems;
- (6) Street landscaping and streetscape appurtenances on the same side of the street as the subject property; and
- (7) Traffic control and other safety devices including, but not limited to, provisions for channelization, pavement markings, signage, pedestrian safety and traffic calming.

16.30 Deferral and Fee-in-lieu-of improvements. Establishes criteria under which applicant can defer or pay a fee instead of provide the improvement.

Division 6 – Tree Preservation

16-129 (f) Provides for a Tree Replacement Fund

Ch 16 – Article 3 – Subdivisions

Division 4 Subdivision Design

16-222 Streets

(d) Subdivisions bordering major streets or railroad rights-of-way. Where a subdivision borders on or contains an arterial or collector street, a railroad right-of-way or limited-access highway right-of-way, the community development director may impose reasonable limits or conditions on the number, type, location and design of driveway **access points**, including but not limited to the following:

- (1) Rear service alleys to facilitate traffic flow, safety and public services;
- (2) Provision of one or a pair of smaller marginal access streets approximately parallel to and on each side of this right-of-way at a distance suitable for the appropriate use of the intervening land as park or open space and to provide for multipurpose trails. These distances must also be determined with due regard for the requirements of approach grades and future grade separations;

16-222 (j) Cross-sections (3 illustrations provided in code)

Type	Travel Lanes	Bike Lanes	Curb and Gutter	Shoulder [1]
Arterial and collector streets	11'	2 @ 4'	2 @ 2'	2 @ 13'
Local streets	10'	0	2 @ 2'	2 @ 13'

Peachtree Corners – Dunwoody Winter Chapel Design Standards Regulatory Framework

Note: Shoulder includes sidewalk, planting strip, and space for utilities.

16-223 Street Trees

(b) Tree planting requirements.

(1) A street tree planting plan required.

(2) Street trees must be planted in the right-of-way. Trees must be planted at intervals or **no more than 50 feet** and **no closer than 25 feet to street intersections**. Street trees are not required abutting each individual lot where spacing distances are inadequate. Street trees are required on **both sides of the street**. The city arborist may approve alternate spacing when the 50-foot spacing requirement cannot be met...

(3) Street tree species shall be selected in accordance with the appendix B, subject to approval by the city arborist. No more than 35 percent of any one species may be used.

(4) Street trees must have a **minimum caliper of three inches**. They must be **single-stemmed** with a single, straight leader.

(5) The builder/developer must install the street trees specified on the street tree planting plan prior to the issuance of the certificate of occupancy. However, street tree plantings may be delayed from May 1 through October 1...

(6) Street trees count towards the minimum individual lot tree density requirements set forth in article II, division 6.

(c) Installation and maintenance.

(1) Installation.

a. All trees must be installed in a sound workmanlike manner...

b. **Impermeable rigid tree root barriers** must be installed in a linear method in all tree planting areas. The barriers must be a minimum of **24 inches deep** and include ribs to direct root growth downward. The root barriers must be installed in accordance with city standards and specifications.

c. Expandable plastic tree **trunk protectors** must be installed on each tree.

(2) Staking and guying. Newly planted trees **may not be staked or guyed** unless approved by the city arborist.

(3) Maintenance. Street trees must be maintained by the property owner who owns the abutting lot or by the property owners' association. Maintenance must include watering,

Peachtree Corners – Dunwoody Winter Chapel Design Standards Regulatory Framework

pruning, tree replacement and removal of leaves and litter from the sidewalks and street, as necessary. A maintenance responsibility statement must be provided on the final plat.

16-224 (d) Nonmotorized transportation easements and paths. Nonmotorized transportation easements and **paths are required** in subdivisions or projects requiring a land development permit to provide **circulation or access to schools, parks, libraries, shopping centers, transportation centers and other community facilities**. Such easements must have a width of 15 feet. Such paths must be surfaced and constructed in accordance with city standards and specifications.

16-225 (c) **Midblock easements and paths**. In blocks of 600 feet or more, the community development director may require the reservation of a ten-foot easement and durable, all-weather surfaced path with a minimum width of five feet through the block to accommodate utilities, drainage facilities, or nonmotorized travel. Such paths must be constructed in accordance with city standards and specifications.

16-244 (h) Sidewalk and Bicycle Lanes. Bicycle lanes are required on new or substantially improved arterials or collector streets where the posted speed limit is 35 miles per hour or greater. (9) Bicycle lanes may also be required...for connections to bikeways identified on the comprehensive transportation plan or other adopted plan.

Appendix B provides Planting Selection (no set list, just reference to standard book) and Appendix D Standards (instructions)

PROPERTY MAINTENANCE:

City of Dunwoody: Code Compliance is under City Chief Building Inspector (Jimmy Maloney)

Chapter 8 – Buildings: Section 8-86 (a). Property owners shall keep their property in a clean and sanitary condition (no weeds or trash).

Section 22-22. Duty of owners to maintain property in conformance with applicable codes. Five people need to complain and public officer will investigate and can make a summons to court.

3

City of Peachtree Corners Development and Property Maintenance

Overlay district applies to segments of Winter Chapel. Segments related to Transportation/Infrastructure (from city checklist):

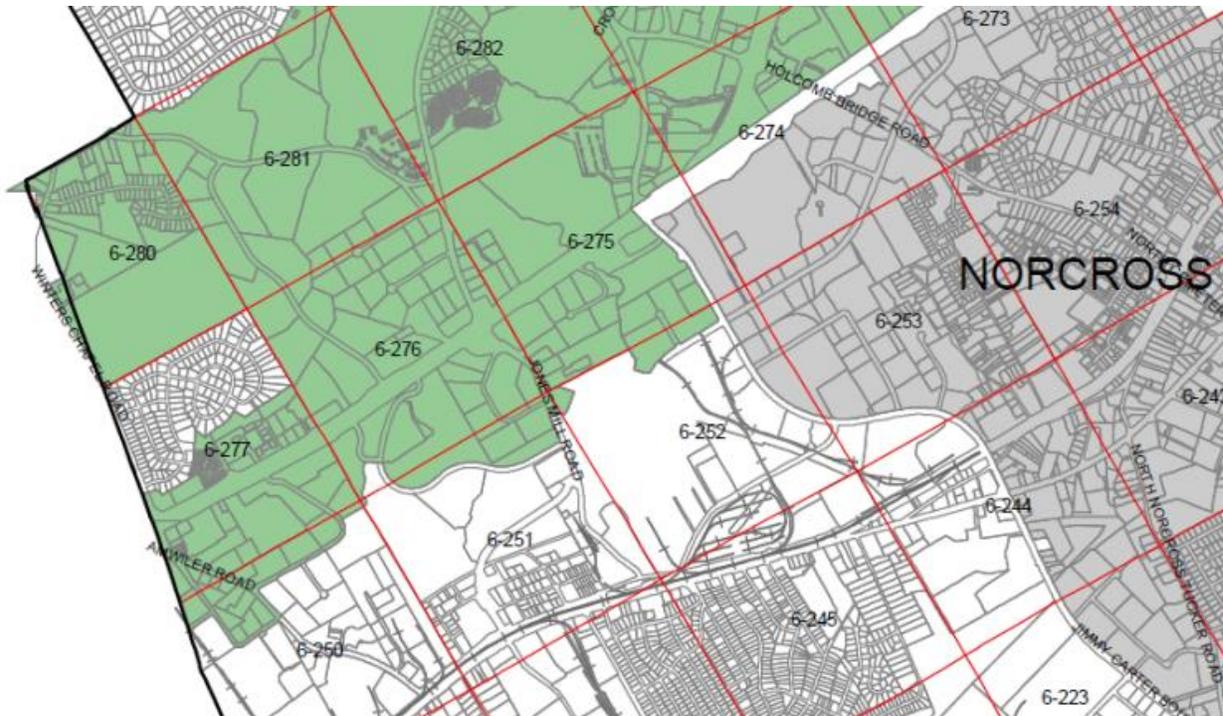
☐ 1.A. Provide inter-parcel vehicle access points between all contiguous commercial, office, industrial or attached residential tracts. This requirement may be waived by the Community Development Director only if it is demonstrated that an inter-parcel connection is not feasible due to traffic safety or topographic concerns.

☐ 1.B. All new utility lines shall be located underground.

☐ 1.C. Sidewalks shall be required adjacent to all public rights-of-way and into and throughout attached residential developments. The location of sidewalks shall be reviewed and approved by the Gwinnett County or Georgia Department of Transportation. It is encouraged that a minimum three-(3)-foot wide sidewalk connection be provided from public rights-of-way to the entrance(s) of buildings.

☐ 1.D. **Sidewalks** shall be constructed with an **additional 2-foot by 8-foot pad approximately every 300 linear feet** to accommodate future pedestrian amenities such as benches, planters, and trash containers. All such required amenities shall be decorative, commercial-quality fixtures. Sidewalk design and placement of any of these amenities shall be reviewed and approved by the Gwinnett County or Georgia Department of Transportation.

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1.E. **Streetlights** along all public rights-of-way shall be decorative light poles/fixtures. Light source shall be high-pressure sodium. Streets lights shall be staggered, 150 feet on-center, along both sides of the roadway. All street lighting shall be subject to review and approval of the Gwinnett County Department of Transportation. Where applicable, streetlights shall be placed adjacent to required pedestrian amenity sidewalk pads. Peachtree Corners Overlay District – shall utilize Cobrahead light fixture heads. Pole type design is Fluted Black and the maximum pole height is 40’.

Light fixtures which are utilized shall be as follows:

1.F. Lighting throughout all parking areas shall be decorative light poles/fixtures. Light source shall be metal halide, not exceeding an average of 4.5 foot-candles of light output throughout the parking area. Other than **pedestrian light fixtures** which will be less than 14 feet tall, light fixtures shall be hooded. All lighting will be metal halide. Lighting shall be directed to avoid intrusion on adjacent properties and away from adjacent thoroughfares. Light fixtures shall be Box Head Fixture. Pole type design shall be Fluted Black. The maximum pole height is 35’.

2. Landscaping Requirements

2. A. Provide, at a minimum, 20 Tree Density Units per acre for all non-residential development. Type and size of plantings shall be in compliance with City of Peachtree Corners Buffer,

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Landscape and Tree Ordinance. At least 50% of plantings shall consist of trees 3-inches in caliper (dbh) or greater.

2.B. Provide landscaped islands throughout all surface parking areas as required by the City of Peachtree Corners Buffer, Landscape and Tree Ordinance.

2.C. Provide a minimum ten-foot wide landscaped strip between all road rights-of-way and the back-of-curb of abutting off-street paved **parking lots**. Landscaped strips between road rights-of-way and the edge of abutting off-street grassed parking areas shall be five-feet in width. At a minimum, landscaped strips shall be planted in accordance with the City of Peachtree Corners Buffer, Landscape and Tree Ordinance.

2.D. Provide non-ornamental shade trees spaced 50-feet on-center or grouped at 120-feet on-center along the right of way on the following roads {NOTE: does NOT include Winters Chapel}:

- a. Peachtree Industrial Boulevard
- b. Peachtree Parkway
- c. Peachtree Corners Circle
- d. Holcomb Bridge Road
- e. Jimmy Carter Boulevard

All street trees shall be a minimum 4-inch caliper (dbh) at the time of planting. Street trees shall be planted six-(6)-feet from back-of-curb subject to review and approval of the Georgia Department of Transportation or Gwinnett County Department of Transportation.

Street trees shall be of one (1) or a combination of the following species:

1. Willow Oak
2. Overcup Oak
3. Nuttall Oak
4. Pin Oak
5. Shumard Oak
6. Lacebark
7. Japanese Zelkova

2.E. **Dumpsters** which may be seen from adjacent properties or public parking lots shall be screened from view on all four (4) sides. Screening shall consist of three (3) solid walls of brick, stucco or split-face block construction, at least six (6) feet in height, with 100 percent solid metal or wooden gates. Dumpsters shall be placed in the rear yard and may be located 0-feet from the property line, if the adjoining property is zoned non-residential and 0-feet from all applicable buffers, if the adjoining property is zoned residential.

4. Signage; Temporary Uses

☐ 4.A. Except as contained herein, sizes and amount of signage shall not exceed the requirements of the Sign Ordinance.

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☒ 4.B. Oversized Signs or Billboards shall not be permitted.

☒ 4.C. Ground signs shall be limited to monument-type signs. Base and sign structure shall be constructed of materials such as brick, stone, stucco, wood or metal consistent with the architecture and exterior treatment of the building.

☒ 4.D. Blinking, exposed neon, portable, inflatable and temporary signage shall be prohibited.

ALSO: Architectural design standards. I could not find architectural standards in the Dunwoody Code

Development Ordinance (2011)

5.4.1. Improvements in this code required.

5.7.1. Standard drawings on file (per development review checklist, they use Gwinnett County standard drawings)

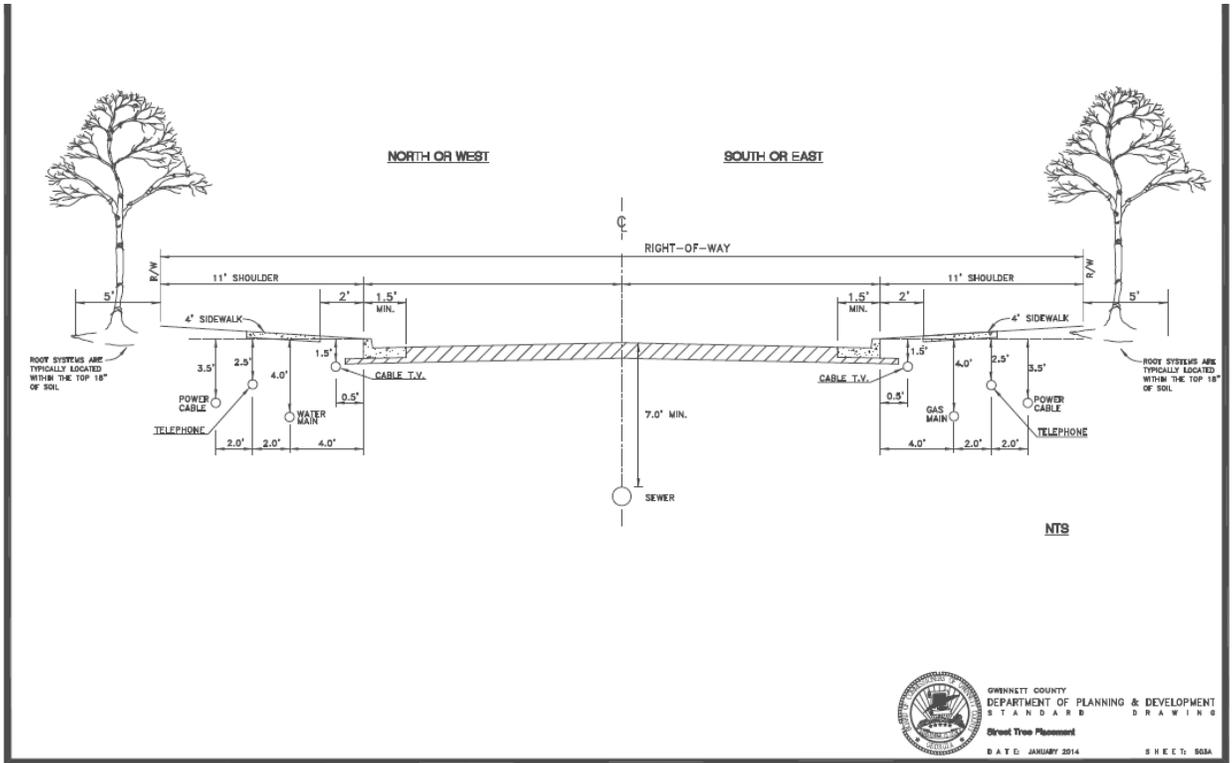
Haynes Creek Watershed Protection (i.d. on map – has criteria for built environment)

[Gwinnett County standards found here:

<http://www.gwinnettcounty.com/portal/gwinnett/Departments/PlanningandDevelopment/DocumentsandRegulations/DevelopmentRegulationsStandardDrawings>] [Sheet 315 Sidewalk

Typical indicates only that sidewalk to match existing] [Sheet 503a. Street Tree placement below:]

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Section 6.3 (1) Table 6a

TABLE 6-A MINIMUM RIGHT-OF-WAY AND ROADWAY WIDTHS FOR NEW STREETS AND PROJECT ACCESS IMPROVEMENTS		
STREET CATEGORY	MINIMUM RIGHT-OF-WAY (1)	MINIMUM ROADWAY (2)
<u>PRINCIPAL ARTERIAL</u>	120' TO 150'	6 THROUGH LANES WITH MEDIAN
<u>MAJOR ARTERIAL</u>	100' TO 120'	67'
		4 TO 6 THROUGH LANES WITH MEDIAN
<u>MINOR ARTERIAL</u>	80' TO 100'	52' TO 66'
		4 THROUGH LANES WITH MEDIAN
<u>MAJOR COLLECTOR</u>	80'	52'
<u>MINOR COLLECTOR</u>	60' TO 80'	28'
<u>LOCAL STREET</u>	60' (3)	32'
NONRESIDENTIAL NONRESIDENTIAL CUL-DE-SAC		

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Q: Would new projects here trigger the need for decel lanes?

6.13. 2 Sidewalks, Design and Construction Standards.

Sidewalks shall be constructed in accordance with the requirements of this section. The director is authorized to grant modifications upon specific application due to topographic or drainage difficulty as well as alternative design proposals after receiving a recommendation from the Department of Transportation.

a. Width. Sidewalks shall be at least 4 feet wide on new internal subdivision streets except sidewalks shall be at least 5 feet wide on new internal streets or drives within the Senior Oriented Residence District (R-SR). Sidewalks shall be at least 5 feet wide on abutting external streets.

b. Setback. Sidewalks shall be located at least 2 feet from the back of curb except in conservation trees are provided (bridges excepted). Sidewalks in conservation subdivisions or in subdivisions in which street trees are provided shall be located at least 6 feet from the back of curb (bridges excepted). The area between the curb and the sidewalk shall consist of grass or landscaping. Where no curb exists, or if road improvements are proposed for installation by the City, sidewalks, including appropriate drainage facilities, shall be constructed in a location acceptable to the Department of Transportation.

c. Cross Slope. Sidewalks shall be constructed with a cross slope of 0.25 inch per foot. Sidewalks shall maintain this cross slope at driveway crossings or transition the sidewalk to a driveway with ramps and detectable warnings.

d. Material. Sidewalks shall be constructed of concrete at least 4 inches thick. Concrete shall be Class "B" (as defined by Georgia DOT) with a minimum strength of 2,200 PSI at 28 days.

9.7.5 All driveways except those serving residential units on individual lots shall be recommended to meet the following criteria:

a. Minimum separation from a street intersection:

100' from centerline of driveway to nearest right-of-way line of the intersecting street, extended. For any driveway on a major thoroughfare having a centerline between 100' and 200' from the intersecting street right-of-way line, access restriction may be imposed to avoid traffic hazards. Greater separation may be required for safe operation of a free-right lane, acceleration or deceleration lane, etc.

b. Minimum separation between driveways along the same side of a major thoroughfare: 100' between centerline as measured along the roadway edge or back of curb driveway Separation (curb cuts) (skipped C – not applicable)

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d. Maximum number of driveways serving a single project: one (1) for each 400' of property frontage, or fraction thereof per street, along a major thoroughfare. This is not meant to be a spacing standard but only an expression of the total number of driveways that are permitted serving a single project.

11 – Subdivision procedures: pre-application meeting is not required. [RECOMMEND ADD TO CHECKLIST IF WINTERS CHAPEL ADDRESS or FRONTAGE EVEN IF NOT ACCESSED VIA WINTERS CHAPEL][PLATS REQUIRE CERTIFICATE OF APPROVAL; withhold until new W/C procedures followed, if along W/C roadway].

Buffer, Landscape and Tree Ordinance

3.4 (a) Street Frontage Buffer. Only required for **new residential subdivisions** – 50 ft wide and no access easements allowed to cross it. However, Director may authorize modifications.

4.1.1 Non-residential and Multi-Family.

Nonresidential and multi-family uses shall provide for and maintain landscape plantings on-site as follows:

- a. In a Landscape Strip at least 10 feet in width **adjacent to any street right-of-way** abutting the property and running the length of the entire property frontage; and,
- b. In areas adjacent or internal to **off-street parking lots** that are required by the Zoning Resolution to contain more than 5 off-street parking spaces; and,
- c. As required by a condition of zoning, special use or variance approval.

4.2 Planting requirements

4.2.1 10 foot strips: (4.2.3 says for those wider than 10 ft, plantings s/be proportional)

- a. One (1) tree for each 25 linear feet of strip length shall be provided. Deciduous trees shall be at least 2 inches in diameter and evergreen trees shall be 6 feet in height at time of planting. Trees shall be a species native or suitable to this region.
- b. One (1) shrub for each 25 linear feet of strip length shall be provided. Each shrub shall be a species native or suitable to this region.
- c. Trees and shrubs required herein may be planted and spaced singly or in groups as authorized by the Director so long as the total number of plantings is achieved.
- d. The remaining ground area shall be sodded, seeded or hydroseeded with grass, and/or planted with groundcover species and/or provided with other landscaping material, or any combination thereof.

4.2.2. Five (5) Foot Wide Landscape

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- a. One (1) tree for each 50 linear feet of strip length shall be provided. Deciduous trees shall be at least 2 inches in diameter and evergreen trees shall be at least 6 feet in height at time of planting. Trees shall be a species native or suitable to this region.
- b. One (1) shrub for each 50 linear feet of strip length shall be provided. Each shrub shall be a species native or suitable to this region.
- c. Trees and shrubs required herein may be planted and spaced singly or in groups as authorized by the Director so long as the total number of required plantings is achieved.
- d. The remaining ground area shall be sodded, seeded or hydroseeded with grass, and/or planted with groundcover species and/or provided with other landscaping material, or any combination thereof.

5.2.4 Residential

b. Street Trees.

Underground utilities are required when planting street trees. Street tree requirements are as follows:

1. Street trees shall be at least 3 inches in diameter. The quantity of trees shall be at least one (1) tree per each 50 linear feet of street (both sides of the street). Trees shall be planted in the street right-of-way. Trees shall be located at least 3 feet from the back of curb unless a modification is granted by the director. Street trees listed in Appendix "A" A.2 Parking Lot & Street Tree Species List, shall be selected, planted and maintained. Maximum allowable genus of street trees to be 33% of entire subdivision or one genus per street. Street trees count towards meeting the 16 TDU/ Acre.
2. Developers shall enter into a performance surety agreement with the department guaranteeing tree planting within 2 years of the date of recording of the Final Plat. The director is authorized to grant a modification from the time limit. The performance surety shall be provided at the time of recording the Final Plat. In addition, a Street Tree Planting Plan shall be submitted to and approved by the department prior to planting by the developer. Street tree planting shall be delayed from June through August.
3. Street trees shall be **maintained and cared for by the property owner adjacent to the tree** except in subdivisions in which the property owners association provides maintenance and care. Maintenance shall include replacement and trimming as necessary. A maintenance responsibility statement shall be provided on the Final Plat. A Modification may be granted.

5.3.4 Provides for a Tree Bank option (city maintains a list of receiving sites and list of monetary value ((2 options))

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6.1 Administrative parameters for city policy to promote water efficient landscaping (xeriscaping)

Appendix A – Street Trees Species Lists (A1, A2, A3). Note that Crepe Myrtle **cannot** be used to meet landscape strip requirements; it may be used as decorative supplement, but not count as meeting city standards.

14.281 Gwinnett Property Maintenance Ordinance (Peachtree Corners adopted Gwinnett County codes)

14.303. (b) Property owners abutting a right of way shall not allow yard trimmings to accumulate on a public street or sidewalk.

(c) The unpaved areas of front yards shall be maintained with grass, ground cover or other type of landscaping to such an extent that the soil is not subject to erosion.

14-309. - Registered agents. Prior to the issuance of a Certificate of Occupancy for any multi-family development, commercial, office or industrial property, or mobile home park, or during the first thirty calendar days of each year, whichever occurs earlier, the owner and each Occupation Tax Certificate holder for each multi-family development, commercial, office, or industrial property, or mobile home park must designate the name, Gwinnett County address, and twenty-four hour phone number of an agent for the property.

Sec. 14-361. - Enforcement. (a) This article shall be enforced by the **Chief of Police or the Director** of the Gwinnett County Department of Planning and Development or their duly authorized representatives, as applicable.

4

Transportation Network Notes

Winters Chapel is a designated **truck route** (according to the Dunwoody Transportation Master Plan)(TMP). It is classified as a **minor arterial** (as is Spalding; Peeler is a collector), and it is not identified for any new improvements according to the Dunwoody Prioritized Sidewalk Program project list. Minimum **spacing for curb cuts** should be around 600 feet, given the functional classification (alternatively, determine by speed). Currently the Level of Service (LOS) is at an E or F, depending on the road segment, which means that a greater volume of traffic than capacity exists on the road (from Winterhaven Court to Winterbrook Court or Charmont Place to Fountainebleau Drive, respectively) .

Bus routes: Route 103 (originates at Chamblee MARTA).

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Planned Improvements: Candidate project #16 in the D-TMP shows widening Winters Chapel from 2 to 4 lanes at a cost of \$7.4 million, but the Dunwoody Transportation Master Plan shows a preliminary recommendation of “no” (i.e., do not pursue given other priorities). The Gwinnett County Unified Plan’s Comprehensive Transportation Plan does not identify any improvements for Winters Chapel or its intersections.