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## COUNCIL MEETING AGENDA

Mike Mason, Mayor

Phil Sadd – Post 1, Council Member  
Eric Christ – Post 2, Council Member  
Alex Wright – Post 3, Council Member

Jeanne Aulbach – Post 4, Council Member  
Lorri Christopher – Post 5, Council Member  
Weare Gratwick – Post 6, Council Member

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August 28, 2018

### COUNCIL AGENDA

7:00 PM

PEACHTREE CORNERS CITY HALL – Council Chambers  
310 TECHNOLOGY PARKWAY, PEACHTREE CORNERS, GA 30092

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**A) CALL TO ORDER**

**B) ROLL CALL**

**C) PLEDGE OF ALLEGIANCE**

**D) MAYOR'S OPENING REMARKS**

**E) CONSIDERATION OF MINUTES** – Approval of the July 24, 2018 Council Meeting Minutes and the August 14, 2018 Council Work Session Minutes.

**F) CONSIDERATION OF MEETING AGENDA**

**G) PUBLIC COMMENTS**

**H) CONSENT AGENDA**

1. **APH 2018-06-070** APH 2018-07-070 Approval of Alcoholic Beverage License Application for Confettis Bar & Grill, 6470 Spalding Drive, Ste A, Peachtree Corners, GA 30092.
2. **APH 2018-07-071** APH 2018-07-071 Approval of Alcoholic Beverage License Application for Ali Nur, LLC – D.B.A. Circle K, 6385 Peachtree Industrial Blvd, Peachtree Corners, GA 30092.
3. **APH 2018-07-72** APH 2018-07-72 Approval of Alcoholic Beverage License Application for Aiko Importers, Inc, 5824 Peachtree Corners East, Peachtree Corners, GA 30092.
4. **APH 2018-07-73** APH 2018-07-73 Approval of Alcoholic Beverage License Application for Rinconcito Centro Americano, 7050 Jimmy Carter Blvd, Ste 124, Peachtree Corners, GA 30092.
5. **Action Item** Consideration of approval of budget appropriation for Prototype Prime.

## **I) PUBLIC HEARING**

- 1. O2018-07-128** Second Read and Consideration of SUP2018-004, Associated Credit Union, request to approve a special use permit to accommodate a new detached drive-through banking facility adjacent to an existing credit union office building at 6251 Crooked Creek Road, Dist. 6, Land Lot 283, Peachtree Corners, GA.
- 2. O2018-07-129** Second Read and Consideration of SUP2018-005, Bread of Life Christian Church, request to approve a special use permit to accommodate a religious facility in an existing building at 4995 Avalon Ridge Parkway, Dist. 6, Land Lot 270, Peachtree Corners, GA.
- 3. O2018-07-130** Second Read and Consideration of RZ2018-002, Atlanta Best Used Cars, request to approve a rezoning from M-1 to C-3 to accommodate used car sales at an existing building at 4765 Buford Highway, Dist. 6, Land Lot 258, Peachtree Corners, GA.
- 4. O2018-08-131** First Read and Consideration of PH2018-012, Restaurant Use in M-1, regarding an amendment to Zoning Code Sec. 1310, M-1 Light Industry District, to add restaurants as a permitted use.

## **J) ITEMS FOR CONSIDERATION**

- 1. PH2018-008** Consideration of elevation approval for Lazy Dog Restaurant located in the Peachtree Corners Town Center at 5224 Peachtree Parkway south of Town Center Boulevard., Dist. 6, Land Lot 301, Peachtree Corners, GA.
- 2. Action Item** Consideration of awarding a contract for the management of events on the Town Green and authorizing the City Manager to execute all associated documents.
- 3. Action Item** Consideration of a contract for Field Services and Stormwater Maintenance.

## **K) CITY MANAGER UPDATES**

## **L) EXECUTIVE SESSION**

## **M) ADJOURNMENT**

# Minutes



**CITY OF PEACHTREE CORNERS**  
**COUNCIL MEETING MINUTES**  
**JULY 24, 2018 @ 7:00PM**

The Mayor and Council of the City of Peachtree Corners held a Council Meeting at City Hall, 310 Technology Parkway, Peachtree Corners, GA, 30092. The following were in attendance:

Mayor	Mike Mason
Council Member	Phil Sadd – Post 1
Council Member	Eric Christ – Post 2
Council Member	Alex Wright – Post 3
Council Member	Jeanne Aulbach – Post 4
Council Member	Lorri Christopher – Post 5
Council Member	Weare Gratwick – Post 6
City Manager	Brian Johnson
City Clerk	Kym Chereck
City Attorney	Bill Riley
Community Dev. Dir.	Diana Wheeler
Finance Director	Brandon Branham
Public Works Director	Greg Ramsey
Planning & Dev. Mgr.	David Chastant

**CONSIDERATION OF MINUTES:**

**MOTION TO APPROVE THE MINUTES FROM THE JUNE 27, 2018 COUNCIL MEETING.**

**By: Council Member Christopher**

**Seconded by: Council Member Sadd**

**Vote: (7-0) (Christopher, Sadd, Mason, Christ, Wright, Aulbach, Gratwick)**

**MOTION TO APPROVE THE MINUTES FROM THE JULY 10, 2018 WORK SESSION.**

**By: Council Member Sadd**

**Seconded by: Council Member Gratwick**  
**Vote: (7-0) (Sadd, Gratwick, Mason, Christ, Wright, Aulbach, Christopher)**

**CONSIDERATION OF MEETING AGENDA:** There were no changes.

**PUBLIC COMMENT:** There were six (6) comments in opposition to the pedestrian bridge and two (2) comments in favor of the pedestrian bridge. The pedestrian bridge will be located between the Forum Shopping Center and the City Town Center.

**CONSENT AGENDA:**

**R2018-07-110**

Consideration of a Resolution to Call for a Special Election.

**MOTION TO APPROVE THE R2018-07-110.**

**By: Council Member Christopher**

**Seconded by: Council Member Gratwick**

**Vote: (7-0) (Christopher, Gratwick, Mason, Sadd, Christ, Wright, Aulbach)**

**ACTION ITEM**

Consideration of Entering an Intergovernmental Agreement with Gwinnett County for the use of Election Equipment.

**MOTION TO APPROVE THE INTERGOVERNMENTAL AGREEMENT WITH GWINNETT COUNTY FOR THE USE OF ELECTION EQUIPMENT.**

**By: Council Member Christopher**

**Seconded by: Council Member Gratwick**

**Vote: (7-0) (Christopher, Gratwick, Mason, Sadd, Christ, Wright, Aulbach)**

**ACTION ITEM**

Consideration of an engineering consulting agreement for 2018 LMIG sidewalks.

**MOTION TO APPROVE AN ENGINEERING CONSULTING AGREEMENT WITH KECK & WOOD, INCORPORATED FOR \$85,501.67.**

**By: Council Member Christopher**  
**Seconded by: Council Member Gratwick**  
**Vote: (7-0) (Christopher, Gratwick, Mason, Sadd, Christ, Wright, Aulbach)**

**PUBLIC HEARING:**

**PH2018-009**

Application for Metropolitan River Protection Act Certificate 4324 Ridgegate Drive.

Brian Johnson, City Manager, presented the application to the Mayor and Council.

Mayor Mason opened the floor for public comment. There were no comments.

**MOTION TO APPROVE PH2018-009.**

**By: Council Member Aulbach**  
**Seconded by: Council Member Christopher**  
**Vote: (7-0) (Aulbach, Christopher, Mason, Sadd, Christ, Wright, Gratwick)**

**O2018-06-127**

Second Read and Consideration of an Ordinance to Establish a Sidewalk Bank Program and to Amend Sec. 34-128 of Article V of The City of Peachtree Corners Land Development Regulations.

Brian Johnson, City Manager, presented the Ordinance to the Mayor and Council.

Mayor Mason opened the floor for public comment. There were no comments.

**MOTION TO APPROVE O2018-06-127.**

**By: Council Member Sadd**  
**Seconded by: Council Member Aulbach**  
**Vote: (7-0) (Sadd, Aulbach, Mason, Christ, Wright, Christopher, Gratwick)**

**O2018-07-128**

First Read and Consideration of SUP2018-004, Associated Credit Union, request to approve a special use permit to accommodate a new detached drive-through banking facility adjacent to an existing credit union office

building at 6251 Crooked Creek Road, Dist. 6, Land Lot 283, Peachtree Corners, GA. (Second Read and Public Hearing August 28, 2018)

**O2018-07-129**

First Read and Consideration of SUP2018-005, Bread of Life Christian Church, request to approve a special use permit to accommodate a religious facility in an existing building at 4995 Avalon Ridge Parkway, Dist. 6, Land Lot 270, Peachtree Corners, GA. (Second Read and Public Hearing August 28, 2018)

**O2018-07-130**

First Read and Consideration of RZ2018-002, Atlanta Best Used Cars, request to approve a rezoning from M-1 to C-3 to accommodate used car sales at an existing building at 4765 Buford Highway, Dist. 6, Land Lot 258, Peachtree Corners, GA. (Second Read and Public Hearing August 28, 2018)

**CITY MANAGER UPDATES:** There were no City Manager updates.

**EXECUTIVE SESSION:** There was no executive session.

**ADJOURNMENT:**

**MOTION TO ADJOURN AT 7:25 PM.**

**By: Council Member Sadd**

**Seconded by: Council Member Aulbach**

**Vote: (7-0) (Sadd, Aulbach, Mason, Christ, Wright, Christopher, Gratwick)**

Approved,

Attest:

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Mike Mason, Mayor

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KyMBERly Chereck, City Clerk  
(Seal)



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Mike Mason, Mayor

Phil Sadd – Post 1, Council Member  
Eric Christ – Post 2, Council Member  
Alex Wright – Post 3, Council Member

Jeanne Aulbach – Post 4, Council Member  
Lorri Christopher – Post 5, Council Member  
Weare Gratwick – Post 6, Council Member

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August 14, 2018

**WORK SESSION MINUTES**

7:00 PM

PEACHTREE CORNERS CITY HALL – Boardwalk  
310 TECHNOLOGY PARKWAY, PEACHTREE CORNERS, GA 30092

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The Mayor and Council of the City of Peachtree Corners held a Work Session at City Hall, 310, Peachtree Corners, GA, 30092. The following were in attendance:

Mayor  
Council Member  
Council Member  
Council Member  
Council Member  
Council Member  
Council Member/  
Mayor Pro Tem

Mike Mason  
Phil Sadd – Post 1  
Eric Christ – Post 2  
Alex Wright – Post 3  
Jeanne Aulbach – Post 4  
Lorri Christopher – Post 5  
Weare Gratwick – Post 6

City Manager  
City Clerk  
City Attorney  
Community Dev. Dir.  
Finance Director  
Public Works Director  
Communications Director

Brian Johnson  
Kym Chereck  
Bill Riley  
Diana Wheeler  
Brandon Branham  
Greg Ramsey  
Judy Putnam

- Lynette Howard to address Council regarding Gwinnett County Transit Vote** – *Commissioner Howard informed the Mayor and Council of the upcoming transit vote in March of 2019. Commissioner Howard explained, among other items, that some of her priorities for the contract included the safety for citizens and also, the cleanliness of the transit.*
- Discussion regarding Zoning Code text amendments** – *There will be one amendment to the Zoning Code forwarded to the Mayor and Council at the next Council meeting.*
- Consideration of an IGA with Dunwoody, Georgia for the construction of Dunwoody Club Drive Sidewalks** – *This item is receiving further review.*
- Update on change order for FY19 resurfacing** – *Greg Ramsey, Public Works Director, informed the Mayor and Council that there will be a change to the FY19 resurfacing contract which should commence in March of 2019.*

5. **Stormwater system assessment – Update** – *Greg Ramsey, Public Works Director, gave a brief update on the Peachtree Corners Closed Conduit Inventory.*
6. **Example format for Building Permits /LDP Report** – *Diana Wheeler, Community Development Director, presented a sample report for building permits and land disturbance permits. It was determined that the presented format would be utilized from this point on for reporting purposes.*
7. **ACTION ITEM: Consideration of Authorizing the City Manager to enter into all remaining agreements to complete and fund City and DDA responsible improvements at the Town Center.**

**MOTION TO AUTHORIZE THE CITY MANAGER TO ENTER INTO ALL NECESSARY CONTRACTS TO COMPLETE AND FUND CITY AND DDA RESPONSIBLE IMPROVEMENTS WITHIN THE TOWN CENTER INCLUDING A CONTRACT WITH ORDNER CONSTRUCTION COMPANY FOR THE CONSTRUCTION OF THE TOWN GREEN PROJECT, NOT TO EXCEED \$3,125,547.00.**

**By: Council Member Aulbach**

**Seconded: Council Member Sadd**

**Vote: (7-0) (Aulbach, Sadd, Mason, Christ, Wright, Christopher, Gratwick)**

8. **ACTION ITEM: Consideration of a stormwater repair contract – Harrow Trace**

**MOTION TO APPROVE A NOT TO EXCEED AMOUNT OF \$256,300.00 FOR A STORMWATER REPAIR CONTRACT FOR IMPROVEMENTS ON HARROW TRACE.**

**By: Council Member Christ**

**Seconded: Council Member Sadd**

**Vote: (7-0) (Christ, Sadd, Mason, Wright, Aulbach, Christopher, Gratwick)**

9. **City Manager Updates -** *Brian Johnson, City Manager, gave an update on glass recycling, property located around Peachtree Parkway and Woodhill Drive, and function space at City Hall.*

10. **Executive Session – Real Estate matter**

**MOTION TO GO INTO EXECUTIVE SESSION FOR ONE REAL ESTATE MATTER.**

**By: Council Member Gratwick**

**Seconded: Council Member Christopher**

**Vote: (7-0) (Gratwick Christopher, Mason, Sadd, Christ, Wright, Aulbach)**

**MOTION TO GOME COME OUT OF EXECUTIVE SESSION FOR ONE REAL ESTATE MATTER.**

**By: Council Member Sadd**

**Seconded: Council Member Christopher**

**Vote: (7-0) (Sadd, Christopher, Mason, Christ, Wright, Aulbach, Gratwick)**

11. **Adjournment – 10:30 PM**

**CONSENT  
AGENDA**

**APH 2018-06-070**



Mayor  
**Mike Mason**

**Phil Sadd** | Post 1  
**Eric Christ** | Post 2

**Alex Wright** | Post 3  
**Jeanne Aulbach** | Post 4

**Lorri Christopher** | Post 5  
**Weare Gratwick** | Post 6

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To: Mayor and City Council

Cc: Brian Johnson, City Manager

From: Brandon Branham, Administrative Services Director

Date: August 28, 2018, City Council Meeting

Agenda Item: APH 2018-06-070 Approval of Alcoholic Beverage License Application for **Confettis Bar & Grill**, 6470 Spalding Drive, Ste A, Peachtree Corners, GA 30092

Applicant Scott H. Cohen is applying for a Consumption on Premise Malt Beverage, Wine and Distilled Spirits License

**Staff Recommendation:**

Approve the application for Consumption on Consumption on Premise Malt Beverage, Wine and Distilled Spirits for **Confettis Bar & Grill**, 6470 Spalding Drive, Ste A, Peachtree Corners, GA 30092

**Background:**

Applicant submitted a completed application on June 29, 2018. Required advertising for the application was published in the Gwinnett Daily Post on August 17<sup>th</sup>, and August 24<sup>th</sup>, 2018. Applicant has passed the background investigation and meets all requirements.

**Discussion:**

Change of Ownership  
Staff has reviewed this application and recommends approval.

**Alternatives:**

None

**CONSENT  
AGENDA**

**APH 2018-06-071**



Mayor  
**Mike Mason**

**Phil Sadd** | Post 1  
**Eric Christ** | Post 2

**Alex Wright** | Post 3  
**Jeanne Aulbach** | Post 4

**Lorri Christopher** | Post 5  
**Weare Gratwick** | Post 6

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To: Mayor and City Council

Cc: Brian Johnson, City Manager

From: Brandon Branham, Administrative Services Director

Date: August 28, 2018, City Council Meeting

Agenda Item: APH 2018-07-071 Approval of Alcoholic Beverage License Application for **Ali Nur, LLC – D.B.A. Circle K**, 6385 Peachtree Industrial Blvd, Peachtree Corners, GA 30092

Applicant Mehmood Sohani is applying for a Retail Package Malt Beverage and Wine

**Staff Recommendation:**

Approve the application for Retail Package Malt Beverage and Wine for **Ali Nur, LLC – D.B.A. Circle K**, 6385 Peachtree Industrial Blvd, Peachtree Corners, GA 30092

**Background:**

Applicant submitted a completed application on June 18, 2018. Required advertising for the application was published in the Gwinnett Daily Post on August 17<sup>th</sup>, and August 24<sup>th</sup>, 2018. Applicant has passed the background investigation and meets all requirements.

**Discussion:**

Change of Ownership  
Staff has reviewed this application and recommends approval.

**Alternatives:**

None

**CONSENT  
AGENDA**

**APH 2018-06-072**



Mayor  
**Mike Mason**

**Phil Sadd** | Post 1  
**Eric Christ** | Post 2

**Alex Wright** | Post 3  
**Jeanne Aulbach** | Post 4

**Lorri Christopher** | Post 5  
**Weare Gratwick** | Post 6

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To: Mayor and City Council

Cc: Brian Johnson, City Manager

From: Brandon Branham, Administrative Services Director

Date: August 28, 2018, City Council Meeting

Agenda Item: APH 2018-07-72 Approval of Alcoholic Beverage License Application for **Aiko Importers, Inc.**, 5824 Peachtree Corners East, Peachtree Corners, GA 30092

Applicant **Alex Kogan** is applying for a Wholesale – Distilled Spirits, Malt Beverage and Wine License

**Staff Recommendation:**

Approve the application for Wholesale – Distilled Spirits, Malt Beverage and Wine License for **Aiko Importers, Inc.**, 5824 Peachtree Corners East, Peachtree Corners, GA 30092

**Background:**

Applicant submitted a completed application on August 07, 2018. Required advertising for the application was published in the Gwinnett Daily Post on August 17<sup>th</sup>, and August 24<sup>th</sup>, 2018. Applicant has passed the background investigation and meets all requirements.

**Discussion:**

New  
Staff has reviewed this application and recommends approval.

**Alternatives:**

None

**CONSENT  
AGENDA**

**APH 2018-06-073**



Mayor  
**Mike Mason**

**Phil Sadd** | Post 1  
**Eric Christ** | Post 2

**Alex Wright** | Post 3  
**Jeanne Aulbach** | Post 4

**Lorri Christopher** | Post 5  
**Weare Gratwick** | Post 6

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To: Mayor and City Council

Cc: Brian Johnson, City Manager

From: Brandon Branham, Administrative Services Director

Date: August 28, 2018, City Council Meeting

Agenda Item: APH 2018-07-73 Approval of Alcoholic Beverage License Application for **Rinconcito Centro Americano**, 7050 Jimmy Carter Blvd, Ste 124, Peachtree Corners, GA 30092

Applicant **Luis Sagastume** is applying for a Consumption on Premises – Distilled Spirits, Malt Beverage and Wine License

**Staff Recommendation:**

Approve the application for Wholesale – Distilled Spirits, Malt Beverage and Wine License for **Rinconcito Centro Americano.**, 7050 Jimmy Carter Blvd, Ste 124, Peachtree Corners, GA 30092

**Background:**

Applicant submitted a completed application on July 25, 2018. Required advertising for the application was published in the Gwinnett Daily Post on August 17<sup>th</sup>, and August 24<sup>th</sup>, 2018. Applicant has passed the background investigation and meets all requirements.

**Discussion:**

New  
Staff has reviewed this application and recommends approval.

**Alternatives:**

None

**CONSENT**  
**AGENDA**  
**ACTION ITEM**  
**PROTOTYPE**  
**PRIME**



Approval of annual appropriation of \$500,000 for fiscal year 2019  
operating expenses.

**SO RESOLVED AND EFFECTIVE**, this the \_\_\_\_ day of \_\_\_\_\_, 2019.

Approved:

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Mike Mason, Mayor

Attest:

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Kym Chereck, City Clerk

Seal

**02018-07-128**

**AN ORDINANCE TO AMEND THE CITY OF PEACHTREE CORNERS ZONING MAP PURSUANT TO SUP2018-004, ASSOCIATED CREDIT UNION, REQUEST TO APPROVE A SPECIAL USE PERMIT TO ACCOMMODATE A NEW DETACHED DRIVE-THROUGH BANKING FACILITY ADJACENT TO AN EXISTING CREDIT UNION OFFICE BUILDING AT 6251 CROOKED CREEK ROAD, DIST. 6, LAND LOT 283, PEACHTREE CORNERS, GA.**

**WHEREAS:** Notice to the public regarding said public hearing has been duly published in The Gwinnett Daily Post, the Official News Organ of Peachtree Corners; and

**WHEREAS:** Public Hearings were held by the Mayor and City Council of Peachtree Corners on July 24, 2018 and August 28, 2018;

**NOW THEREFORE, IT IS HEREBY ORDAINED** by the governing authority of the City of Peachtree Corners, Georgia while in Regular Session on August 28, 2018 that Zoning Case SUP2018-004, Associated Credit Union, is hereby approved for the above referenced property with the following enumerated conditions:

1. The drive-through facility shall be developed in substantial conformance with the site plan drawn by Appleby + Laccetti Architects, Inc. dated April 20, 2018.
2. The existing landscape island which will remain to the north of the proposed drive-through shall have new landscaping installed, as approved by Staff.

Effective this 28th day of August, 2018.

So Signed and Witnessed

Approved :

this \_\_\_\_\_ day of \_\_\_\_\_, 2018

Attest:

\_\_\_\_\_  
Kymberly Chereck, City Clerk

\_\_\_\_\_  
Mike Mason, Mayor

**CITY OF PEACHTREE CORNERS  
COMMUNITY DEVELOPMENT DEPARTMENT**

**SPECIAL USE PERMIT ANALYSIS**

PLANNING COMMISSION DATE: JULY 17, 2018

CITY COUNCIL DATE: AUGUST 28, 2018

CASE NUMBER: SUP2018-004

APPLICATION REQUEST: Drive-through Banking Facility

LOCATION: 6251 Crooked Creek Rd.

PROPERTY SIZE: 5.216 Acres

ZONING: O-I

FUTURE DEVELOPMENT MAP: Mixed Housing Types

APPLICANT: Consultants and Builders, Inc  
3100 Medlock Bridge Rd. #420  
Peachtree Corners, GA 30071

CONTACT: Jason Stein  
770-729-8183

OWNER: Associated Credit Union  
6251 Crooked Creek Rd.  
Peachtree Corners, GA 30092

RECOMMENDATION: Approval with Conditions

**PROJECT UPDATE:**

At the Planning Commission meeting, there were no questions or issues related to this request and there were no speakers at the public hearing. The Commission voted unanimously (4-0, 1 absent) to recommend approval of the SUP with staff conditions.

**PROJECT DATA:**

The applicant requests a Special Use Permit on a 5.216-acre property that is home to an existing office building housing the credit union. The SUP is to allow a detached drive-through banking facility to the south side of the existing building. The property is located on the west side of Crooked Creek Road, just north of Holcomb Bridge Road.

The letter of intent indicates that the proposal is for a drive-through banking lane which will utilize interactive teller machine (ITM) technology.

**BACKGROUND:**

The area surrounding this property consists primarily of office and retail uses. Properties immediately to the east across Crooked Creek Road are office buildings, as are properties to the north of this site. Retail buildings occupy the properties to the south, while the property to the west is a condominium complex.

The subject property is zoned O-I which requires a special use permit for drive-through banking facilities.

**ZONING HISTORY:**

This property had been part of rezoning requests with Gwinnett County in the 1980s. Those requests were for retail strip malls which were ultimately denied. A rezoning to O-I was approved in 1983. The existing office building housing the credit union and its offices was built in 1988.

**ZONING STANDARDS:**

Zoning Code Section 1702 identifies specific criteria that should be evaluated when considering a zoning decision. These criteria are enumerated as 'A' through 'F', below. Following each item is the applicant's response followed by Staff's comment.

**A. Will this proposed rezoning, special use permit, or change in conditions permit a use that is suitable in view of the use and development of adjacent and nearby property?**

*Applicant Comment: Yes, please see letter of intent.*

*Staff's Comment:* The proposed drive-through facility will be unlikely to have significant impacts on surrounding property owners. The facility will only contain one drive-through ITM and will be located in such a way that any stacking of vehicles will occur well within the private property. Adjacent and nearby properties are largely office or retail in use, and a Special Use Permit for the proposed use adjacent to the existing structure is suitable in this location.

**B. Will this proposed rezoning, special use permit, or change in conditions adversely affect the existing use or usability of adjacent or nearby property?**

*Applicant's Comment: No, please see letter of intent.*

*Staff's Comment:* The proposed Special Use Permit would not dramatically alter the current site plan or building footprint on the subject property and, with appropriate design, would allow a use that would be unlikely to have any adverse impacts on the surrounding area.

**C. Does the property to be affected by a proposed rezoning, special use permit, or change in conditions have reasonable economic use as currently zoned?**

*Applicant's Comment: Yes, please see letter of intent.*

*Staff's Comment:* The property has a reasonable economic use as currently zoned.

**D. Will the proposed rezoning, special use permit, or change in conditions result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools?**

*Applicant's Comment: No, please see letter of intent.*

*Staff's Comment: With an approved design and appropriate location a sizable distance from the entry on Crooked Creek Road, the proposed use would be unlikely to result in an excessive or burdensome use of streets, transportation facilities, or utilities. There will be no impact on schools.*

**E. Is the proposed rezoning, special use permit, or change in conditions in conformity with the policy and intent of the land use plan?**

*Applicant's Comment: Yes, please see letter of intent.*

*Staff's Comment: (see Comprehensive Plan heading, next page.)*

**F. Are there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed rezoning, special use permit, or change in conditions?**

*Applicant's Response: No, please see letter of intent.*

*Staff's Comment: The property is currently zoned for office use and the applicant's request may be a beneficial convenience to Peachtree Corners residents and the other customers in the area.*

**COMPREHENSIVE PLAN:**

The 2033 Peachtree Corners Comprehensive Plan Future Development Map indicates that the property is located within the Central Business District Character Area which encourages office and mixed-use development. This proposal is in keeping with the intent of the Character Area.

**DEPARTMENT ANALYSIS:**

The subject property is a 5.216-acre parcel with an existing office building. The site is currently zoned O-I (Office-Institutional District), which requires a Special Use Permit for a drive-through banking facility.

The property is currently developed with an office building that houses the Associated Credit Union. The applicant would like to build a detached, drive-through banking facility on the west side of the building.

The drive-through will be placed far enough within the site to ensure that stacking of vehicles beyond the private property does not occur. Additionally, the loss of the 20 parking spaces will not result in any nonconformity as the site currently has much more parking than is required.

The proposed Special Use Permit would not change the existing structure on the property, would be compatible in use with these surrounding and nearby areas, and, with an approved design, would be unlikely to place an excessive burden on existing streets.

RECOMMENDATION:

**After review of the applicant's proposal and other relevant information, it is recommended that SUP2018-004 be approved with the following conditions:**

1. The drive-through facility shall be developed in substantial conformance with the site plan drawn by Appleby + Laccetti Architects, Inc. dated April 20, 2018.
2. The existing landscape island which will remain to the north of the proposed drive-through shall have new landscaping installed, as approved by Staff.



## PUBLIC HEARING APPLICATION

### REZONING, SPECIAL USE PERMIT, OR CHANGE IN CONDITIONS

A properly completed application and fees are due at the time of submittal. **An incomplete application will not be accepted.** Original signatures are required for the Application.

REQUIRED ITEMS	NUMBER OF COPIES	REQUIRED	PROVIDED
Completed Application Form	• 1 original	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Boundary Survey with Legal Description	• 1 full size copy • 1- 8-1/2" x 11" or 11" x 17" reduction	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Site Plan	• 1 full size Copy • 1- 8-1/2" x 11" or 11" x 17" reduction	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Letter of Intent	• 1 copy	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Applicant Certification with Notarized Signature	• 1 copy	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Property Owner Certification with Notarized Signature	• 1 copy	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Standards Governing Exercise of the Zoning Power	• 1 copy	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Disclosure Report Form (Conflict of Interest Certification/Campaign Contributions)	• 1 copy	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Verification of Paid Property Taxes (most recent year)	• One (1) Copy (per tax parcel)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Electronic copy of complete package	• One (1) copy	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Application Fee	• Make checks payable to the City of Peachtree Corners	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
<b>ADDITIONAL EXHIBITS (IF REQUIRED)</b>			
Additional site plan requirements for R-TH, R-ZT, Modified, CSO, OBP, MUD or MUO rezoning requests	• 1 copy	<input type="checkbox"/>	<input type="checkbox"/>
Traffic Study	• 1 copy	<input type="checkbox"/>	<input type="checkbox"/>
Development of Regional Impact Review Form	• 1 copy	<input type="checkbox"/>	<input type="checkbox"/>
Community Information Meeting Certification	• 1 copy	<input type="checkbox"/>	<input type="checkbox"/>

**REZONING, SPECIAL USE PERMIT, OR CHANGE IN CONDITIONS APPLICATION**

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF PEACHTREE CORNERS, GEORGIA

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION
NAME: <u>CONSULTANTS AND BUILDERS INC</u>	NAME: <u>ASSOCIATED CREDIT UNION</u>
ADDRESS: <u>3100 MESLOK BERKE RD, SUITE 42</u>	ADDRESS: <u>6251 CROOKED CREEK RD NW</u>
CITY: <u>PEACHTREE CORNERS,</u>	CITY: <u>PEACHTREE CORNERS</u>
STATE: <u>GA</u> ZIP: <u>30071</u>	STATE: <u>GA</u> ZIP: <u>30092</u>
PHONE: <u>770.729.8183</u>	PHONE: <u>770.443.3200</u>
E-MAIL: <u>JASON.STEIN@CONSULTANTSAND</u>	E-MAIL: _____
<small>BUILDERS.COM</small> <b>APPLICANT CONTACT, IF DIFFERENT THAN ABOVE</b>	
CONTACT PERSON: <u>JASON STEIN</u> PHONE: _____	
CONTACT'S E-MAIL: _____	

**APPLICANT IS THE:**

OWNER'S AGENT       PROPERTY OWNER       CONTRACT PURCHASER

PRESENT ZONING DISTRICTS(S): 6<sup>TH</sup> REQUESTED ZONING DISTRICT: 6<sup>TH</sup>

LAND DISTRICT(S): 6<sup>TH</sup> LAND LOT(S): 283 ACREAGE: 5.216

ADDRESS OF PROPERTY: 6251 CROOKED CREEK RD NW

PROPOSED DEVELOPMENT: ASSOCIATED CREDIT UNION

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*Staff Use Only This Section*

Case Number: \_\_\_\_\_ Hearing Date: P/C \_\_\_\_\_ C/C \_\_\_\_\_ Received Date: \_\_\_\_\_

Fees Paid: \_\_\_\_\_ By: \_\_\_\_\_

Related Cases & Applicable Conditions:

\_\_\_\_\_

Description:

**RESIDENTIAL DEVELOPMENT**

**NON-RESIDENTIAL DEVELOPMENT**

No. of Lots/Dwelling Units \_\_\_\_\_

No. of Buildings/Lots: \_\_\_\_\_

Dwelling Unit Size (Sq. Ft.): \_\_\_\_\_

Total Bldg. Sq. Ft.: \_\_\_\_\_

Gross Density: \_\_\_\_\_

**FEE SCHEDULE**

**1. Rezoning, Change-in-Conditions and Special Use Permit Fees – Residential Zoning Districts**

(note: a Special Use Permit related to a rezoning case shall not incur an additional fee)

A. For the following single-family residential zoning districts: RA-200, R-140, R-LL, R-100, R-75, RL, MHS.

- 0 - 5 Acres = \$ 500
- > 5 - 10 Acres = \$ 1,000
- > 10 - 20 Acres = \$ 1,500
- > 20 - 100 Acres = \$ 2,000
- > 100 - Acres = \$ 2,500 plus \$40 for each additional acre over 100
- Maximum Fee: \$10,000

B. For the following single and multifamily residential zoning districts: R-TH, RMD, RM-6, RM-8, RM-10, RM-13, R-SR, MH, R-60, R-ZT, R-75 MODIFIED or CSO, and R-100 MODIFIED or CSO.

- 0 - 5 Acres = \$ 850
- > 5 - 10 Acres = \$1,600
- > 10 - 20 Acres = \$2,100
- > 20 - 100 Acres = \$2,600
- > 100 - Acres = \$3,200 plus \$40 for each additional acre over 100

**2. Rezoning, Change-in-Conditions and Special Use Permit Fees - Non-Residential Zoning Districts**

(note: a Special Use Permit related to a rezoning case shall not incur an additional fee)

For the following office, commercial and industrial zoning districts: C-1, C-2, C-3, O-1, OBP, M-1, M-2, HS, NS.

- ✓ 0 - 5 Acres = \$ 850 *per Jeff Conkle*
- > 5 - 10 Acres = \$1,600
- > 10 - 20 Acres = \$2,100
- > 20 - 100 Acres = \$2,600
- > 100 - Acres = \$3,200 plus \$50 for each additional acre over 100

**3. Mixed-Use (MUD and MUO) or High Rise Residential (HRR)**

Application Fee – \$1,200 plus \$75 per acre (maximum fee - \$10,000)

- 4. Chattahoochee Corridor Review (involving a public hearing) - \$150.
- 5. Buffer Reduction (Greater than 50%) Application Fee - \$500.
- 6. Zoning Certification Letter - \$100 (per non-contiguous parcel).

**APPLICANT'S CERTIFICATION**

The undersigned below states under oath that they are authorized to make this application. The undersigned is aware that no application or reapplication affecting the same land shall be acted upon within 12 months from the date of last action by the city council unless waived by the city council. In no case shall an application or reapplication be acted upon in less than six (6) months from the date of last action by the city council.

Signature of Applicant

Date

01MAY18

Type or Print Name and Title

SENIOR VICE PRESIDENT, CONSTRUCTION - JASON STEIN

Signature of Notary Public

Date

Notary Seal

5/11/18



**PROPERTY OWNER'S CERTIFICATION**

The undersigned below states under oath that they are authorized to make this application. The undersigned is aware that no application or reapplication affecting the same land shall be acted upon within 12 months from the date of last action by the city council unless waived by the city council. In no case shall an application or reapplication be acted upon in less than six (6) months from the date of last action by the city council. As the property owner, I authorize the above noted applicant to act on my behalf with regard to this application.

Signature of Property Owner

Date

5/11/18

Type or Print Name and Title

Jeffrey S Bergum VP-Retail Services

Signature of Notary Public

Date

Notary Seal

5/11/18



**APPLICANT'S RESPONSE**  
**STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER**

Pursuant to section 1702 of the 2012 zoning resolution, the city council finds that the following standards are relevant in balancing the interest in promoting the public health, safety, morality or general welfare against the right to the unrestricted use of property and shall govern the exercise of the zoning power.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

*\* Please review attached Letter of Intent*

- A. Will this proposed rezoning, special use permit, or change in conditions permit a use that is suitable in view of the use and development of adjacent and nearby property? *Yes.*
- B. Will this proposed rezoning, special use permit, or change in conditions will adversely affect the existing use or usability of adjacent or nearby property? *No.*
- C. Does the property to be affected by a proposed rezoning, special use permit, or change in conditions have reasonable economic use as currently zoned? *Yes.*
- D. Will the proposed rezoning, special use permit, or change in conditions will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools? *No.*
- E. Will the proposed rezoning, special use permit, or change in conditions is in conformity with the policy and intent of the land use plan? *Yes.*
- F. Are there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed rezoning, special use permit, or change in conditions? *No.*

May 15, 2018

Planning Commission  
City of Peachtree Corners  
310 Technology Parkway  
Peachtree Corners, GA 30092

Dear Planning Commission,

On behalf of Associated Credit Union at their Main Office at 6251 Crooked Creek Drive, Peachtree Corners, GA 30092, Consultants and Builders, Inc. would like to make application for a special use permit for a single drive-up ITM.

Per a preliminary review meeting with City employees, Jeff Conkle and Katherine Francesconi, the proposed drive-up ITM kiosk is suitable in view of the use and development of adjacent and nearby property. The proposed special use permit will not adversely affect the existing use or usability of adjacent or nearby property. With the special use permit and as currently zoned, the property at 6251 Crooked Creek Drive will maintain reasonable economic use. The requested special use permit will not cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools. Per the requested special use permit, the drive-up ITM will conform with the policy and intent of the land use plan.

Your consideration for approval is appreciated.

Sincerely,



Scott Foerst  
Consultants and Builders, Inc.  
Senior Vice President, Design  
[Scott.Foerst@consultantsandbuilders.com](mailto:Scott.Foerst@consultantsandbuilders.com)  
770-729-8183

**DISCLOSURE REPORT FORM**  
**CONFLICT OF INTEREST CERTIFICATION/CAMPAIGN CONTRIBUTIONS**

WITHIN THE (2) YEARS IMMEDIATELY PRECEDING THE FILING OF THIS ZONING PETITION HAVE YOU, AS THE APPLICANT FOR THE REZONING, SPECIAL USE PERMIT, OR CHANGE IN CONDITIONS PETITION, OR AN ATTORNEY OR AGENT OF THE APPLICANT FOR THE REZONING, SPECIAL USE PERMIT, OR CHANGE IN CONDITIONS PETITION, MADE ANY CAMPAIGN CONTRIBUTIONS AGGREGATING \$250.00 OR MORE OR MADE GIFTS HAVING AN AGGREGATE VALUE OF \$250.00 TO THE MAYOR OR ANY MEMBER OF THE CITY COUNCIL?

CHECK ONE:       YES       NO  
 (If yes, please complete the "Campaign Contributions" section below)

JASON STEIN  
 \_\_\_\_\_  
 Print Name

1. CAMPAIGN CONTRIBUTIONS

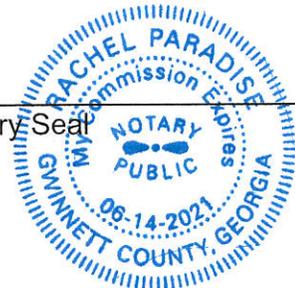
Name of Government Official	Total Dollar Amount	Date of Contribution	Enumeration and Description of Gift Valued at \$250.00 or more

2. THE UNDERSIGNED ACKNOWLEDGES THAT THIS DISCLOSURE IS MADE IN ACCORDANCE WITH THE OFFICIAL CODE OF GEORGIA, SECTION 36-67A-1 ET. SEQ. CONFLICT OF INTEREST IN ZONING ACTIONS, AND THAT THE INFORMATION SET FORTH HEREIN IS TRUE TO THE UNDERSIGNED'S BEST KNOWLEDGE, INFORMATION AND BELIEF.

[Signature]      01MAY18      JASON STEIN  
 Signature of Applicant      Date      SR VP, CONSTRUCTION  
 \_\_\_\_\_  
 Type or Print Name and Title

\_\_\_\_\_  
 Signature of Applicant's      Date      Type or Print Name and Title  
 Attorney or Representative

[Signature]      5/01/18      \_\_\_\_\_  
 Signature of Notary      Date      Notary Seal



**VERIFICATION OF CURRENT PAID PROPERTY TAXES FOR REZONING**

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED CERTIFIES THAT ALL CITY OF PEACHTREE CORNERS PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE TAX COMMISSIONER OF GWINNETT COUNTY, GEORGIA. IN NO CASE SHALL A PUBLIC HEARING APPLICATION BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

**A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE REZONING REQUEST.**

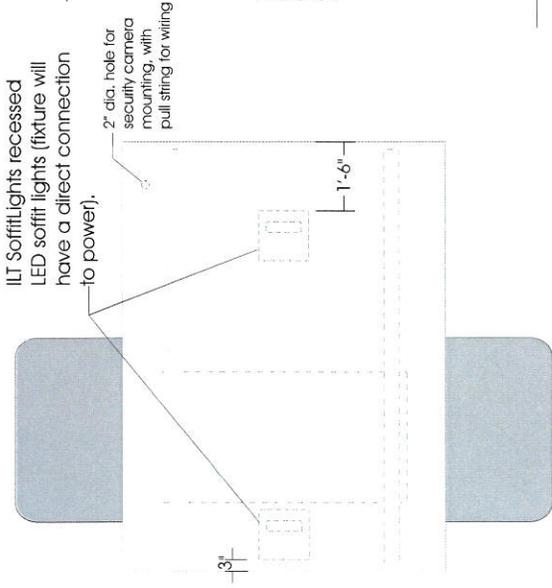
PARCEL I.D. NUMBER: 24 - 283 - 025  
(Map Reference Number) District Land Lot Parcel

\_\_\_\_\_  
Signature of Applicant Date  
Jason Stein Senior Vice President, Construction  
\_\_\_\_\_  
Type or Print Name and Title

*Tax Commissioners Use Only*

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

\_\_\_\_\_  
NAME TITLE  
\_\_\_\_\_  
DATE



Kiosk to be painted to match PMS #295m Blue with fine stipple finish.

Canopy to be painted MP# 41-342 Brushed Aluminum with a medium stipple finish.

Canopy downlight to be ILT SoffittLights recessed LED soffitt light fixtures.

Logos on sides and front to be painted to match MP White, PMS #326m Teal, PMS #383m Yellow/Green with a smooth finish.

ACCEPTED BY: \_\_\_\_\_

DATE: \_\_\_\_\_

THIS SIGN TO BEAR UNDERWRITERS LABEL

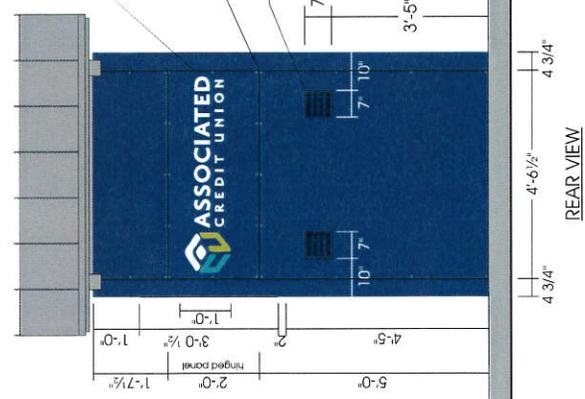
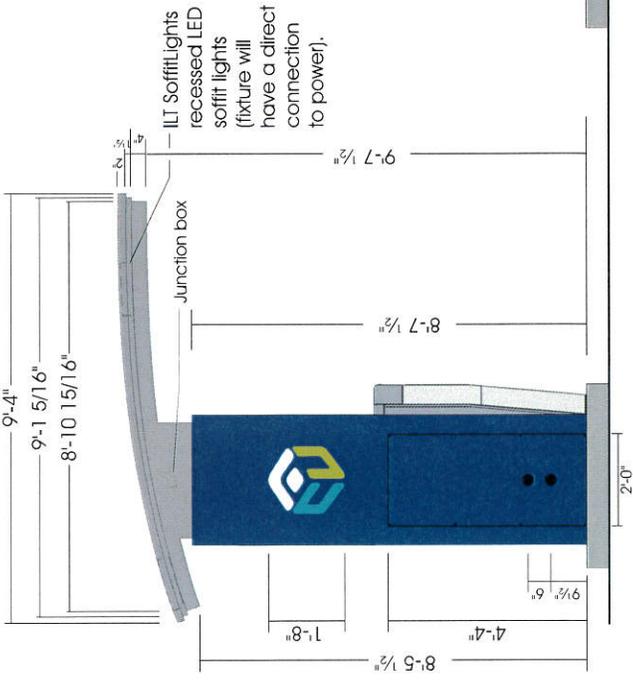
UNDERWRITERS LABEL

DATE: 5/15/18

Suitable for Wet Locations

ALL ELECTRICAL COMPONENTS TO BE UL LISTED.

For use in wet or damp locations, all electrical components must be listed for such use. The listing must be shown on the product label. The listing must be shown on the product label. The listing must be shown on the product label.



Note: Electrical for heavy surround (1) 20 AMP circuit required, (heavy surround has downlighting & security camera.)

**Concept Unlimited, Inc.**  
10020 Farrow Rd. Columbia, SC 29203  
Phone (803) 755-9100

**ISLAND SURROUND KIOSK w/CANOPY FOR NCR 6688 ATM**

Customer: ASSOCIATED CU  
Salesman: David Amos  
Drawn By: AS  
Date: 5/3/2018  
Drawing No: **A12154**

REVISION: R1 5/15/18 Updated kiosk colors.

THIS IS AN ORIGINAL DESIGN SUBMITTED BY CONCEPT UNLIMITED FOR YOUR PERSONAL USE. IT IS NOT TO BE REPRODUCED, COPIED, OR EXHIBITED IN ANYWAY WHATSOEVER, OR ANY PART OF THIS DESIGN (EXCEPT REGISTERED TRADEMARKS) REMAIN THE PROPERTY OF CONCEPT UNL. INC.

Scale 1/4" = 1'-0"



## BILL DETAIL

[View/Pay Your Taxes](#) / [Account Detail](#) / [Bill Detail](#)

### Tax Account

**Mailing Address:**

ASSOCIATED CREDIT UNION  
6251 CROOKED CREEK RD  
PEACHTREE CORNERS, GA 30092-3107

**SITUS:**

6251 CROOKED CREEK RD

**Tax District:**

PEACHTREE CORNERS

Parcel ID	Property Type	Last Update
R6283 025	Real Property	5/9/2018 9:35:19 AM

**Legal Description**

CROOKED CREEK RD

### Tax Values

Description	Market Value	Assessed Value
Land	\$1,180,000.00	\$472,000.00
Improvement	\$3,999,200.00	\$1,599,680.00
Total	\$5,179,200.00	\$2,071,680.00
<b>Class Codes</b>	351-Bank	

## Assessments

Operation	Net Tax	Savings
<u>School Taxes</u>	\$41,019.26	\$0.00
<u>STATE OF GEORGIA TAXES</u>	\$0.00	\$0.00
<u>City of Peachtree Corners</u>	\$0.00	\$0.00
<u>County Incorporated with Police</u>	\$27,242.60	\$0.00
Sub Total	\$68,261.86	\$0.00
Bond	Net Tax	Savings
<u>School Taxes</u>	\$4,246.94	\$0.00
<u>County Incorporated with Police</u>	\$0.00	\$0.00
Sub Total	\$4,246.94	\$0.00
Special Assessment	Net Tax	Savings
<u>Stormwater Service Fee</u>	\$3,891.72	\$0.00
Sub Total	\$3,891.72	\$0.00
<b>Total Tax</b>	<b>\$76,400.52</b>	<b>\$0.00</b>

## Tax Installment Information

Period	Bill Number	Due Date	Tax Year	Tax	Penalty/Fee	Interest	Total Due
INST 1	23160146	10/15/2017	2017	\$0.00	\$0.00	\$0.00	\$0.00
<b>Total Due:</b>				\$0.00	\$0.00	\$0.00	\$0.00

## Payment History

Tax Year	Bill Number	Receipt Number	Amount Paid	Last Paid
2017	23160146	B17.79591	\$76,400.52	10/10/2017

Select Language ▼

All that tract or land in Land Lot 283 of the 6th District, Gwinnett County, described as follows:

To find THE TRUE POINT OF BEGINNING commence at a point on the northwest side of Crooked Creek Road (formerly Honea Road) (80 foot right-of-way) 412.35 feet northeast from the northeast side of Holcomb Bridge Road (100 foot right-of-way) (if extended to form an angle); thence from TRUE POINT OF BEGINNING N39°59'59"W 243.31 feet to an iron pin; thence N39°57'59"W 15 feet to an iron pin; thence N50°02'01"E 23 feet to an iron pin; thence N39°57'59"W 130.77 feet to an iron pin; thence N50°02'01"E 5 feet to an iron pin; thence N39°57'59"W 217 feet to an iron pin; thence N50°02'01"E 16 feet to an iron pin; thence N39°57'59"W 64.5 feet to an iron pin; thence N55°27'42"E 215.99 feet to an iron pin; thence S60°00'59"E 647.32 feet to an iron pin on the northwest side of Crooked Creek Road (80 foot right-of-way); thence southwest along the northwest side of Crooked Creek Road with the arc of a curve to the right with a radius of 711.16 feet (chord: S42°27'12"W 91.54 feet) 91.61 feet; thence S46°08'36"W 257.93 feet; thence southwest along the northwest side with the arc of a curve to the left with a radius of 753.40 feet (chord: S41°01'38"W 134.38 feet) 134.55 feet to an iron pin; thence N39°59'59"W along an offset in the right-of-way of Crooked Creek Road 8.56 feet to THE TRUE POINT OF BEGINNING, with which the aforescribed parcel of land contains 5.216 acres (227,195.674 square feet) of land, more or less.

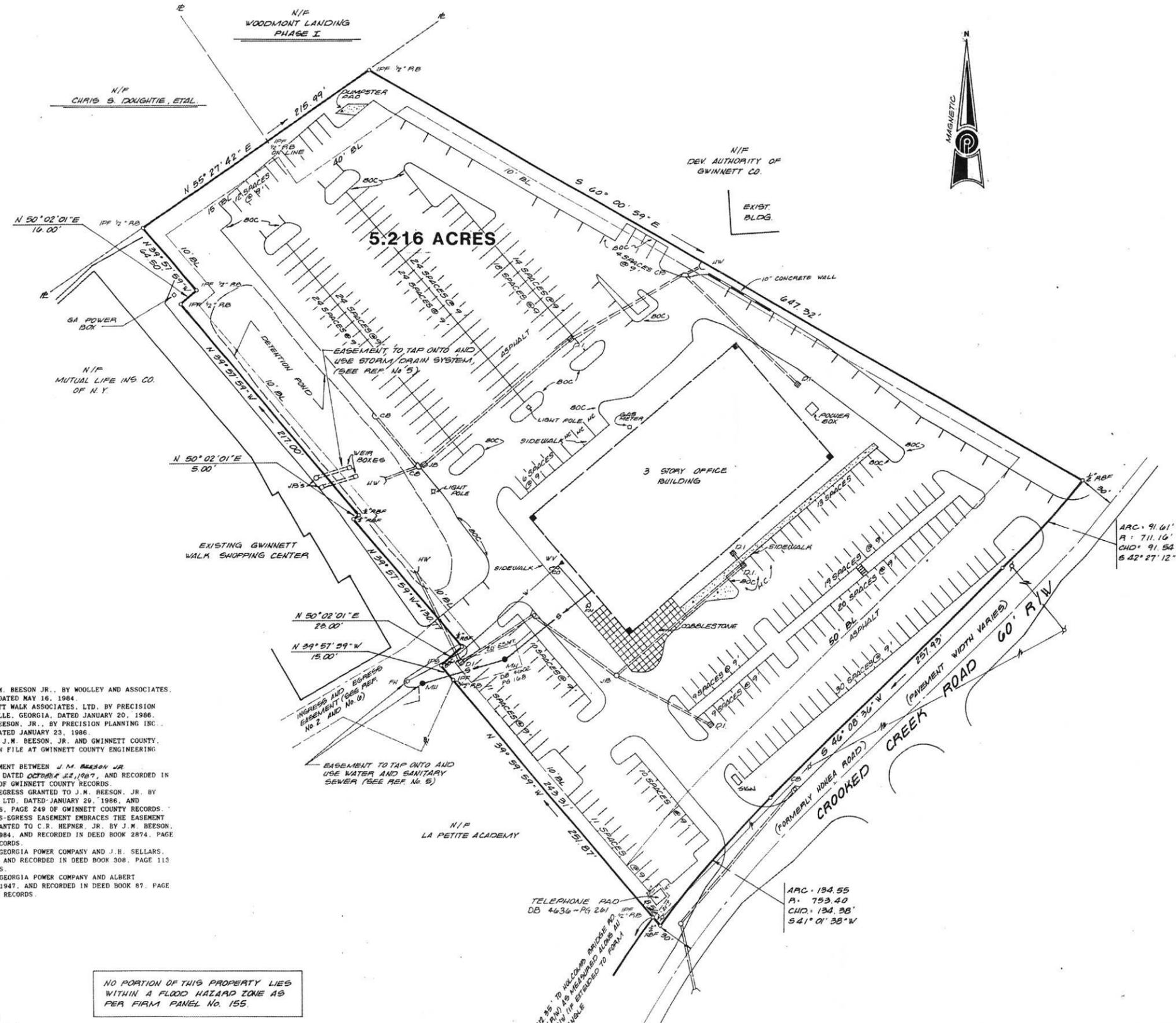
TO: ASSOCIATED CREDIT UNION & CHICAGO TITLE INSURANCE COMPANY. I hereby certify that this map or plat and the survey on which it is based were made in accordance with the "Minimum Standards Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by the ALTA and ACSM in 1985, and to the best of my professional knowledge, information and belief:

- (a) correctly represents the facts found at the time of survey;
(b) the title lines and lines of actual possession are the same and that the improvements on the property as shown do not encroach over street or title lines or over any easements or rights-of-way;
(c) There are no easements or encroachments affecting the property other than as shown hereon;
(d) except as shown on the survey map, there are no discrepancies between the boundary lines of the subject property as shown on the survey map and as described in the legal description of record;
(e) the boundary line dimensions as shown on the survey map form a mathematically closed figure within +/- 0.01 feet;
(f) except as shown on the survey map, the boundary lines of the subject property are contiguous with the boundary lines of all adjoining parcels, roads, highways, streets or alleys as described in their most recent respective legal descriptions of record; and;
(g) the field survey meets the accuracy requirements of a Class A survey as defined therein;
(h) THE PROPERTY DESCRIBED ON THIS SURVEY IS ONE IN THE SAME AS THE PROPERTY DESCRIBED IN LEGAL DESCRIPTION.

NOTES:

- 1. FOR DETAIL OF INGRESS AND EGRESS EASEMENT, AND DRAINAGE AND UTILITY EASEMENT SEE PLAT OF SURVEY IN REFERENCE NO. 2.
2. LEGAL TIE TAKEN FROM PLAT OF SURVEY IN REFERENCE NO. 1.

TOTAL PARKING SPACES = 329



LEGEND

- 1/2" REBAR PIN SET
2" REBAR PIN FOUND
3" SOLID ROD FOUND
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100" SOLID ROD FOUND

- REFERENCES:
1. PLAT OF SURVEY FOR JAMES M. BEESON JR., BY WOOLLEY AND ASSOCIATES, INC., DUNWOODY, GEORGIA, DATED MAY 16, 1984.
2. PLAT OF SURVEY FOR GWINNETT WALK ASSOCIATES, LTD. BY PRECISION PLANNING INC., LAWRENCEVILLE, GEORGIA, DATED JANUARY 20, 1986.
3. PLAT OF SURVEY FOR J.M. BEESON, JR., BY PRECISION PLANNING INC., LAWRENCEVILLE, GEORGIA, DATED JANUARY 23, 1986.
4. RIGHT OF WAY DEED BETWEEN J.M. BEESON, JR. AND GWINNETT COUNTY, DATED DECEMBER 4, 1985, ON FILE AT GWINNETT COUNTY ENGINEERING DEPARTMENT.
5. DRAINAGE AND UTILITY EASEMENT BETWEEN J.M. BEESON JR. LTD AND J.M. BEESON, JR., DATED OCTOBER 12, 1987, AND RECORDED IN DEED BOOK 4602, PAGE 182 OF GWINNETT COUNTY RECORDS.
6. EASEMENT FOR INGRESS AND EGRESS GRANTED TO J.M. BEESON, JR. BY GWINNETT WALK ASSOCIATES, LTD. DATED JANUARY 29, 1986, AND RECORDED IN DEED BOOK 3356, PAGE 249 OF GWINNETT COUNTY RECORDS. THE AFORESAID EGRESS EASEMENT EMBRACES THE EASEMENT FOR INGRESS AND EGRESS GRANTED TO C.R. HEPNER, JR. BY J.M. BEESON, JR., DATED SEPTEMBER 9, 1984, AND RECORDED IN DEED BOOK 2874, PAGE 179 OF GWINNETT COUNTY RECORDS.
7. GENERAL EASEMENT BETWEEN GEORGIA POWER COMPANY AND J.H. SELLARS, DATED SEPTEMBER 25, 1968, AND RECORDED IN DEED BOOK 308, PAGE 113 OF GWINNETT COUNTY RECORDS.
8. GENERAL EASEMENT BETWEEN GEORGIA POWER COMPANY AND ALBERT PHILLIPS, DATED JUNE 19, 1947, AND RECORDED IN DEED BOOK 87, PAGE 48 (2) OF GWINNETT COUNTY RECORDS.

NO PORTION OF THIS PROPERTY LIES WITHIN A FLOOD HAZARD ZONE AS PER FIRM PANEL NO. 155.

A TOPCON GTS-2 TOTAL STATION WAS USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS USED IN THE PREPARATION OF THIS PLAT.
THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED WAS A CLOSURE PRECISION OF ONE FOOT IN 420,001 FEET AND AN ANGULAR ERROR OF PER ANGULAR POINT, AND WAS ADJUSTED USING CRANDALL'S RULE.
THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 549,047 FEET.

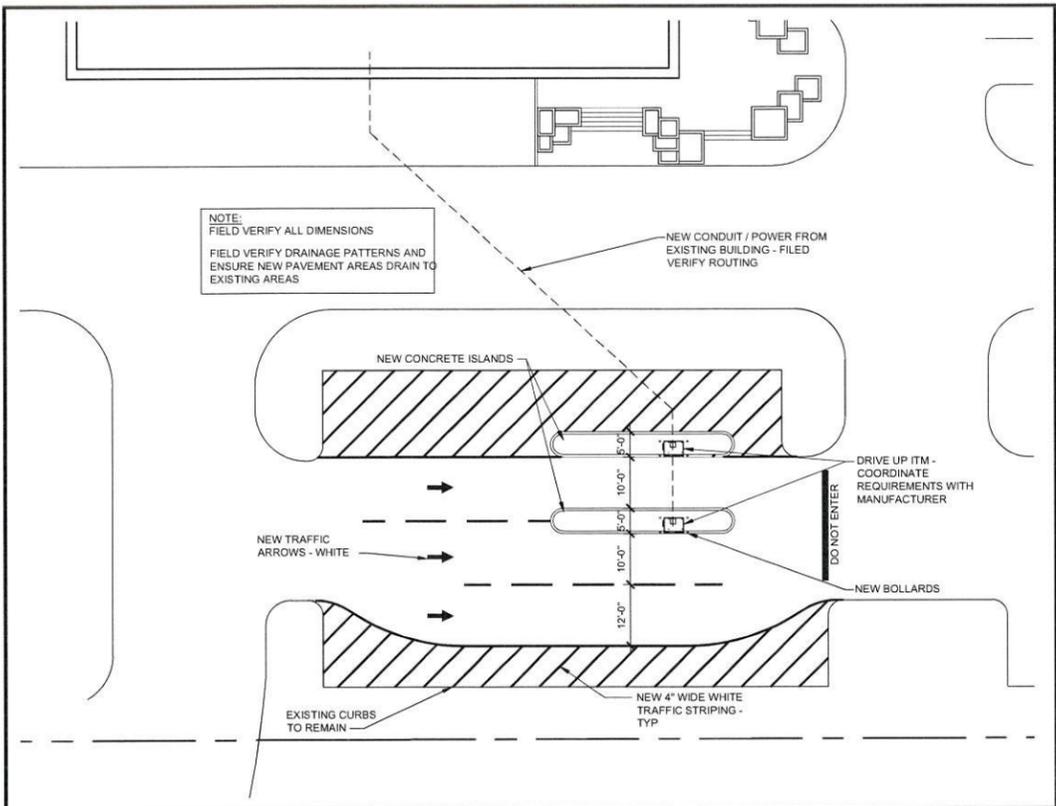


IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF THE LAW.
Randall W. Dixon
MEMBER SURVEYING AND MAPPING SOCIETY OF GEORGIA



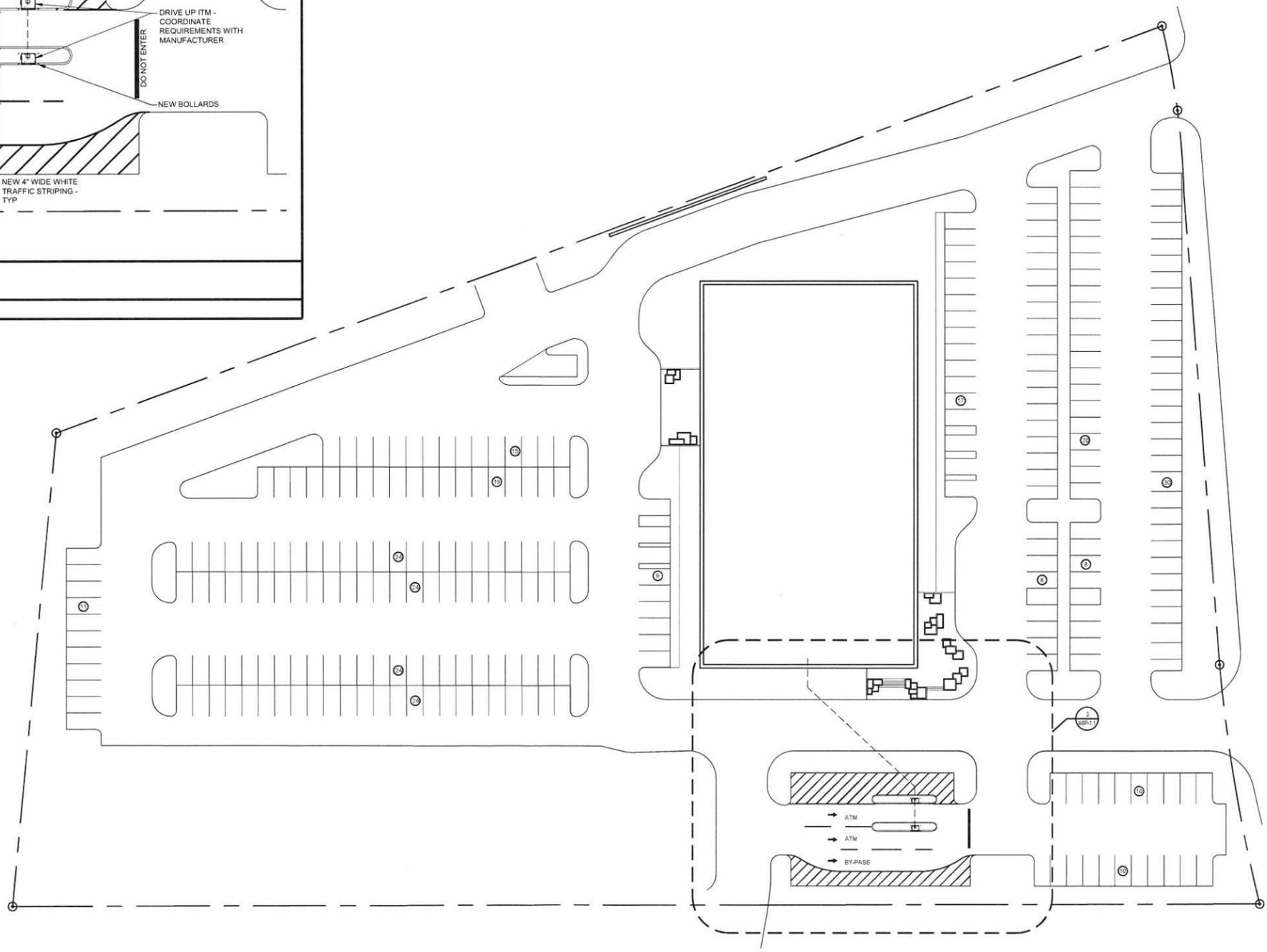
Table with columns: No., By, Date, Revision. Row 1: 2, WADSWORTH, REVISE TO CHANGE NAME FROM WADSWORTH TO WADSWORTH SOUTH BENTLEY, P.

5.216 ACRES
SURVEY FOR: ASSOCIATED CREDIT UNION & CHICAGO TITLE INSURANCE COMPANY
6251 CROOKED CREEK ROAD
PRECISION PLANNING & ENGINEERS, INC.
CONSULTING PLANNERS & ENGINEERS
400 PIKE BOULEVARD, P.O. BOX 1294
LAWRENCEVILLE, GEORGIA 30246
(404) 962-9000
Date: 4/4/89 Land Lot: 283 District: 6th
County: Gwinnett, Ga Scale: 1" = 40' Sheet No.
Designed By: Drawn By: AMK Checked By: JHG
Job Number: 09-153 File Number: 58-044 1 of 1



PARKING SUMMARY			
BUILDING:	CREDIT UNION / OFFICE		
	76,320 SF		
	3-STORY		
PARKING:	REQUIRED	MIN (1/500 SF)	MAX (1/200 SF)
		153	382
PARKING EXISTING:	273 SPACES		
PARKING PROPOSED:	253 SPACES		

2 ARCHITECTURAL SITE PLAN  
1/16" = 1'-0"



1 ARCHITECTURAL SITE PLAN  
1/32" = 1'-0"

PROJECT:

**ASSOCIATED  
CREDIT UNION**

6251 CROOKED CREEK ROAD  
NORCROSS, GEORGIA 30092

CONSULTANT:

**CONSULTANTS & BUILDERS, INC.**  
*Relationships. Building. Success.*

3100 MEDLOCK BRIDGE ROAD, SUITE 809  
PEACHTREE CORNERS, GA 30071  
PHONE: 770-795-0188  
FAX: 770-465-6119

ARCHITECT:

**APPLEBY + LACETTI  
ARCHITECTS, INC.**

147 PEACHTREE ST., N.E.  
SUITE 600  
ATLANTA, GA 30309  
PHONE: 404-817-3282  
FAX: 404-817-3280

SEAL:

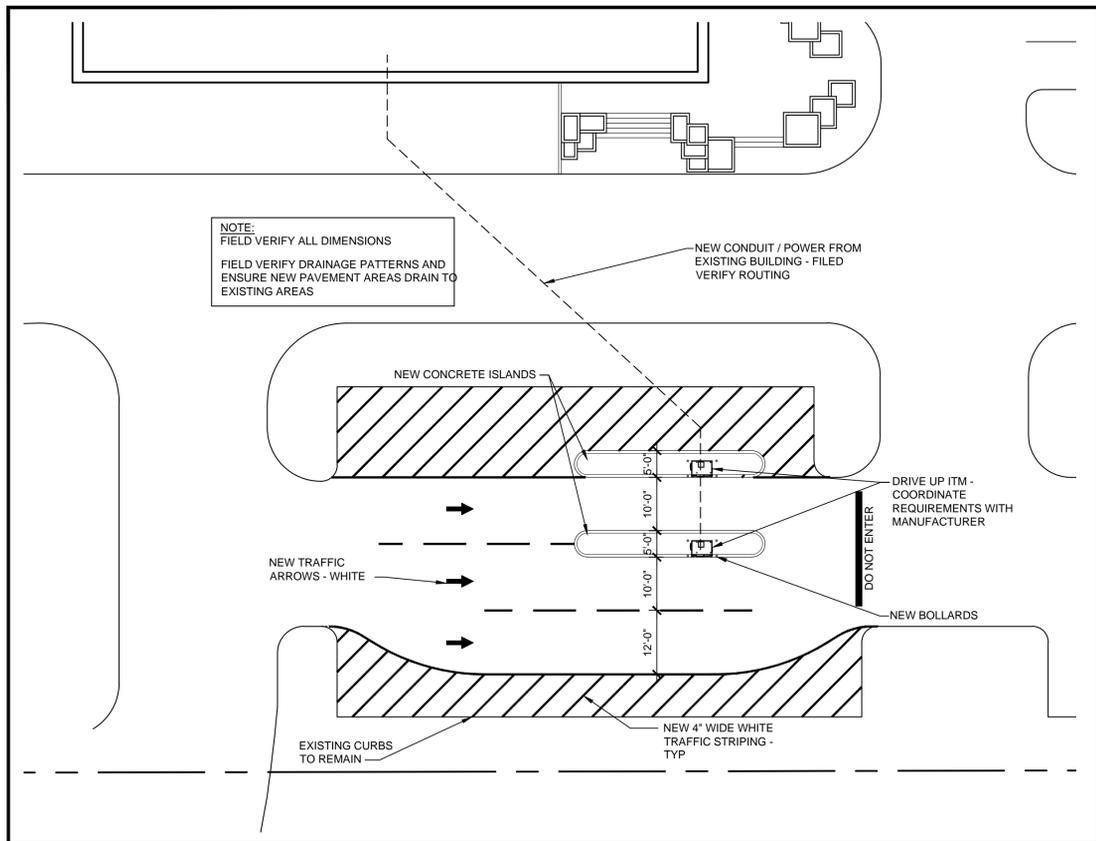
REVISIONS:

DATE: 04/20/2018

JOB NO. 2017-105

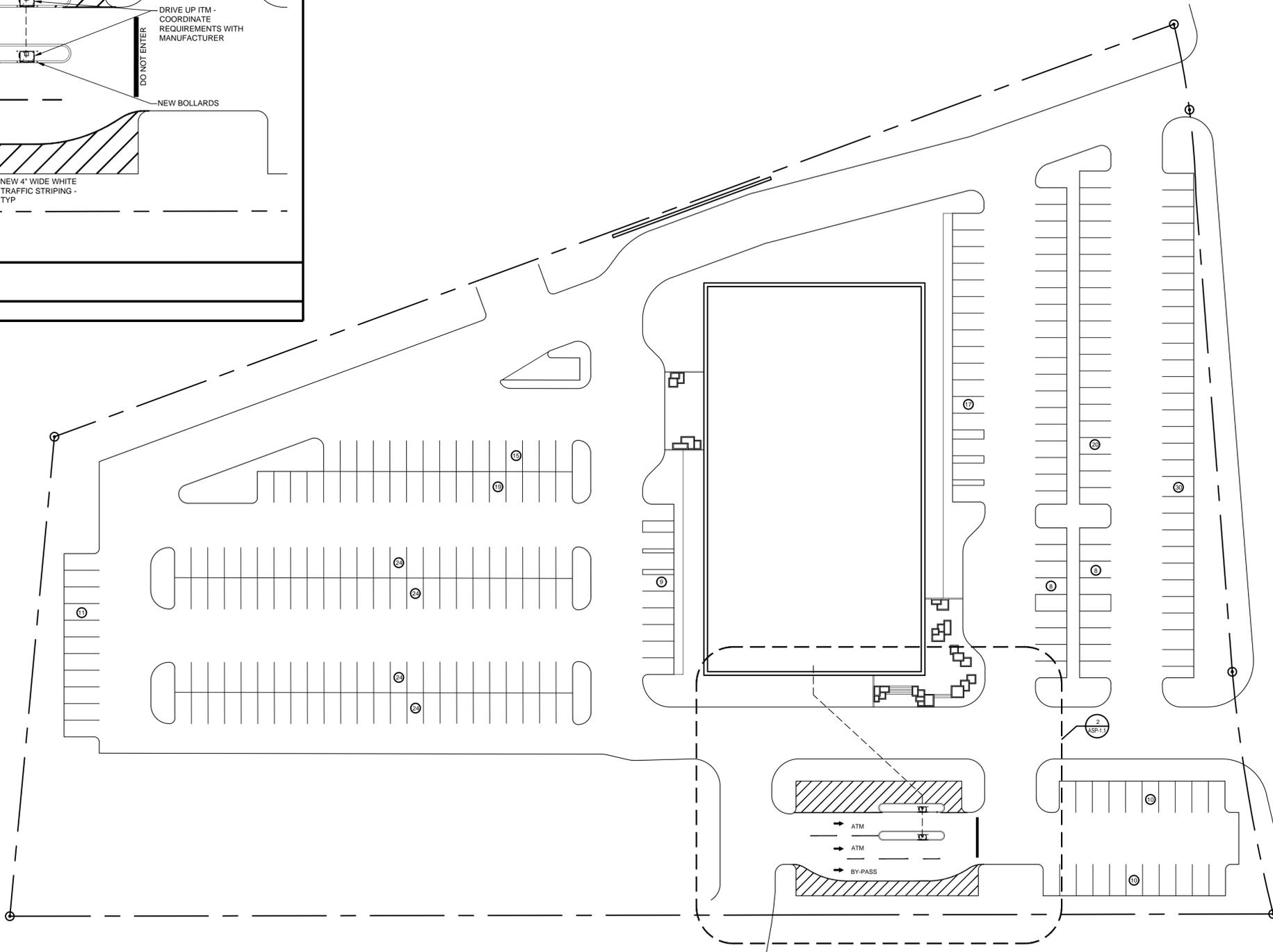
SHEET TITLE: SITE PLAN

SHEET NO. ASP-1.1



PARKING SUMMARY		
BUILDING:	CREDIT UNION / OFFICE	
	76,320 SF	
	3 - STORY	
PARKING:	REQUIRED	MIN (1/500 SF) MAX (1/200 SF)
	153	382
PARKING EXISTING :	273 SPACES	
PARKING PROPOSED :	253 SPACES	

2 ARCHITECTURAL SITE PLAN  
1/16" = 1'-0"



1 ARCHITECTURAL SITE PLAN  
1/32" = 1'-0"

PROJECT:



6251 CROOKED CREEK ROAD  
NORCROSS, GEORGIA 30092

CONSULTANT:

CONSULTANTS & BUILDERS, INC.  
*Relationships. Building. Success.*  
3100 MEDLOCK BRIDGE ROAD, SUITE 120  
PEACHTREE CORNERS, GA 30071  
PHONE: 770-729-8183  
FAX: 770-465-0619

ARCHITECT:

APPLEBY + LACETTI  
ARCHITECTS, INC.  
1447 PEACHTREE ST., N.E.  
SUITE 600  
ATLANTA, GA 30309  
PHONE: 404-817-5282  
FAX: 404-817-5280

SEAL:

REVISIONS:

DATE: 04/20/2018  
JOB NO: 2017-105

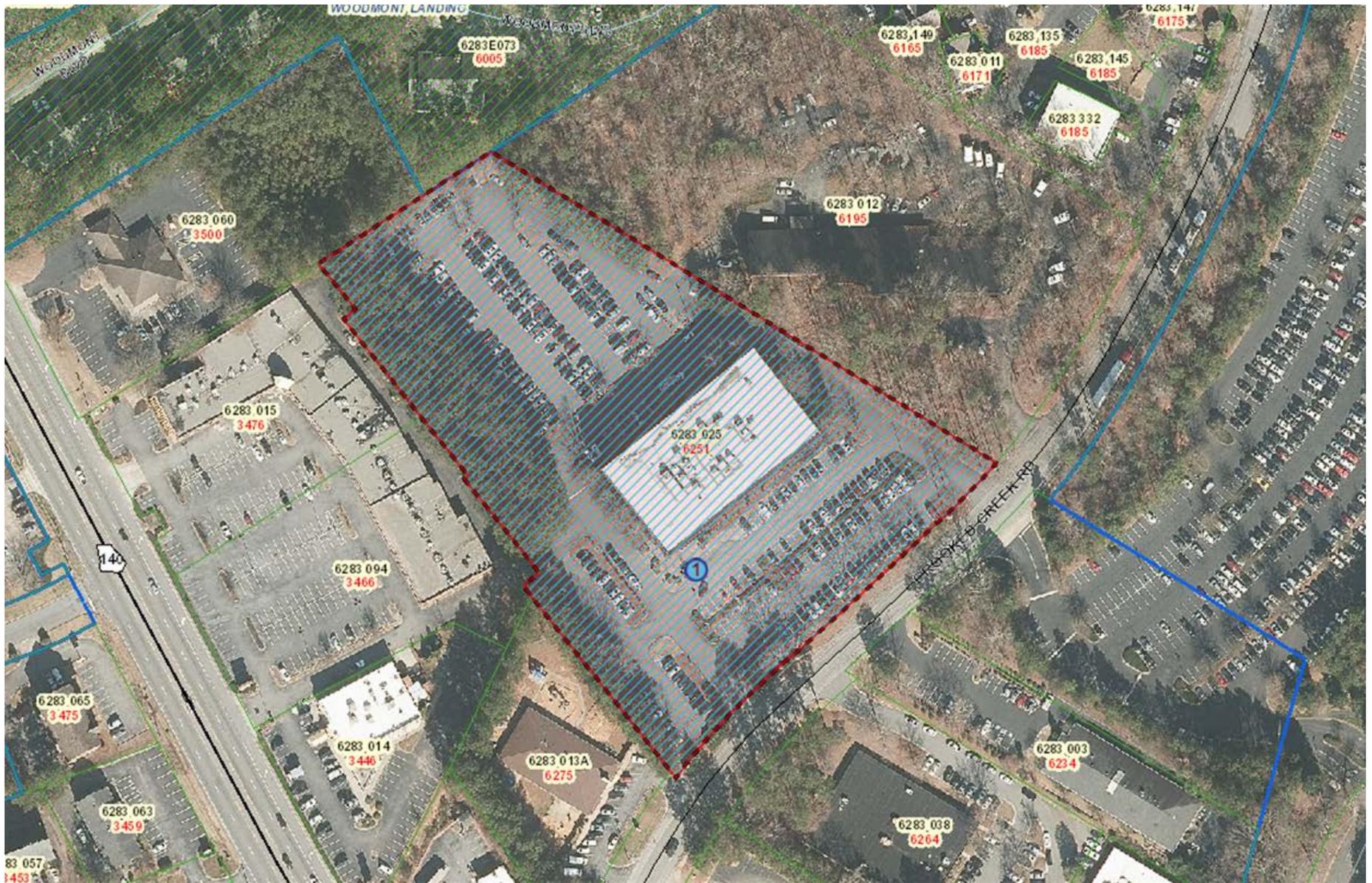
SHEET TITLE:

SITE PLAN

SHEET NO. ASP-1.1

THIS DOCUMENT IS THE PROPERTY OF ASSOCIATED CREDIT UNION. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ASSOCIATED CREDIT UNION. © 2018 ASSOCIATED CREDIT UNION. ALL RIGHTS RESERVED.

# AERIAL PHOTO



**AERIAL PHOTO: DRIVE-THROUGH AREA ZOOM**

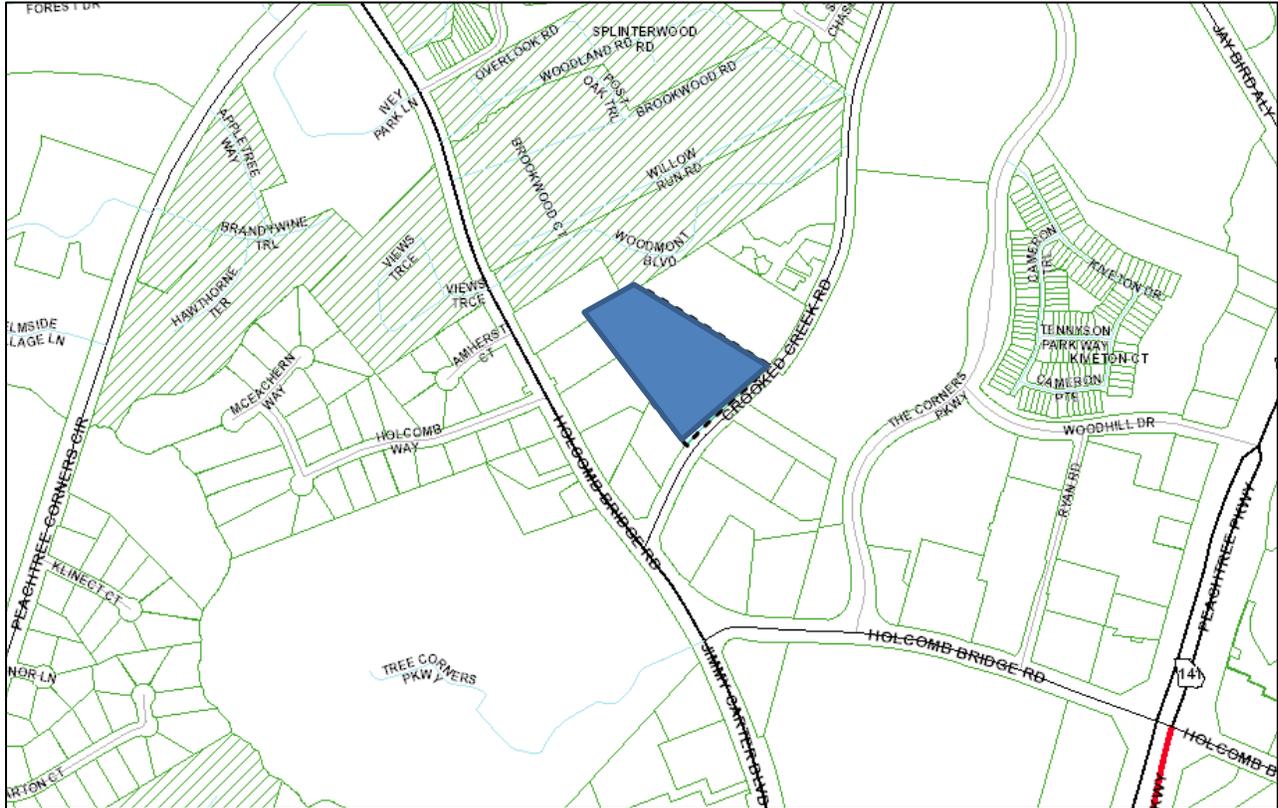


## SITE PHOTOS



## PROPERTY LOCATION MAP

### Associated Credit Union



<b>CASE NUMBER:</b>	<b>SUP2018-004</b>		
<b>HEARING DATES:</b>	<b>PLANNING COMMISSION</b>	<b>CITY COUNCIL 1<sup>ST</sup> READING</b>	<b>CITY COUNCIL 2<sup>ND</sup> READING</b>
	Jul. 17, 2018	Jul. 24, 2018	Aug. 28, 2018
<b>PROPERTY ADDRESS:</b>	<b>6251 Crooked Creek Rd.</b>		

**02018-07-129**

**AN ORDINANCE TO AMEND THE CITY OF PEACHTREE CORNERS ZONING MAP PURSUANT TO SUP2018-005, ASSOCIATED CREDIT UNION, REQUEST TO APPROVE A SPECIAL USE PERMIT TO ACCOMMODATE A RELIGIOUS FACILITY IN AN EXISTING BUILDING AT 4995 AVALON RIDGE PARKWAY, DIST. 6, LAND LOT 270, PEACHTREE CORNERS, GA.**

**WHEREAS:** Notice to the public regarding said public hearing has been duly published in The Gwinnett Daily Post, the Official News Organ of Peachtree Corners; and

**WHEREAS:** Public Hearings were held by the Mayor and City Council of Peachtree Corners on July 24, 2018 and August 28, 2018;

**NOW THEREFORE, IT IS HEREBY ORDAINED** by the governing authority of the City of Peachtree Corners, Georgia while in Regular Session on August 28, 2018 that Zoning Case SUP2018-005, Bread of Life Christian Church, is hereby approved for the above referenced property with the following enumerated conditions:

1. The special use permit for religious use shall be limited to the property at 4995 Avalon Ridge Parkway as shown on the submitted survey;
2. Required inspections and interior finish permits shall be obtained before occupancy;
3. If the City determines that church activities sufficiently impact existing traffic, the City shall notify the church and the church shall provide an off-duty police officer during those times when church related traffic needs to be managed.
4. Any future expansion of the scope of the facility beyond the worship and similar services noted in the application shall require an amendment to the Special Use Permit.

Effective this 28th day of August, 2018.

So Signed and Witnessed

Approved :

this \_\_\_\_\_ day of \_\_\_\_\_, 2018

Attest:

\_\_\_\_\_  
Kymberly Chereck, City Clerk

\_\_\_\_\_  
Mike Mason, Mayor

**CITY OF PEACHTREE CORNERS  
COMMUNITY DEVELOPMENT DEPARTMENT**

**SPECIAL USE PERMIT ANALYSIS**

PLANNING COMMISSION DATE: JULY 17, 2018

CITY COUNCIL DATE: AUGUST 28, 2018

CASE NUMBER: SUP2018-005

APPLICATION REQUEST: Religious Facility

LOCATION: 4995 Avalon Ridge Pkwy.

PROPERTY SIZE: 3.58 Acres

ZONING: M-1

FUTURE DEVELOPMENT MAP: Preferred Office

APPLICANT: Bread of Life Christian Church in Atlanta  
4350 Peachtree Industrial Blvd., Ste. 500D  
Peachtree Corners, GA 30071

CONTACT: Weyl Wang  
770-365-3350

OWNER: McCarty Avalon Investments LLC  
4995 Avalon Ridge Pkwy., Ste. 250  
Peachtree Corners, GA 30071

RECOMMENDATION: Approval with Conditions

**PROJECT UPDATE:**

At the Planning Commission meeting, there were no questions or issues related to this request and there were no speakers at the public hearing. The Commission voted unanimously (4-0, 1 absent) to recommend approval of the SUP with staff conditions.

**PROJECT DATA:**

The applicant requests a Special Use Permit on a 3.58-acre parcel zoned M-1 (Light Industry District) to permit a facility for the conduct of religious services and ceremonies in an existing building. The office building is part of the Avalon Ridge Business Park, which includes a dozen or so buildings on multiple parcels. The applicant's letter of intent states that Bread of Life Church intends to occupy 30,000 square feet to serve approximately 150 congregants. No additions or alterations to the exterior of the buildings or site are being requested.

The site is predominately located within an industrial area that is along Avalon Ridge Parkway, which extend southward from South Old Peachtree Road. The rear of the property abuts the adjacent Northwoods Business Park. All surrounding properties in both business parks are zoned M-I.

The applicant has provided a survey of the site. It includes a one-story, stucco and glass storefront building with a large parking lot in the front. There is additional parking and loading areas in the rear of the building. The applicant will need at least 30 parking spaces based on their estimated capacity; the site currently has approximately 80 spaces.

The site is located within the Employment Corridor Character Area on the Future Development Map. The Employment Corridor is intended to “provide an ideal location for diverse employment- and revenue-generating businesses, both professional and industrial, along attractive gateway and thoroughfares.” Office, light industrial, and small-scale retail (where existing or at a major node) are considered appropriate uses, and sidewalks, architectural and design standards, creative adaptive reuse/redevelopment of existing underutilized structures, parking behind buildings, and natural buffers are encouraged. The site is near the Suburban Neighborhood Character Area, which supports single-family detached residential, open space, institutional (churches and schools), minimal neighborhood-serving retail, and office (where existing).

The City’s Zoning Resolution requires that a facility for the conduct of religious services and ceremonies obtain a Special Use Permit to operate in the M-I zoning district. The purpose of the Special Use Permit review is to ensure that any detrimental aspects of the proposed land use are mitigated through site-specific conditions.

#### ZONING HISTORY:

The property is currently zoned M-I (Light Industry District) and is occupied by a 43,545-square-foot brick office building constructed in 1986. In 1985, the Gwinnett County Board of Commissioners rezoned the property from R-75 and RTH to M-I for office/business park (RZ-85-013). In 1989, the Gwinnett County Board of Commissioners approved a Special Use Permit (SUP-89-064) to allow a church in the M-I zoning district. A second special use permit was granted in 1991 (SUP-91-025). Both of those approvals have since expired.

#### ZONING STANDARDS:

Zoning Code Section 1702 identifies specific criteria that should be evaluated when considering a zoning decision. These criteria are enumerated as ‘A’ through ‘F’, below. Following each item is the applicant’s response followed by Staff’s comment.

A. Will this proposed rezoning, special use permit, or change in conditions permit a use that is suitable in view of the use and development of adjacent and nearby property?

Applicant's Response: Yes, this property in its adequate size and parking spaces should permit use as our church suitable for its neighborhood and adjacent property.

Staff's Comment: While the subject property is located within the Employment Corridor, which mainly supports office uses, the property is near some residential neighborhoods. A church would be suitable in view of the use and development of adjacent and nearby property as it will mainly operate outside normal business hours of the office park and will serve the nearby community.

B. Will this proposed rezoning, special use permit, or change in conditions adversely affect the existing use or usability of adjacent or nearby property?

Applicant's Response: No, same neighboring occupants should be able to continue their existing uses without any adverse effect at all.

Staff's Comment: The proposed use should not adversely affect the existing use or usability of adjacent or nearby property as it will be located within an existing office park with sufficient parking.

C. Does the property to be affected by a proposed rezoning, special use permit, or change in conditions have reasonable economic use as currently zoned?

Applicant's Response: Yes, using this building currently zoned M-I as our church will be a reasonable economic use.

Staff's Comment: The property has a reasonable economic use as currently zoned.

D. Will the proposed rezoning, special use permit, or change in conditions result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools?

Applicant's Response: No, our church activities are mainly on weekends (Sunday) and a few weekday evenings (Wednesday and Friday) when other businesses and school are in their off hours.

Staff's Comment: The impacts of a church on streets, transportation facilities, or utilities are unlikely to be excessive or burdensome. There will be no impact on schools.

E. Is the proposed rezoning, special use permit, or change in conditions in conformity with the policy and intent of the land use plan?

Applicant's Response: Yes, use of this building as a church is in conformity with the permitted usages based on the Gwinnett County regulations (Unified Development Ordinance).

Staff's Comment: The property is regulated by the City of Peachtree Corners, not Gwinnett County. However, the allowance for a religious facility in M-I is the same. Additionally, see Comprehensive Plan heading, next page.

F. Are there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed rezoning, special use permit, or change in conditions?

Applicant's Response: The building has been currently mostly vacant for some time. Use as a place of worship as our church we strongly believe will promote the work of the Lord in bringing His love and kindness to everyone in neighboring communities.

Staff's Comment: The Comprehensive Plan's support for adaptive reuse of underutilized structures in the Employment Corridor combined with the fact that there are several vacancies in the Avalon Ridge Business Park, gives supporting grounds for approval of the Special Use Permit.

#### COMPREHENSIVE PLAN:

The 2033 City of Peachtree Corners Character Area Map indicates that the property is located within the Employment Corridor Character Area. Policies for this area encourage office, light industrial, and small-scale retail (where existing or at major nodes). While institutional uses are not explicitly stated, the Employment Corridor does encourage adaptive reuse of existing underutilized structures. In addition, the subject parcel is nearby properties located in the Suburban Neighborhood Character Area, which lists institutional uses such as schools and churches as appropriate.

A Special Use Permit for a church in this location would meet the goals and policies of the Comprehensive Plan and would serve the surrounding residential community.

#### DEPARTMENT ANALYSIS:

The subject property is a 3.58-acre site located at 4995 Avalon Ridge Parkway. The property is surrounded by M-1 (Light Industry) zoning.

The 2033 Comprehensive Plan indicates that the parcel lies within the Employment Corridor Character Area. This character area encourages the adaptive reuse of existing underutilized structures. The proposed use conforms to this development guideline. The request to permit church uses in this existing structure would be consistent with the policies of the Character area and would put a vacant building suite back into productive use.

#### RECOMMENDATION:

**After review of the applicant's proposal and other relevant information, it is recommended that SUP2018-005 be approved with the following conditions:**

1. The special use permit for Bread of Life Church shall be limited to the property at 4995 Avalon Ridge Parkway as shown on the submitted survey;
2. Required inspections and interior finish permits shall be obtained before occupancy;

3. If the City determines that church activities sufficiently impact existing traffic, the City shall notify the church and the church shall provide an off-duty police officer during those times when church related traffic needs to be managed.
4. Any future expansion of the scope of the facility beyond the worship and similar services noted in the application shall require an amendment to the Special Use Permit.



CITY OF PEACHTREE CORNERS  
 COMMUNITY DEVELOPMENT  
 310 Technology Parkway, Peachtree Corners, GA 30092  
 Tel: 678.691.1200 | [www.peachtreecornersga.gov](http://www.peachtreecornersga.gov)

## PUBLIC HEARING APPLICATION

### REZONING, SPECIAL USE PERMIT, OR CHANGE IN CONDITIONS

A properly completed application and fees are due at the time of submittal. **An incomplete application will not be accepted.** Original signatures are required for the Application.

REQUIRED ITEMS	NUMBER OF COPIES	REQUIRED	PROVIDED
Completed Application Form	• 1 original	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Boundary Survey with Legal Description <i>B-1</i>	• 1 full size copy • 1- 8-1/2" x 11" or 11" x 17" reduction	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Site Plan <i>S-1, S-2, S-3, S-4</i>	• 1 full size Copy • 1- 8-1/2" x 11" or 11" x 17" reduction	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Letter of Intent	• 1 copy	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Applicant Certification with Notarized Signature	• 1 copy	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Property Owner Certification with Notarized Signature	• 1 copy	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Standards Governing Exercise of the Zoning Power	• 1 copy	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Disclosure Report Form (Conflict of Interest Certification/Campaign Contributions)	• 1 copy	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Verification of Paid Property Taxes (most recent year)	• One (1) Copy (per tax parcel)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Electronic copy of complete package	• One (1) copy	<input type="checkbox"/>	<input type="checkbox"/>
Application Fee	• Make checks payable to the City of Peachtree Corners	<input type="checkbox"/>	<input type="checkbox"/>
<b>ADDITIONAL EXHIBITS (IF REQUIRED)</b>			
Additional site plan requirements for R-TH, R-ZT, Modified, CSO, OBP, MUD or MUO rezoning requests	• 1 copy	<input type="checkbox"/>	<input type="checkbox"/>
Traffic Study	• 1 copy	<input type="checkbox"/>	<input type="checkbox"/>
Development of Regional Impact Review Form	• 1 copy	<input type="checkbox"/>	<input type="checkbox"/>
Community Information Meeting Certification	• 1 copy	<input type="checkbox"/>	<input type="checkbox"/>

**REZONING, SPECIAL USE PERMIT, OR CHANGE IN CONDITIONS APPLICATION**

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF PEACHTREE CORNERS, GEORGIA

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION
NAME: <u>Bread of Life Christian Church in Atlanta</u>	NAME: <u>MCCARTY AVALON INVESTMENTS LLC.</u>
ADDRESS: <u>4350 Peachtree Industrial Blvd., STE 500D</u>	ADDRESS: <u>4995 AVALON RIDGE PKWY STE 250</u>
CITY: <u>Norcross</u>	CITY: <u>PEACHTREE CORNERS</u>
STATE: <u>GA</u> ZIP: <u>30071</u>	STATE: <u>GA</u> ZIP: <u>30071-5712</u>
PHONE: <u>770-365-3350</u>	PHONE: <u>770-447-4332</u>
E-MAIL: <u>weylwang7@gmail.com</u>	E-MAIL: <u>david@mccartyconstruction.com</u>
<b>APPLICANT CONTACT, IF DIFFERENT THAN ABOVE</b>	
CONTACT PERSON: <u>Weyl Wang</u> PHONE: <u>770-365-3350</u>	
CONTACT'S E-MAIL: <u>weylwang7@gmail.com</u>	

**APPLICANT IS THE:**

OWNER'S AGENT       PROPERTY OWNER       CONTRACT PURCHASER

PRESENT ZONING DISTRICT(S): M REQUESTED ZONING DISTRICT: \_\_\_\_\_

LAND DISTRICT(S): 6th LAND LOT(S): 257 & 270 ACREAGE: 3.5862

ADDRESS OF PROPERTY: 4995 AVALON RIDGE PKWY STE 250, PEACHTREE CORNERS, GA 30071-5712

PROPOSED DEVELOPMENT: Interior non bearing wall relocations for offices, classrooms, and sanctuary for Bread of Life Christian Church in Atlanta

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*Staff Use Only This Section*

Case Number: \_\_\_\_\_ Hearing Date: P/C \_\_\_\_\_ C/C \_\_\_\_\_ Received Date: \_\_\_\_\_

Fees Paid: \_\_\_\_\_ By: \_\_\_\_\_

Related Cases & Applicable Conditions:

\_\_\_\_\_

Description:

\_\_\_\_\_

**RESIDENTIAL DEVELOPMENT**

No. of Lots/Dwelling Units \_\_\_\_\_

Dwelling Unit Size (Sq. Ft.): \_\_\_\_\_

**NON-RESIDENTIAL DEVELOPMENT**

No. of Buildings/Lots: 1

Total Bldg. Sq. Ft.: 29200 +/- sf

Gross Density: 3.5862 Acres

**FEE SCHEDULE**

**1. Rezoning, Change-in-Conditions and Special Use Permit Fees – Residential Zoning Districts**  
(note: a Special Use Permit related to a rezoning case shall not incur an additional fee)

A. For the following single-family residential zoning districts: RA-200, R-140, R-LL, R-100, R-75, RL, MHS.

- 0 - 5 Acres = \$ 500
- > 5 - 10 Acres = \$ 1,000
- > 10 - 20 Acres = \$ 1,500
- > 20 - 100 Acres = \$ 2,000
- > 100 - Acres = \$ 2,500 plus \$40 for each additional acre over 100
- Maximum Fee: \$10,000

B. For the following single and multifamily residential zoning districts: R-TH, RMD, RM-6, RM-8, RM-10, RM-13, R-SR, MH, R-60, R-ZT, R-75 MODIFIED or CSO, and R-100 MODIFIED or CSO.

- 0 - 5 Acres = \$ 850
- > 5 - 10 Acres = \$1,600
- > 10 - 20 Acres = \$2,100
- > 20 - 100 Acres = \$2,600
- > 100 - Acres = \$3,200 plus \$40 for each additional acre over 100

**2. Rezoning, Change-in-Conditions and Special Use Permit Fees - Non-Residential Zoning Districts**  
(note: a Special Use Permit related to a rezoning case shall not incur an additional fee)

For the following office, commercial and industrial zoning districts: C-1, C-2, C-3, O-1, OBP, M-1, M-2, HS, NS.

- 0 - 5 Acres = \$ 850
- > 5 - 10 Acres = \$1,600
- > 10 - 20 Acres = \$2,100
- > 20 - 100 Acres = \$2,600
- > 100 - Acres = \$3,200 plus \$50 for each additional acre over 100

**3. Mixed-Use (MUD and MUO) or High Rise Residential (HRR)**

Application Fee – \$1,200 plus \$75 per acre (maximum fee - \$10,000)

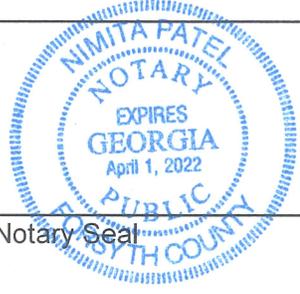
- 4. Chattahoochee Corridor Review (involving a public hearing) - \$150.
- 5. Buffer Reduction (Greater than 50%) Application Fee - \$500.
- 6. Zoning Certification Letter - \$100 (per non-contiguous parcel).

**APPLICANT'S CERTIFICATION**

The undersigned below states under oath that they are authorized to make this application. The undersigned is aware that no application or reapplication affecting the same land shall be acted upon within 12 months from the date of last action by the city council unless waived by the city council. In no case shall an application or reapplication be acted upon in less than six (6) months from the date of last action by the city council.

Weyl Wang 5/24/2018  
Signature of Applicant Date  
**Weyl Wang, President, Board of Directors**  
Type or Print Name and Title

[Signature] 5/24/18  
Signature of Notary Public Date Notary Seal

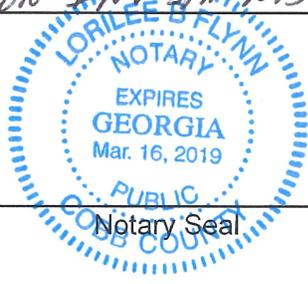


**PROPERTY OWNER'S CERTIFICATION**

The undersigned below states under oath that they are authorized to make this application. The undersigned is aware that no application or reapplication affecting the same land shall be acted upon within 12 months from the date of last action by the city council unless waived by the city council. In no case shall an application or reapplication be acted upon in less than six (6) months from the date of last action by the city council. As the property owner, I authorize the above noted applicant to act on my behalf with regard to this application.

[Signature] 5/21/18  
Signature of Property Owner Date  
DAVID McCarty President McCarty Avalon Investments Inc.  
Type or Print Name and Title

[Signature] 5/21/18  
Signature of Notary Public Date Notary Seal



**APPLICANT'S RESPONSE**  
**STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER**

Pursuant to section 1702 of the 2012 zoning resolution, the city council finds that the following standards are relevant in balancing the interest in promoting the public health, safety, morality or general welfare against the right to the unrestricted use of property and shall govern the exercise of the zoning power.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- A. Will this proposed rezoning, special use permit, or change in conditions permit a use that is suitable in view of the use and development of adjacent and nearby property?

Yes. this property at 4995 Avalon Ridge Pkwy (in M1 zoning) in its adequate size and parking spaces should permit use as our church suitable for its neighborhood and adjacent property.

- B. Will this proposed rezoning, special use permit, or change in conditions will adversely affect the existing use or usability of adjacent or nearby property?

No, same neighboring occupants should be able to continue their existing uses without any adverse effect at all.

- C. Does the property to be affected by a proposed rezoning, special use permit, or change in conditions have reasonable economic use as currently zoned?

Yes, using this building currently zoned M1 as our church will be a reasonable economic use.

- D. Will the proposed rezoning, special use permit, or change in conditions will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools?

No, our church activities are mainly on weekends (Sunday) and a few weekday evenings (Wednesday and Friday) when other businesses and school are in their off hours.

- E. Will the proposed rezoning, special use permit, or change in conditions is in conformity with the policy and intent of the land use plan?

Yes. Use of this building as a church is in conformity with the permitted usages based on the Gwinnett County regulations (Unified Development Ordinance).

- F. Are there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed rezoning, special use permit, or change in conditions?

This building has been currently mostly vacant for some time. Use as a place of worship as our church we strongly believe will promote the work of the Lord in bringing His love and kindness to everyone in the neighboring communities.

**DISCLOSURE REPORT FORM**  
**CONFLICT OF INTEREST CERTIFICATION/CAMPAIGN CONTRIBUTIONS**

WITHIN THE (2) YEARS IMMEDIATELY PRECEDING THE FILING OF THIS ZONING PETITION HAVE YOU, AS THE APPLICANT FOR THE REZONING, SPECIAL USE PERMIT, OR CHANGE IN CONDITIONS PETITION, OR AN ATTORNEY OR AGENT OF THE APPLICANT FOR THE REZONING, SPECIAL USE PERMIT, OR CHANGE IN CONDITIONS PETITION, MADE ANY CAMPAIGN CONTRIBUTIONS AGGREGATING \$250.00 OR MORE OR MADE GIFTS HAVING AN AGGREGATE VALUE OF \$250.00 TO THE MAYOR OR ANY MEMBER OF THE CITY COUNCIL?

CHECK ONE:       YES       NO  
 (If **yes**, please complete the "Campaign Contributions" section below)

Bread of Life Christian Church in Atlanta  
 \_\_\_\_\_  
 Print Name

1. CAMPAIGN CONTRIBUTIONS

Name of Government Official	Total Dollar Amount	Date of Contribution	Enumeration and Description of Gift Valued at \$250.00 or more

2. THE UNDERSIGNED ACKNOWLEDGES THAT THIS DISCLOSURE IS MADE IN ACCORDANCE WITH THE OFFICIAL CODE OF GEORGIA, SECTION 36-67A-1 ET. SEQ. CONFLICT OF INTEREST IN ZONING ACTIONS, AND THAT THE INFORMATION SET FORTH HEREIN IS TRUE TO THE UNDERSIGNED'S BEST KNOWLEDGE, INFORMATION AND BELIEF.

*Weyl Wang*      5/24/2018      Weyl Wang, President, Board of Directors  
 \_\_\_\_\_  
 Signature of Applicant      Date      Type or Print Name and Title

\_\_\_\_\_  
 Signature of Applicant's Attorney or Representative      Date      Type or Print Name and Title

*Nimita Patel*      5/24/18      \_\_\_\_\_  
 Signature of Notary      Date      Notary Seal



**VERIFICATION OF CURRENT PAID PROPERTY TAXES FOR REZONING**

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED CERTIFIES THAT ALL CITY OF PEACHTREE CORNERS PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE TAX COMMISSIONER OF GWINNETT COUNTY, GEORGIA. IN NO CASE SHALL A PUBLIC HEARING APPLICATION BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

**A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE REZONING REQUEST.**

PARCEL I.D. NUMBER:                      6th                      257 & 270                      R6270 070  
(Map Reference Number)                      District                      Land Lot                      Parcel

  
Signature of Applicant

5/24/2018  
Date

**Weyl Wang, President, Board of Directors**

Type or Print Name and Title

---

---

*Tax Commissioners Use Only*

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

\_\_\_\_\_  
NAME

\_\_\_\_\_  
TITLE

\_\_\_\_\_  
DATE

## LETTER OF INTENT

### Bread of Life Christian Church in Atlanta

May 20, 2018

The applicant submits this Special Use Permit Application to the Peachtree Corner City for the purpose of obtaining a special-use permit to allow a church on the property located at 4995 Avalon Ridge Parkway, Peachtree Corners, GA 30071.

Our church, Bread of Life Christian Church in Atlanta (BOLCC in Atlanta) is an ethnic Chinese congregation that aims to shine God's light on Greater Atlanta through sharing the Gospel of Jesus Christ. We started our first Sunday worship in April of 2004. Today we have a congregation of more than 150 people. We sense a stirring in our hearts to reach more people for the Gospel of Jesus Christ. Our current rented facility space in Norcross has become insufficient for all the services and the increasing number of people the Lord calls to come. We pray it is time to move to a bigger facility to help amplify the Gospel.

This subject property has its building size around 30,000SF, a 3.59 acres of land and approximately 80 parking spaces (please see attachment). Access will be through entrances/exits on the Avalon Ridge Pkwy. The property has access to public water supply, public sewer, and convenient access to the Peachtree Industrial Blvd. Due to the nature of a church in its less-intensive use and times of activities, there will be no impact on traffic, schools, neighboring business, or local roads.

As a church we will be a very good neighbor contributing to the community and creating a safe environment.

#### CONCLUSION

This proposed Special Use Permit would result in a Christian church to serve its members in the area, to bless the neighboring communities, and to compliment the high standard of development already established in Norcross/Peachtree Corners. Applicant and its representatives welcome the opportunity to meet with the Planning and Zoning staff of the Peachtree Corners City to answer any questions or to address any concerns. Applicant respectfully and prayerfully requests for approval of this application.

Respectfully submitted,



Weyl Wang 5/20, 2018

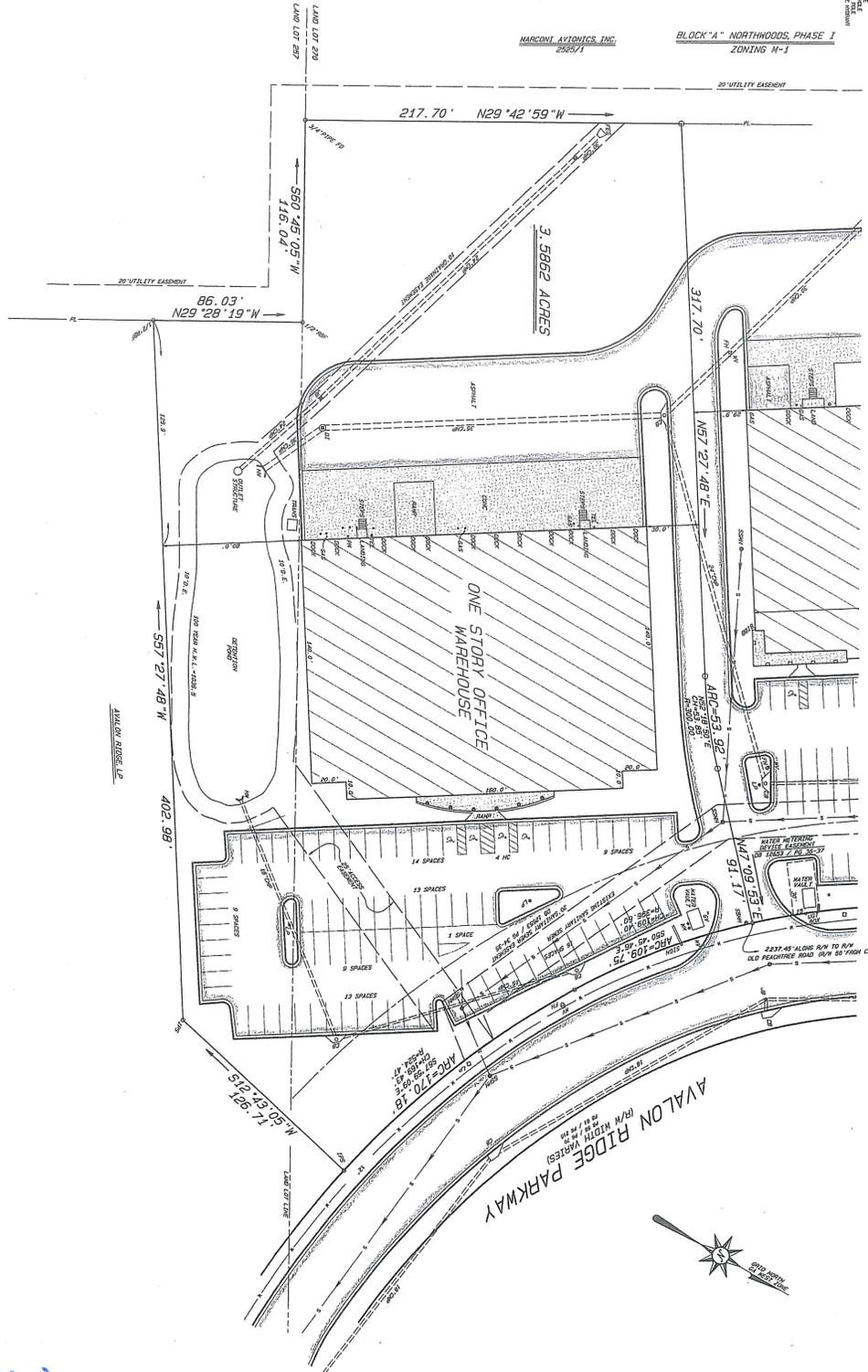
Weyl Wang  
President, Board of Directors,

Bread of Life Christian Church in Atlanta

- LEGEND
- 1. CENTERLINE OF ROAD
  - 2. RIGHT-OF-WAY OF ROAD
  - 3. PROPERTY LINE
  - 4. EASEMENT
  - 5. UTILITY EASEMENT
  - 6. EXISTING BUILDING
  - 7. EXISTING DRIVE
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BLOCK "A" NORTHWOODS, PHASE I  
ZONING M-1

MARCONI AVIONICS, INC.  
2500



SURVEY FOR:  
DAVID MCCARTY  
SUNTRUST BANK ATLANTA & CORPORATION  
LAWYERS TITLE INSURANCE & CORPORATION  
LAND LOT 270  
GWINNETT COUNTY, GEORGIA

DATE: DEC. 8, 1986  
SCALE: 1"=30'

NO.	DATE	REVISION DESCRIPTION
1	DEC. 8, 1986	1. LAYOUT AND CONCEPT PLAN OF BUILDING

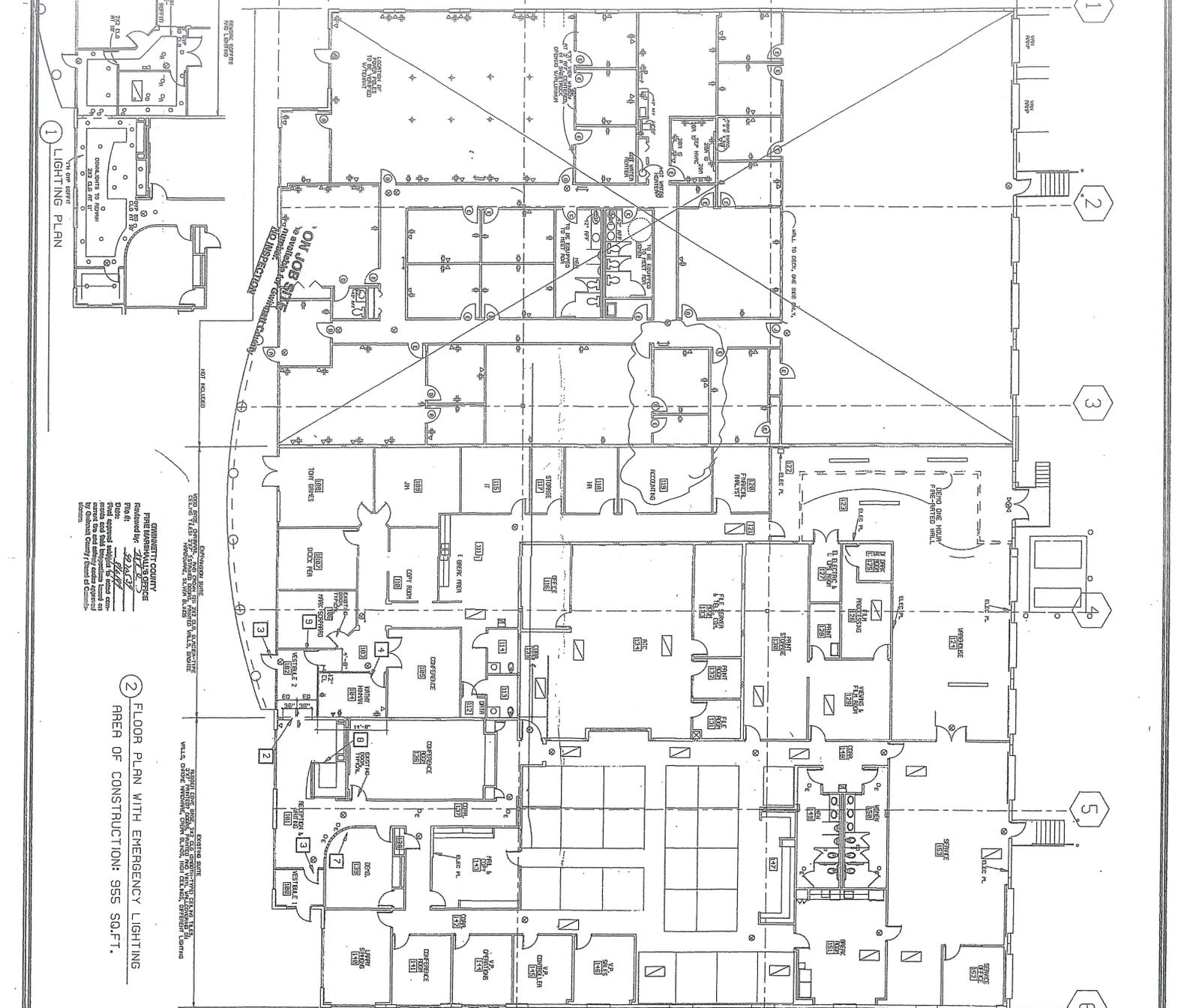


DAVID L. HANNON, SURVEYOR  
13824  
STATE OF GEORGIA

HANNON, HENNS & BARNETT, SURVEYORS & ENGINEERS, INC.  
1275  
1275

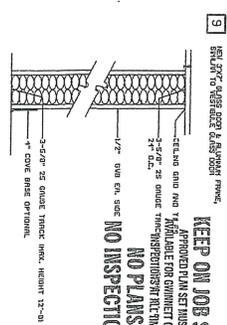
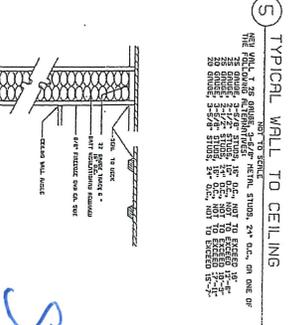
B-1

NOTICE: THIS SURVEY WAS MADE IN ACCORDANCE WITH THE PROVISIONS OF THE SURVEYING AND MAPPING ACT OF 1967, AS AMENDED BY THE SURVEYING AND MAPPING ACT OF 1977, AND THE SURVEYING AND MAPPING ACT OF 1982, AND THE SURVEYING AND MAPPING ACT OF 1985, AND THE SURVEYING AND MAPPING ACT OF 1988, AND THE SURVEYING AND MAPPING ACT OF 1991, AND THE SURVEYING AND MAPPING ACT OF 1994, AND THE SURVEYING AND MAPPING ACT OF 1997, AND THE SURVEYING AND MAPPING ACT OF 2000, AND THE SURVEYING AND MAPPING ACT OF 2003, AND THE SURVEYING AND MAPPING ACT OF 2006, AND THE SURVEYING AND MAPPING ACT OF 2009, AND THE SURVEYING AND MAPPING ACT OF 2012, AND THE SURVEYING AND MAPPING ACT OF 2015, AND THE SURVEYING AND MAPPING ACT OF 2018, AND THE SURVEYING AND MAPPING ACT OF 2021, AND THE SURVEYING AND MAPPING ACT OF 2024.



2 FLOOR PLAN WITH EMERGENCY LIGHTING  
AREA OF CONSTRUCTION: 955 SQ.FT.

6 TYPICAL TENANT DEMISING WALL



- 4 KEYED NOTES
- EXISTING ONE HOUR FIRE-RATED WALL
  - NEW ONE HOUR FIRE-RATED TYPICAL DEMISING WALL
  - EXISTING WALL TO CEILING
  - EXISTING WALL TO CEILING

- 3 CONSTRUCTION LEGEND
- EXISTING ONE HOUR FIRE-RATED WALL
  - NEW ONE HOUR FIRE-RATED TYPICAL DEMISING WALL
  - EXISTING WALL TO CEILING
  - EXISTING WALL TO CEILING

**coyle - thompson interiors**

1720 PEACHTREE STREET • SUITE 140 • ATLANTA, GEORGIA 30309 • (404) 874-7265

CONTACT INFORMATION:  
 FAX: (404) 874-7267  
 E-MAIL: info@coylethompson.com  
 WEBSITE: www.coylethompson.com

PROJECT NO: 424-1-51  
 PROJECT NAME: PINKERTON2.VWF  
 APPROVED/DATE:

4995 AVALON RIDGE PARKWAY  
 SUITE 100  
 NORCROSS, GEORGIA 30071

REVISIONS  
 AUGUST 4, 1999

DATE: JULY 25, 1999

SCALE: 1/8" = 1'-0"

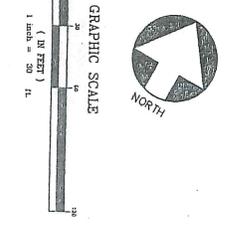
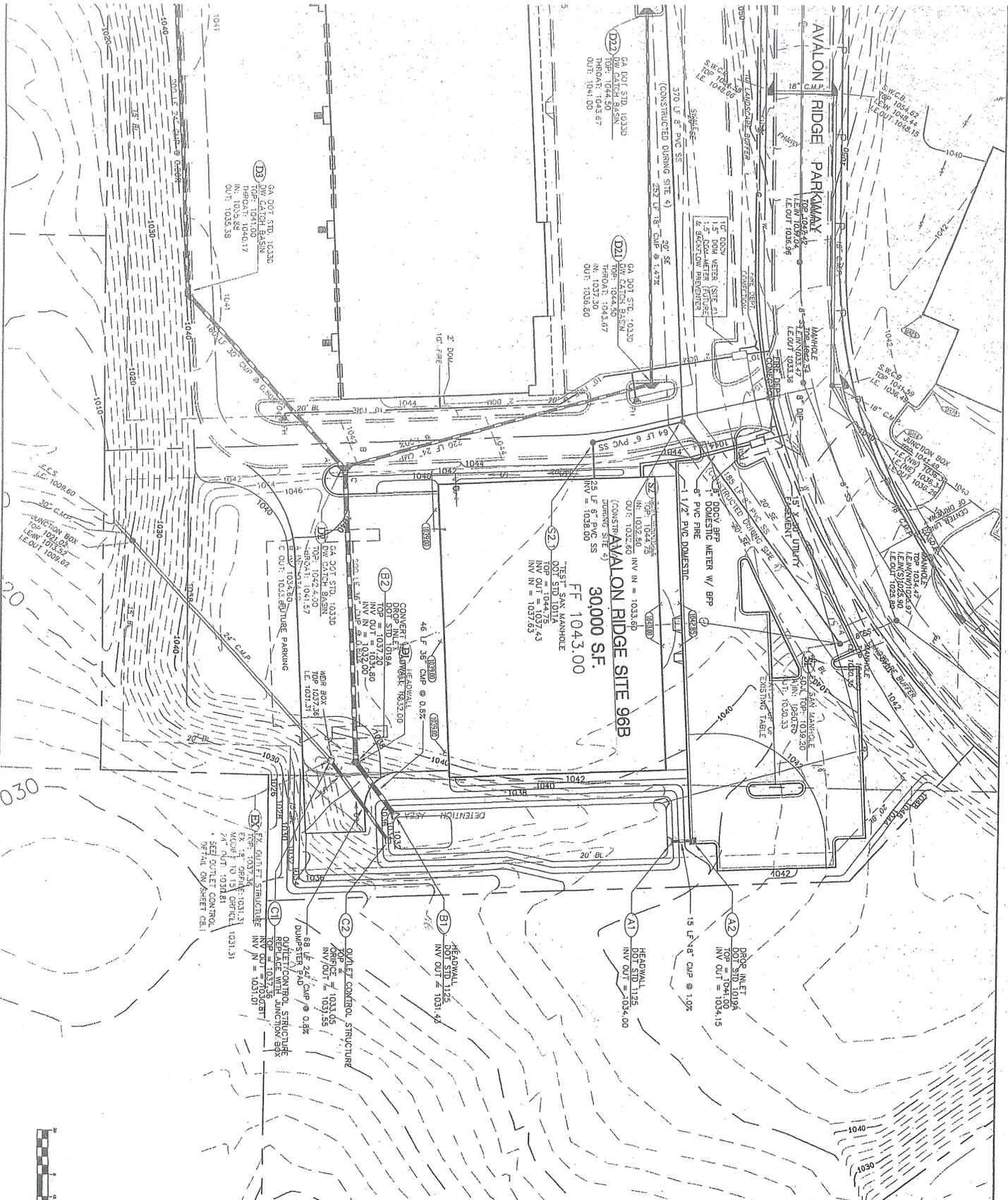
1 PINKERTON SYSTEMS INTEGRATION

4995 AVALON RIDGE PARKWAY  
 SUITE 100  
 NORCROSS, GEORGIA 30071

SQUARE FOOTAGE  
 OFFICE: \_\_\_\_\_ SF  
 TOTAL: \_\_\_\_\_ SF

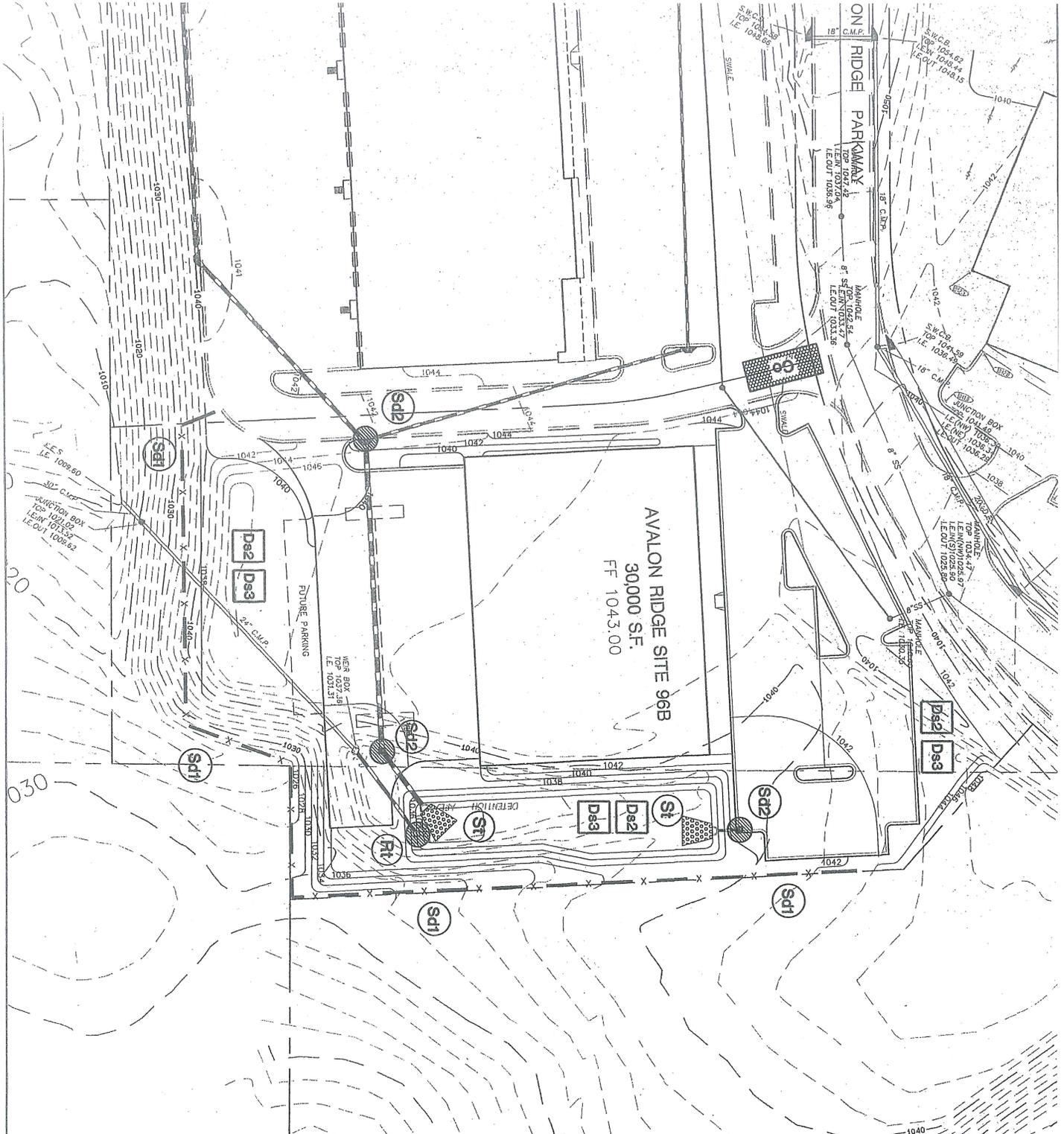
NORTH





S-3

LEGEND	
	PROPOSED INLET
	PROPOSED CATCH BASIN
	EXISTING CATCH BASIN
	PROPOSED HEADWALL
	EXISTING HEADWALL
	SPOT ELEVATION
	PROPOSED BY CONTOUR
	EXISTING BY CONTOUR
	PROPOSED FIRE HYDRANT
	PROPOSED FIRE HYDRANT THROAT BLOCK LOCATION
	EXISTING SEWER MH
	WATER LINE
	GAS LINE
	TREE LINE
	HANDICAP RAMP
	BUILDING LINE



**AVALON RIDGE SITE 96B**  
 30,000 S.F.  
 FF 1043.00

**LEGEND**

	CHECKDAM
	CONSTRUCTION EXIT
	RIPPRAP
	SEDIMENT TRAP
	SEDIMENT BARRIER
	INLET SEDIMENT TRAP
	TEMPORARY SEDIMENT BASIN
	STORM DRAIN OUTLET PROTECTION
	DISTURBED AREA STABILIZATION WITH PERMANENT SEEDING
	DISTURBED AREA STABILIZATION WITH TEMPORARY SEEDING

**GRAPHIC SCALE**  
 1 inch = 50' ft.

**NORTH**

*S-4*

# AERIAL PHOTO

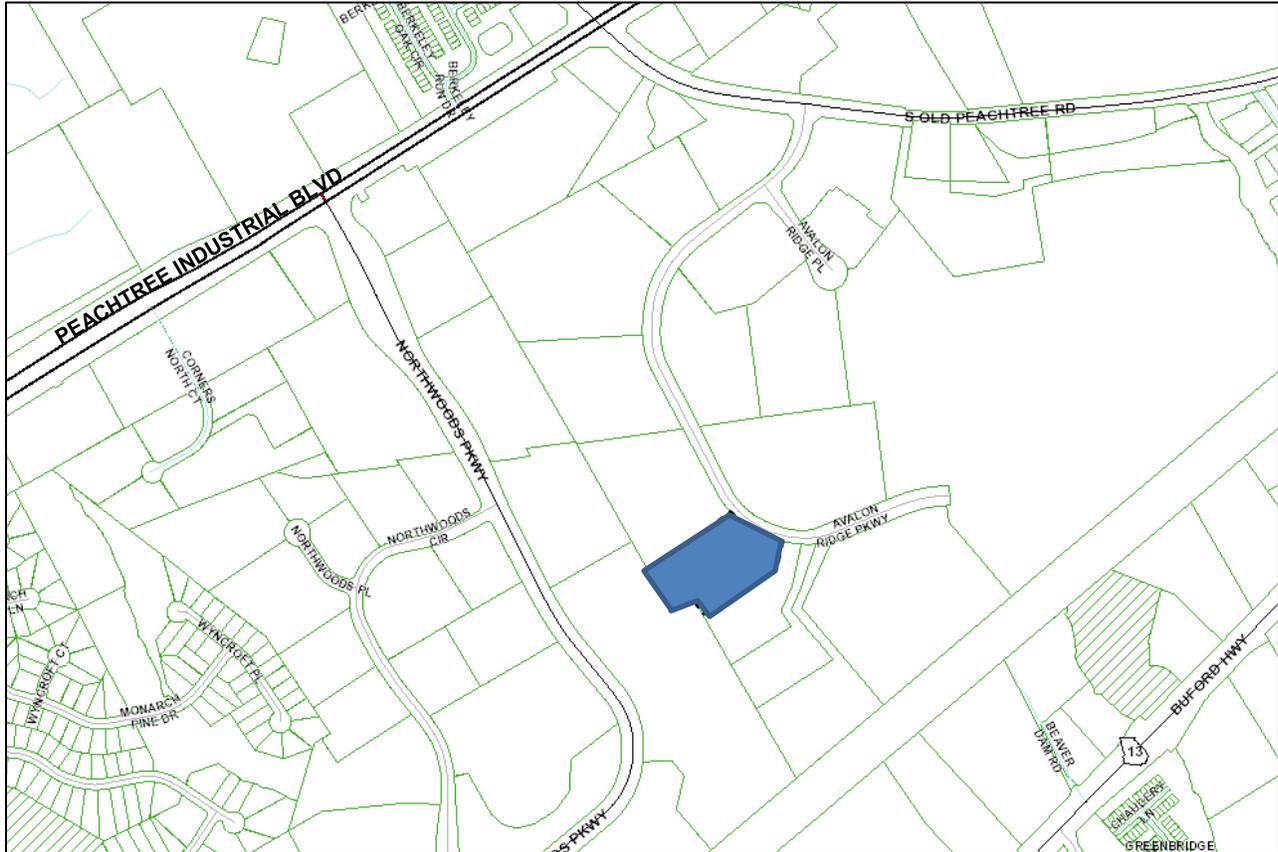


## SITE PHOTOS



## PROPERTY LOCATION MAP

### Bread of Life Church



<b>CASE NUMBER:</b>	<b>SUP2018-005</b>		
<b>HEARING DATES:</b>	<b>PLANNING COMMISSION</b>	<b>CITY COUNCIL 1<sup>ST</sup> READING</b>	<b>CITY COUNCIL 2<sup>ND</sup> READING</b>
	Jul. 17, 2018	Jul. 24, 2018	Aug. 28, 2018
<b>PROPERTY ADDRESS:</b>	<b>4995 Avalon Ridge Pkwy.</b>		

**02018-07-130**

**AN ORDINANCE TO AMEND THE CITY OF PEACHTREE CORNERS ZONING MAP PURSUANT TO RZ2018-002, ATLANTA BEST USED CARS, REQUEST TO APPROVE A REZONING FROM M-1 TO C-3 TO ACCOMMODATE USED CAR SALES AT AN EXISTING BUILDING AT 4765 BUFORD HIGHWAY, DIST. 6, LAND LOT 258, PEACHTREE CORNERS, GA.**

**WHEREAS:** Notice to the public regarding said public hearing has been duly published in The Gwinnett Daily Post, the Official News Organ of Peachtree Corners; and

**WHEREAS:** Public Hearings were held by the Mayor and City Council of Peachtree Corners on July 24, 2018 and August 28, 2018;

**NOW THEREFORE, IT IS HEREBY ORDAINED** by the governing authority of the City of Peachtree Corners, Georgia while in Regular Session on August 28, 2018 that Zoning Case RZ2018-002, Atlanta Best Used Cars, is hereby approved for the above referenced property with the following enumerated conditions:

- 1. The rezoning from M-1 to C-3 shall be approved and limited to the 4.396 acres located at 4765 Buford Highway.**
- 2. All vehicle maintenance and repair work shall be conducted indoors.**
- 3. An acceptable method of vehicle washing waste water disposal shall be provided, as approved by staff.**
- 4. All vehicle parking areas shall be paved, and vehicles shall be parked in designated paved parking spaces with adjacent drive aisles which meet the requirements of the Zoning Ordinance, and as approved by staff.**
- 5. Vehicles shall not be parked in landscape areas and shall not be stacked or stored in such a way that vehicles are not readily moveable or accessible.**
- 6. Existing trees on the property shall not be removed unless they are diseased or dangerous, as determined by Staff.**
- 7. A decorative, 4-foot high brick wall or a combination of brick and wrought iron or aluminum picket fence, and metal bollards filled with concrete and painted shall be installed along the front of the property, as approved by Staff.**
- 8. Decorative landscaping shall be installed in front of the brick wall along Buford Hwy., as approved by Staff and shall include a 3-foot tall continuous evergreen hedge along the frontage and trees spaced 30-foot on center.**

9. The chain link fencing visible from the street shall be removed.
10. If a new monument sign is installed, it shall be constructed on a brick base and shall not exceed 6 ft. in height.
11. The dumpster shall be placed in an enclosure made primarily of brick and approved by Staff.
12. Conditions #7 - #11 shall be met prior to the issuance or transference of a business license to the subject property.
13. No more than 300 vehicles shall be parked on site.
14. No inoperable vehicles shall be stored on the property.
15. No billboards shall be permitted on the property.
16. Install sidewalk along frontage as required by code.
17. Opaque type screening gates shall be installed, as approved by Staff, along the entrances from Buford Highway.

Effective this 28th day of August, 2018.

So Signed and Witnessed

Approved:

this \_\_\_\_\_ day of \_\_\_\_\_, 2018

Attest:

\_\_\_\_\_  
Kymerly Chereck, City Clerk

\_\_\_\_\_  
Mike Mason, Mayor

**CITY OF PEACHTREE CORNERS  
COMMUNITY DEVELOPMENT DEPARTMENT**

**REZONING ANALYSIS**

PLANNING COMMISSION DATE: JULY 17, 2018

CITY COUNCIL DATE: AUGUST 28, 2018

CASE NAME: **ATLANTA BEST USED CARS**

CASE NUMBER: **RZ2018-002**

CURRENT ZONING: M-1

LOCATION: 4765 BUFORD HIGHWAY

MAP NUMBERS: 6<sup>th</sup> DISTRICT, LAND LOT 258

ACREAGE: 4.396 ACRES

PROPOSED DEVELOPMENT: APPROVE REZONING FROM M-1 TO C-3 TO ALLOW USED  
AUTO SALES AT AN EXISTING COMMERCIAL SITE

FUTURE DEVELOPMENT MAP: PREFERRED OFFICE

APPLICANT: HABIB & HABIB HOLDING, LLC  
5141 BUFORD HWY.  
PEACHTREE CORNERS, GA 30071

CONTACT: ERIC JOHANSEN  
678-571-4843

OWNER: HABIB & HABIB HOLDINGS, LLC  
5141 BUFORD HWY.  
PEACHTREE CORNERS, GA 30071

**RECOMMENDATION: APPROVE WITH CONDITIONS**

**PROJECT UPDATE:**

At the Planning Commission meeting, questions were asked about the project and the property owner's plans for the site. There were no speakers at the public hearing. The Commission voted unanimously (4-0, 1 absent) to recommend approval of the rezoning with staff conditions and several Planning Commission amendments. One significant difference between the Staff and Planning Commission recommended conditions involves condition #13. Staff recommends that there be a limit of 300 cars on site; otherwise, the applicant could park as many as 536 cars on the property. The Planning Commission recommends that this condition concerning the limitations on cars (shown struck-through in the list of conditions at the end of this report) be removed.

Since the Planning Commission meeting, the applicant has submitted a landscape plan (in response to condition #8). The plan shows the placement of a row of bollards along the front (in lieu of a fence), hedge plantings and trees along Buford Hwy.

**SUMMARY:**

The applicant is seeking approval of a rezoning to allow for used auto sales at an existing building and property along the west side of Buford Highway approximately one-half mile south of South Berkeley Lake Road. The property adjoins C-2, C-3, and M-1 zoning to the north, south, and west. East across Buford Highway is a C-2 zone in unincorporated Gwinnett County.

The existing M-1 zoning does not permit used vehicle sales; the proposed C-3 zoning does if the site is at least 1.5 acres in size. The applicant's property exceeds 4 acres.

**ZONING HISTORY:**

The property has been developed with a warehouse-style building and home to warehouse-type uses since it was constructed in the 1970s. The building is approximately 10,000 square feet in size and the applicant proposed to reuse the existing site and building for its used car business.

**ZONING STANDARDS:**

Zoning Code Section 1702 identifies specific criteria that should be evaluated when considering a zoning decision. These criteria are enumerated as 'A' through 'F', below. Following each item is the applicant's response followed by Staff's comment.

A. Will this proposed rezoning, special use permit, or change in conditions permit a use that is suitable in view of the use and development of adjacent and nearby property?

*Applicant's Response: Yes, the proposed use for an automotive service and inventory storage parking lot will be consistent with the current use of the subject property as a heavy truck service facility, and will be compatible with the adjacent and surrounding uses M-1, C-2 and C-3 uses all directly located on Buford Highway in the City and unincorporated Gwinnett County.*

*Staff's Comment: Given the existing automobile-related uses nearby, the proposal is in character with the surrounding area.*

B. Will this proposed rezoning, special use permit, or change in conditions adversely affect the existing use or usability of adjacent or nearby property?

*Applicant's Response: No, the proposed rezoning will not adversely affect the existing use or the adjacent and nearby properties given the subject property is already zoning for industrial uses, is surrounded by other industrial and commercial properties, and the current property is being used as a heavy truck repair and service facility that operates 24/7 type business across the country.*

*Staff's Comment: The proposal is similar to other automobile-related rezoning and special use permit requests of recent years and is consistent with the area.*

C. Does the property to be affected by a proposed rezoning, special use permit, or change in conditions have reasonable economic use as currently zoned?

*Applicant's Response: Yes, the property zoned as M-1 does have a reasonable economic use but does not work for the intended use of the property owner/applicant given the intended use would require a special use permit.*

*Staff's Comment: The property has a reasonable economic use as currently zoned. The applicant is in error stating that the use could be permitted in M-1 with a special use permit; it could not be.*

D. Will the proposed rezoning, special use permit, or change in conditions result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools?

*Applicant's Response: No, the proposed rezoning of the subject property should have no effect on the existing streets, transportation facilities, utilities, or school systems. The current traffic count for Buford Highway according to the most recent GDOT data is 23,800 ADT (based on 2016 traffic counts).*

*Staff's Comment: Given that the building and site are already existing and there is sufficient parking, impacts on infrastructure should remain unchanged. There will be no impact on schools.*

E. Is the proposed rezoning, special use permit, or change in conditions in conformity with the policy and intent of the land use plan?

*Applicant's Response: Yes, the proposed rezoning is in conformity with the policy and intent of the City of Peachtree Corners land use plan and future land use plans for the Buford Highway corridor.*

*Staff's Comment: (see Comprehensive Plan heading, below.)*

F. Are there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed rezoning, special use permit, or change in conditions?

*Applicant's Response: Yes, the adjacent properties located in the City of Peachtree Corners are currently zoned C-3 and C-2. The properties directly across Buford Highway and located in unincorporated Gwinnett County and located on both side of Pittman Circle are zoned C-2. So there is precedent in the immediate and surrounding area for C-2 and C-3 zoned properties.*

*Staff's Comment: The city has permitted used auto sales in this area in the past. A rezoning to permit used auto would, therefore, not create a precedent.*

#### COMPREHENSIVE PLAN:

The 2033 City of Peachtree Corners Character Area Map indicates that the property is located within the Industrial Corridor Character Area. Policies for this area encourage industrial and commercial uses appropriate to the Buford Highway transportation corridor which provides good automobile access to adjacent properties.

#### DEPARTMENT ANALYSIS:

The proposal for used auto sales is consistent with the adjacent zoning and this area along Buford Highway. Given the existence of similar uses, the applicant's proposal is unlikely to be a detriment to surrounding properties. However, the nature of the automotive use can create maintenance and aesthetic issues for the property. In its current condition, the site consists of a large metal warehouse building, significant expanses of asphalt paving, some grassed areas along the front, and tree stands along the rear of the property surrounding the detention pond. There are several opportunities to improve the condition of the property in conjunction with the proposed new use. Landscaping, for example, could be added to the southern part of the site along the driveway where there is currently bare dirt. In addition, landscaping needs to be added along the front of the property. A decorative brick wall along the frontage would help screen the extensive view of vehicles on the site. The property would also benefit from a new monument sign.

#### RECOMMENDATION:

**After review of the applicant's proposal and other relevant information, it is recommended that RZ2018-002 be approved subject to the following conditions:**

- 1. The rezoning from M-1 to C-3 shall be approved and limited to the 4.396 acres located at 4765 Buford Highway.**
- 2. All vehicle maintenance and repair work shall be conducted indoors.**
- 3. An acceptable method of vehicle washing waste water disposal shall be provided, as approved by staff.**
- 4. All vehicle parking areas shall be paved, and vehicles shall be parked in designated paved parking spaces with adjacent drive aisles which meet the requirements of the Zoning Ordinance, and as approved by staff.**

5. **Vehicles shall not be parked in landscape areas and shall not be stacked or stored in such a way that vehicles are not readily moveable or accessible.**
6. **Existing trees on the property shall not be removed unless they are diseased or dangerous, as determined by Staff.**
7. **A decorative, 4-foot high brick wall or a combination of brick and wrought iron or aluminum picket fence, and metal bollards filled with concrete and painted shall be installed along the front of the property, as approved by Staff.**
8. **Decorative landscaping shall be installed in front of the brick wall along Buford Hwy., as approved by Staff and shall include a 3-foot tall continuous evergreen hedge along the frontage and trees spaced 30-foot on center.**
9. **The chain link fencing visible from the street shall be removed.**
10. **If a new monument sign is installed, it shall be constructed on a brick base and shall not exceed 6 ft. in height.**
11. **The dumpster shall be placed in an enclosure made primarily of brick and approved by Staff.**
12. **Conditions #7 - #11 shall be met prior to the issuance or transference of a business license to the subject property.**
- ~~13. **No more than 300 vehicles shall be parked on site.**~~
14. **No inoperable vehicles shall be stored on the property.**
15. **No billboards shall be permitted on the property.**
16. **Install sidewalk along frontage as required by code.**
17. **Opaque type screening gates shall be installed, as approved by Staff, along the entrances from Buford Highway.**



## PUBLIC HEARING APPLICATION

### REZONING, SPECIAL USE PERMIT, OR CHANGE IN CONDITIONS

A properly completed application and fees are due at the time of submittal. **An incomplete application will not be accepted.** Original signatures are required for the Application.

REQUIRED ITEMS	NUMBER OF COPIES	REQUIRED	PROVIDED
Completed Application Form	• 1 original	<input type="checkbox"/>	<input type="checkbox"/>
Boundary Survey with Legal Description	• 1 full size copy • 1- 8-1/2" x 11" or 11" x 17" reduction	<input type="checkbox"/>	<input type="checkbox"/>
Site Plan <i>SAME AS SURVEY</i>	• 1 full size Copy • 1- 8-1/2" x 11" or 11" x 17" reduction	<input type="checkbox"/>	<input type="checkbox"/>
Letter of Intent	• 1 copy	<input type="checkbox"/>	<input type="checkbox"/>
Applicant Certification with Notarized Signature	• 1 copy	<input type="checkbox"/>	<input type="checkbox"/>
Property Owner Certification with Notarized Signature	• 1 copy	<input type="checkbox"/>	<input type="checkbox"/>
Standards Governing Exercise of the Zoning Power	• 1 copy	<input type="checkbox"/>	<input type="checkbox"/>
Disclosure Report Form (Conflict of Interest Certification/Campaign Contributions)	• 1 copy	<input type="checkbox"/>	<input type="checkbox"/>
Verification of Paid Property Taxes (most recent year)	• One (1) Copy (per tax parcel)	<input type="checkbox"/>	<input type="checkbox"/>
Electronic copy of complete package	• One (1) copy	<input type="checkbox"/>	<input type="checkbox"/>
Application Fee	• Make checks payable to the City of Peachtree Corners	<input type="checkbox"/>	<input type="checkbox"/>
<b>ADDITIONAL EXHIBITS (IF REQUIRED)</b>			
Additional site plan requirements for R-TH, R-ZT, Modified, CSO, OBP, MUD or MUO rezoning requests	• 1 copy	<input type="checkbox"/>	<input type="checkbox"/>
Traffic Study	• 1 copy	<input type="checkbox"/>	<input type="checkbox"/>
Development of Regional Impact Review Form	• 1 copy	<input type="checkbox"/>	<input type="checkbox"/>
Community Information Meeting Certification	• 1 copy	<input type="checkbox"/>	<input type="checkbox"/>

**REZONING, SPECIAL USE PERMIT, OR CHANGE IN CONDITIONS APPLICATION**

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF PEACHTREE CORNERS, GEORGIA

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION
NAME: <u>Habib &amp; Habib Holding, LLC</u>	NAME: <u>Habib &amp; Habib Holding, LLC</u>
ADDRESS: <u>5141 Buford Highway</u>	ADDRESS: <u>5141 Buford Highway</u>
CITY: <u>Peachtree Corners</u>	CITY: <u>Peachtree Corners</u>
STATE: <u>GA</u> ZIP: <u>30071</u>	STATE: <u>GA</u> ZIP: <u>30071</u>
PHONE: <u>404-388-8830 cell</u>	PHONE: <u>404-388-8830 cell</u>
E-MAIL: <u>atlantam40@aol.com</u>	E-MAIL: <u>atlantam40@aol.com</u>
<b>APPLICANT CONTACT, IF DIFFERENT THAN ABOVE</b>	
CONTACT PERSON: <u>Eric Johansen, Agent for Applicant</u> PHONE: <u>678-571-4843 cell</u>	
CONTACT'S E-MAIL: <u>fwj3ventures@gmail.com</u>	

**APPLICANT IS THE:**

OWNER'S AGENT       PROPERTY OWNER       CONTRACT PURCHASER

PRESENT ZONING DISTRICTS(S): M-1 REQUESTED ZONING DISTRICT: C-3

LAND DISTRICT(S): 6 LAND LOT(S): 258 ACREAGE: +/- 4.396 acres

ADDRESS OF PROPERTY: 4765 Buford Highway, Peachtree Corners, GA 30071 (Parcel 6258 068)

PROPOSED DEVELOPMENT: Automotive Sales, Service and Parking Lot for Inventory of vehicles

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*Staff Use Only This Section*

Case Number: RZ2018-002 Hearing Date: P/C 7/17 C/C 8/28 Received Date: 30 MAY 2018

Fees Paid: 850.00 By: Jc

Related Cases & Applicable Conditions:

---

Description:

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**RESIDENTIAL DEVELOPMENT**

No. of Lots/Dwelling Units \_\_\_\_\_

Dwelling Unit Size (Sq. Ft.): \_\_\_\_\_

**NON-RESIDENTIAL DEVELOPMENT**

No. of Buildings/Lots: 1

Total Bldg. Sq. Ft.: +/- 16,419 SF

Gross Density: +/- 3,735 SF/AC

**FEE SCHEDULE**

**1. Rezoning, Change-in-Conditions and Special Use Permit Fees – Residential Zoning Districts**  
(note: a Special Use Permit related to a rezoning case shall not incur an additional fee)

A. For the following single-family residential zoning districts: RA-200, R-140, R-LL, R-100, R-75, RL, MHS.

- 0 - 5 Acres = \$ 500
- > 5 - 10 Acres = \$ 1,000
- > 10 - 20 Acres = \$ 1,500
- > 20 - 100 Acres = \$ 2,000
- > 100 - Acres = \$ 2,500 plus \$40 for each additional acre over 100
- Maximum Fee: \$10,000

B. For the following single and multifamily residential zoning districts: R-TH, RMD, RM-6, RM-8, RM-10, RM-13, R-SR, MH, R-60, R-ZT, R-75 MODIFIED or CSO, and R-100 MODIFIED or CSO.

- 0 - 5 Acres = \$ 850
- > 5 - 10 Acres = \$1,600
- > 10 - 20 Acres = \$2,100
- > 20 - 100 Acres = \$2,600
- > 100 - Acres = \$3,200 plus \$40 for each additional acre over 100

**2. Rezoning, Change-in-Conditions and Special Use Permit Fees - Non-Residential Zoning Districts**  
(note: a Special Use Permit related to a rezoning case shall not incur an additional fee)

For the following office, commercial and industrial zoning districts: C-1, C-2, C-3, O-1, OBP, M-1, M-2, HS, NS.

- 0 - 5 Acres = \$ 850
- > 5 - 10 Acres = \$1,600
- > 10 - 20 Acres = \$2,100
- > 20 - 100 Acres = \$2,600
- > 100 - Acres = \$3,200 plus \$50 for each additional acre over 100

**3. Mixed-Use (MUD and MUO) or High Rise Residential (HRR)**

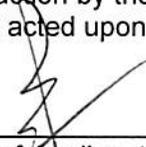
Application Fee – \$1,200 plus \$75 per acre (maximum fee - \$10,000)

- 4. Chattahoochee Corridor Review (involving a public hearing) - \$150.
- 5. Buffer Reduction (Greater than 50%) Application Fee - \$500.
- 6. Zoning Certification Letter - \$100 (per non-contiguous parcel).

**APPLICANT'S CERTIFICATION**

The undersigned below states under oath that they are authorized to make this application. The undersigned is aware that no application or reapplication affecting the same land shall be acted upon within 12 months from the date of last action by the city council unless waived by the city council. In no case shall an application or reapplication be acted upon in less than six (6) months from the date of last action by the city council.

05/28/2018

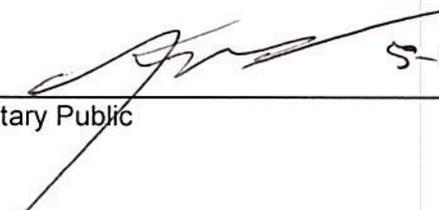
  
\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Date

Amer Habib, Manager for Habib & Habib Holding, LLC

\_\_\_\_\_  
Type or Print Name and Title

KARAN PATEL  
NOTARY PUBLIC  
GWINNETT COUNTY, GA  
Comm. Expires 4-22-19

  
\_\_\_\_\_  
Signature of Notary Public

5-28-18  
\_\_\_\_\_  
Date

\_\_\_\_\_  
Notary Seal

**PROPERTY OWNER'S CERTIFICATION**

The undersigned below states under oath that they are authorized to make this application. The undersigned is aware that no application or reapplication affecting the same land shall be acted upon within 12 months from the date of last action by the city council unless waived by the city council. In no case shall an application or reapplication be acted upon in less than six (6) months from the date of last action by the city council. As the property owner, I authorize the above noted applicant to act on my behalf with regard to this application.

05/28/2018

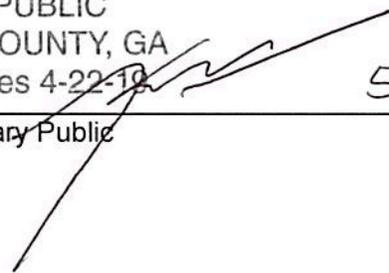
  
\_\_\_\_\_  
Signature of Property Owner

\_\_\_\_\_  
Date

Amer Habib, Manager for Habib & Habib Holding, LLC

\_\_\_\_\_  
Type or Print Name and Title

KARAN PATEL  
NOTARY PUBLIC  
GWINNETT COUNTY, GA  
Comm. Expires 4-22-19

  
\_\_\_\_\_  
Signature of Notary Public

5-28-18  
\_\_\_\_\_  
Date

\_\_\_\_\_  
Notary Seal

**APPLICANT'S RESPONSE**  
**STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER**

Pursuant to section 1702 of the 2012 zoning resolution, the city council finds that the following standards are relevant in balancing the interest in promoting the public health, safety, morality or general welfare against the right to the unrestricted use of property and shall govern the exercise of the zoning power.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- A. Will this proposed rezoning, special use permit, or change in conditions permit a use that is suitable in view of the use and development of adjacent and nearby property?

Yes, the proposed use for an Automotive Service and Inventory Storage Parking Lot will be consistent with the current use of the Subject Property as a Heavy Truck Service Facility, and will be compatible with the adjacent and surrounding uses M-1, C-2 and C-3 uses all directly located on Buford Highway in the City and unincorporated Gwinnett County. +

- B. Will this proposed rezoning, special use permit, or change in conditions will adversely affect the existing use or usability of adjacent or nearby property?

No, the proposed rezoning will not adversely affect the existing use or the adjacent and nearby properties given the Subject Property is already zoning for Industrial uses, is surrounding by other Industrial and Commerical properties, and the current property is being used as a Heavy Truck Repair and Service Facility that operates a 24/7 type business across the country. +

- C. Does the property to be affected by a proposed rezoning, special use permit, or change in conditions have reasonable economic use as currently zoned?

Yes, the property zoned as M-1 does have a reasonable economic use but does not work for the intended use of the Property Owner/Applicant given the intended use would require a Special Use Permit.

- D. Will the proposed rezoning, special use permit, or change in conditions will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools?

No, the proposed rezoning of the Subject Property should have no effect on the existing streets, transportation facilities, utilities, or school systems. The current traffic count for Buford Highway according to the most recent GDOT data is 23,800 ADT (based on 2016 traffic counts). +

- E. Will the proposed rezoning, special use permit, or change in conditions is in conformity with the policy and intent of the land use plan?

Yes, the proposed rezoning is in conformity with the policy and intent of the City of Peachtree Corners land use plan and future land use plans for the Buford Highway corridor.

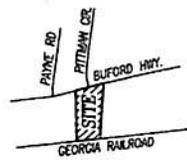
- F. Are there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed rezoning, special use permit, or change in conditions?

Yes, the adjacent properties located in the City of Peachtree Corners are currently zoned C-3 and C-2. The properties directly across Buford Highway and located in unincorporated Gwinnett County and located on both sides of Pittman Circle are zoned C-2. So there is a precedent in the immediate and surrounding area for C-2 and C-3 zoned properties. +





- LEGEND:**
- P.E. - PERMANENT EASEMENT
  - C.E. - CONSTRUCTION EASEMENT
  - S.E. - SEWER EASEMENT
  - H.W. - HEAD WALL
  - C.B. - CATCH BASIN
  - R/W - RIGHT OF WAY
  - D.E. - DRAINAGE EASEMENT
  - B.L. - BUILDING LINE
  - R. - RADIUS
  - R.C.P. - REINFORCED CONCRETE PIPE
  - C.M.P. - CORRUGATED METAL PIPE
  - L.L. - LAND LOT
  - L.L.L. - LAND LOT LINE
  - C.L. - CENTER LINE
  - M.H. - MANHOLE
  - W.V. - WATER VALVE
  - E.C.D. - EROSION CONTROL DEVICE
  - LABS - SOIL TYPE



**LEGAL DESCRIPTION:**

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 258 OF THE SIXTH LAND DISTRICT OF CHMINKET COUNTY, GEORGIA CONTAINING 4.396 ACRES MORE OR LESS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE CENTERLINE INTERSECTION OF BUFOUR HIGHWAY A.K.A. U.S. HIGHWAY 23 A.K.A. S.R. 13 AND PITTMAN CIRCLE GO N 26°37'51" E A DISTANCE OF 172.87' TO A CONCRETE MONUMENT FOUND ON THE NORTHERN R/W OF BUFOUR HIGHWAY AND THE TRUE POINT OF BEGINNING, THENCE ALONG SAID R/W S 43°38'46" W A DISTANCE OF 375.20' TO A COMPUTED POINT ON THE NORTHERN R/W OF BUFOUR HIGHWAY AND THE APPROXIMATE LAND LOT LINE OF LAND LOT 257 AND 258, THENCE ALONG SAID LAND LOT LINE N 30°18'20" W A DISTANCE OF 16.07' TO A 1/2" REBAR FOUND, THENCE ALONG SAID LAND LOT LINE N 30°18'20" W A DISTANCE OF 568.60' TO A 1/2" REBAR FOUND ON THE SOUTHEASTERN R/W OF GEORGIA RAILROAD AND THE LAND LOT LINE OF LAND LOT 257 AND 258, THENCE ALONG SAID R/W N 47°23'30" E A DISTANCE OF 320.13' TO A 1/2" REBAR SET, THENCE S 35°09'08" E A DISTANCE OF 540.25' TO A CONCRETE MONUMENT FOUND ON THE NORTHERN R/W OF BUFOUR HIGHWAY AND THE TRUE POINT OF BEGINNING.

**SURVEYORS CERTIFICATION**

1. THE FIELD DATA UPON WHICH THIS PLAN IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 1,000 FEET AND AN ANGULAR ERROR OF 1.0 SECONDS PER ANGLE POINT.
2. THE DATA SHOWN HEREON HAS BEEN CALCULATED FOR CLOSURE AND HAS BEEN FOUND TO BE ACCURATE TO WITHIN ONE FOOT IN 1,000 FEET AND HAS BEEN ADJUSTED BY THE COMPOUND RULE.
3. ANGULAR AND LINEAR MEASUREMENTS OBTAINED BY TOPCON GTS 201

**REF:**

- DEED BOOK 20954 PAGE 142
- DEED BOOK 6006 PAGE 227
- DEED BOOK 18368 PAGE 214
- PLAN BY MORRIS L. SMITH & ASSOC. INC. FOR WILSON TRUCKING CORP. DATED 6/01/2000...

I HAVE CONSULTED THE FLOOD INSURANCE RATE MAPS AND DETERMINED THAT, IN MY OPINION, THE AREA AS SHOWN ON THIS SURVEY DOES NOT LAY WITHIN A DESIGNATED FLOOD HAZARD AREA, COMMUNITY PANEL NO. 132220288S EFFECTIVE DATE: 7/20/1984.

County	CONWAY
Land Lot	258
District	6TH
Section	1 = 100'
Date	10/28/2004

**PETERS PROPERTY GROUP, LLC**  
**MERRILL LYNCH BUSINESS FINANCIAL INC.**  
**& CHICAGO TITLE INSURANCE COMPANY**

ALTA/ACSM SURVEY FOR

**Brewer & Dudley, L.L.C.**

187 South Street  
 Atlanta, Georgia 30303  
 Tel: (770) 287-9700  
 Fax: (770) 287-0777

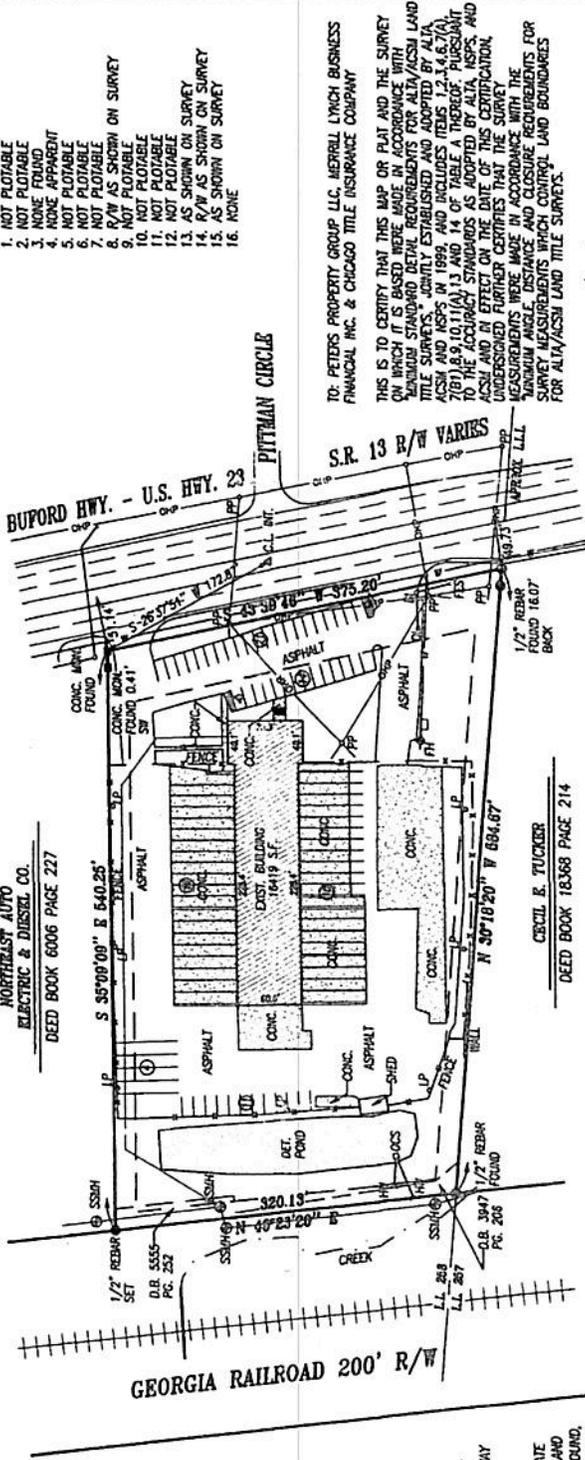
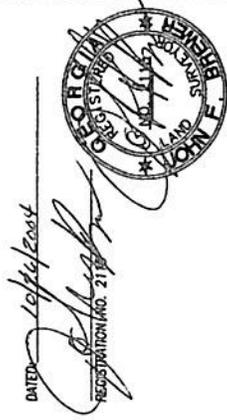
Revisions	
DATE	11/3/2004
TITLE CHANGE	
Job No.	04235
File No.	
Sheet	of



- COMMITMENT # 15395**  
**SEQUENCE B - SECTION 2**
1. NOT PLOTTABLE
  2. NOT PLOTTABLE
  3. NONE FOUND
  4. NONE APPARENT
  5. NOT PLOTTABLE
  6. NOT PLOTTABLE
  7. NOT PLOTTABLE
  8. R/W AS SHOWN ON SURVEY
  9. NOT PLOTTABLE
  10. NOT PLOTTABLE
  11. NOT PLOTTABLE
  12. NOT PLOTTABLE
  13. AS SHOWN ON SURVEY
  14. R/W AS SHOWN ON SURVEY
  15. AS SHOWN ON SURVEY
  16. NONE

TO: PETERS PROPERTY GROUP, LLC, MERRILL LYNCH BUSINESS FINANCIAL INC. & CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY THEREON WERE MADE IN ACCORDANCE WITH THE ALTA/ACSM SURVEYING STANDARDS AND REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA/ACSM AND NSPS IN 1999, AND INCLUDES ITEMS 1.2, 3.4.6, 7(A), 7(B), 8.9, 10, 11(A), 13 AND 14 OF TABLE A, THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA/ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION. UNDERSIGNED FURTHER CERTIFIES THAT THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE MINIMUM ANGLE, DISTANCE AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS.



**ZONING INFORMATION:**

- ZONING: D-1
- FRONT YARD SETBACK: 50'
- SIDE YARD SETBACK: 20'
- REAR YARD SETBACK: 15'
- MAX. BUILDING HEIGHT: 40'

**TOTAL AREA = 4.396 ACRES**

Scale 1" = 100'

NO EXISTING NATIONAL GEODETIC SURVEY MONUMENT HAS FOUND TO BE WITHIN 500' OF SUBJECT PROPERTY.

## EXHIBIT "A"

ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lot 258 of the 6<sup>th</sup> District of Gwinnett County, Georgia, and being more particularly described as follows:

To find the TRUE POINT OF BEGINNING, commence at an iron pin located at the intersection of the southeasterly right-of-way of Georgia Railroad, having a 200-foot right-of-way, and the Land Lot Line common to Land Lot 257 and Land Lot 258, said iron pin being the TRUE POINT OF BEGINNING; thence running in a northeasterly direction along the southeasterly right-of-way line of said Georgia Railroad North 49 degrees 23 minutes 20 seconds East for a distance of 320.13 feet to a ½ inch rebar set; thence leaving the right-of-way of Georgia Railroad South 35 degrees 09 minutes 09 seconds East for a distance of 540.25 feet to a point on the northwesterly right-of-way line of Buford Highway; a/k/a/ U.S. Highway 23, a/k/a State Route 13 (having a variable width right-of-way); thence running in a southwesterly direction along the northwesterly right-of-way line of said Buford Highway South 43 degrees 39 minutes 46 seconds West for a distance of 375.20 feet to a point; thence leaving the right-of-way of said Buford Highway North 30 degrees 18 minutes 20 seconds West for a distance of 584.67 feet to an iron pin; said iron pin being the TRUE POINT OF BEGINNING; the foregoing tract being depicted on that certain ALTA/ACSM Survey dated October 26, 2004, prepared for Peters Property Group, LLC and Chicago Title Insurance Company, by Brewer and Dudley, LLC, and John F. Brewer, III, GA RLS No. 2905.

May 28, 2018

Diana Wheeler  
Community Development Director  
City of Peachtree Corners  
310 Technology Parkway  
Peachtree Corners, GA 30092

*Submitted via Hand Delivery to:  
Community Development*

**Re: 4765 Buford Highway  
Rezoning Request from M-1 to C-3  
Gwinnett County Tax Parcel 6258 068  
City of Peachtree Corners, GA**

Dear Ms. Wheeler,

Habib & Habib Holding, LLC, is both the **Applicant and the Property Owner** (collectively the "Applicant") for real property located at 4765 Buford Highway, Peachtree Corners, GA, consisting of approximately ±4.396 acres (the "Subject Property") that is the subject of this rezoning request. The Applicant is seeking a change in zoning from the City of Peachtree Corners, GA (the "City") on the Subject Property from the present zoning of M-1 to the proposed zoning of C-3 for the purpose of operating an Automotive Sales, Service, and Inventory Parking Lot for the motor vehicle assets of Atlanta Best Used Cars ("ABUC").

The Subject Property is located on Buford Highway, which is classified by the Gwinnett County Department of Transportation's Long-Range Road Classification as a Major Arterial. The Georgia Department of Transportation recently conducted a study of the traffic volumes along the Buford Highway corridor with a traffic volume of 23,800 ADT based on the 2016 traffic counts.

The Subject Property is immediately bordered by other intense automotive related uses as follows:

- To the **North** = Northeast Auto Electric and Diesel, and Trans Auto and Truck Repair which is a C-3 zoned property in the City
- To the **South** = Dominguez Auto Sales, LLC which is a C-2 zoned property in the City
- To the **East** = Llantera Tires and Los Compadres Tires which are businesses that directly abut both Buford Highway and Pittman Circle, located in unincorporated Gwinnett County, GA (the "County") and both properties are zoned C-2 in the County
- To the **West** = Georgia Railroad property which is a main travel path for the Heavy Industrial and Heavy Commercial users along the railroad right of way

The Subject Property is currently being leased by Snider Fleet Services ("Snider") which operates as a 24/7 comprehensive fleet service with emergency roadside service for Heavy Truck Repairs and Service related operations. Snider has over 80 locations scattered throughout the major cities and along the commercial travel corridors for the trucks that they service. The lease with Snider will expire at the end of August 2018, making the Subject Property vacant and ready for a new use.

The Applicant recently purchased the Subject Property in February 2018 with the plans of expanding his ABUC business. ABUC is currently operating out of four (4) properties all located within one mile of the Subject Property. The base of the ABUC operations is located at 5141 Buford Highway where the sales staff and operations staff of the dealership work, with detailing of the automobiles being

performed at 4745 South Berkeley Lake Road, and the overflow parking lots located at 4398 Buford Highway and 5192 Buford Highway for the growing vehicle inventory. The detailing facility is being leased by the Applicant and that lease will expire at the end of September 2018, therefore, creating the need to consolidate operations at the leased property and to move the detailing operations to the Subject Property. In addition to detailing vehicles on the Subject Property, the Applicant intends to provide automotive service to the public, as well as, its own vehicles for sale, and for the sale and marketing of the automobiles. Please visit the ABUC website located at the following web address: [www.atlantabestusedcars.com](http://www.atlantabestusedcars.com) to see the quality of the dealership and vehicles that they typically sell.

The Subject Property will be utilized in the exact same manner that it exists currently with no changes proposed at this time to exterior operations. The front of the building will serve as offices and a showroom for the sales staff, the existing warehouse will serve as the automotive service facility and the large parking lots and drive aisles (both the concrete and asphalt areas) will serve as the parking lot for the inventory of vehicles for sale by ABUC. ABUC will utilize the existing perimeter fencing to secure the vehicles and will add either a decorative black metal fence or decorative metal bollards typically found at automotive dealerships along the Buford Highway corridor. The Subject Property does have a large above ground storm management facility located at the rear of the property and adjacent to the railroad right of way.

Additionally, we would request the City to approve the change from M-1 to C-3 to be consistent with the immediate adjacent and surrounding properties from a zoning perspective. From a financial perspective the Subject Property is better to market as a C-3 property than a M-1 property if the automotive business does not survive due to market conditions outside of the control of the Applicant. Furthermore, we still would request the ability to utilize the Subject Property as a Heavy Equipment Service facility until the official change in use by the Applicant at the appropriate time.

We respectfully request the approval of the City for the proposed change in zoning from M-1 to C-3 for the proposed uses as proposed by the Applicant. The Applicant and its Agent are free to meet with the City on the Subject Property to further discuss the merits of the proposed zoning change and will provide additional information upon request.

Thanks in advance for consideration of this request by the City.

Respectfully submitted,



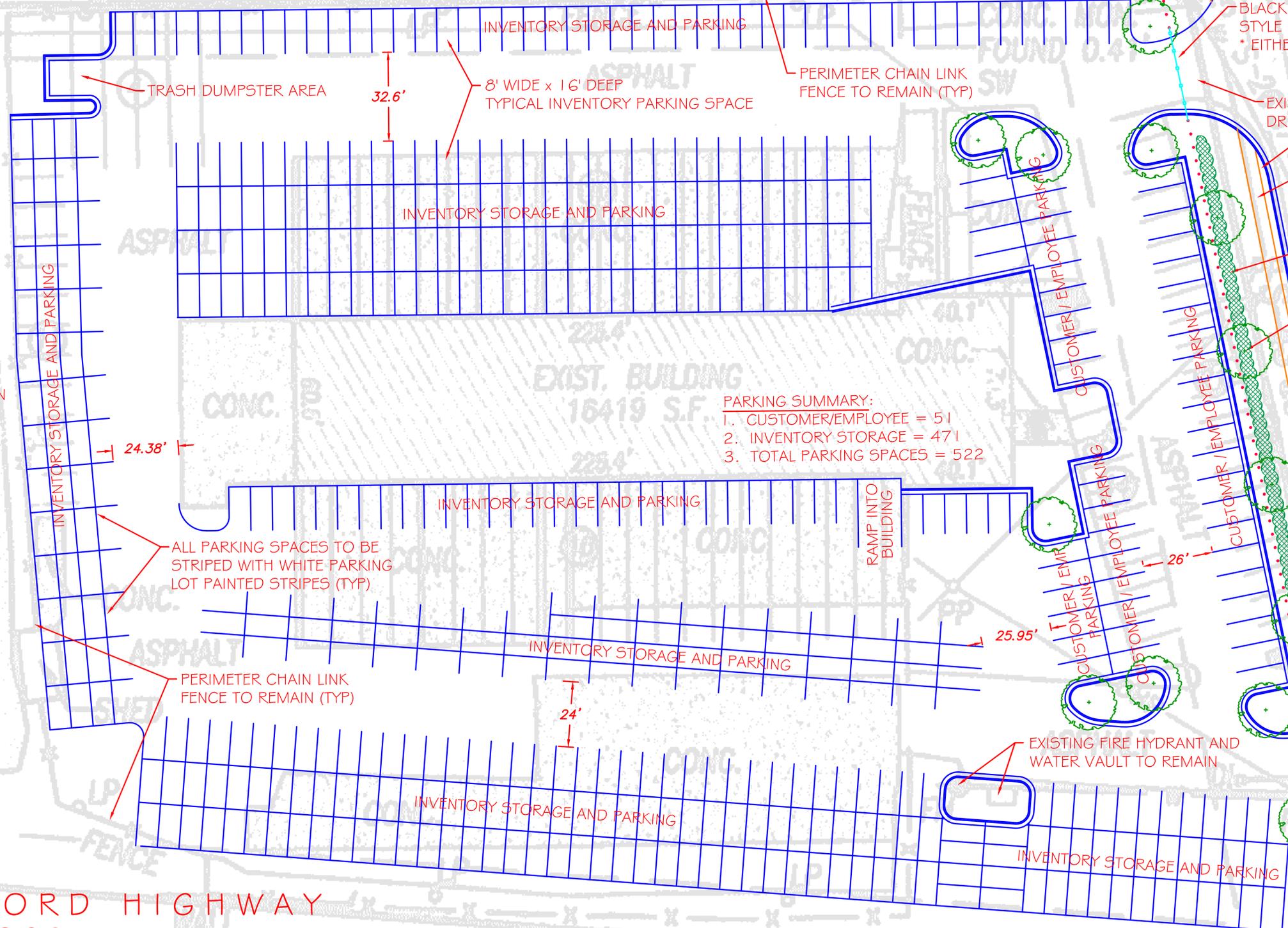
Eric Johansen, RLA  
**Agent for the Applicant**

cc: Habib & Habib Holding, LLC  
Atlanta Best Used Cars, LLC  
File

PARCEL 6258 028  
ZONED: C-3

PARCEL 6258 076  
ZONED: C-3

S 35°09'09" E 540.25'



**PARKING SUMMARY:**

1. CUSTOMER/EMPLOYEE = 51
2. INVENTORY STORAGE = 471
3. TOTAL PARKING SPACES = 522

BLACK WROUGHT IRON  
STYLE GATES (ALUMINUM)  
\* EITHER SWING OR SLIDE

EXISTING FULL ACCESS  
DRIVEWAY TO BE USED

2' GRASS STRIP

5' CONCRETE SIDEWALK

3' TALL EVERGREEN HEDGE (TYP)

3" CALIPER STREET TREES (TYP)  
\* 50' SPACING ON CENTERS

BUFORD HIGHWAY

PAINTED METAL BOLLARDS

BLACK WROUGHT IRON  
STYLE GATES (ALUMINUM)  
\* EITHER SWING OR SLIDE

EXISTING FULL ACCESS  
DRIVEWAY TO BE USED

2' GRASS STRIP

5' CONCRETE SIDEWALK

EXISTING FIRE HYDRANT AND  
WATER VAULT TO REMAIN

INVENTORY STORAGE AND PARKING

# 4765 BUFORD HIGHWAY

REZONE FROM M-1 TO C-3

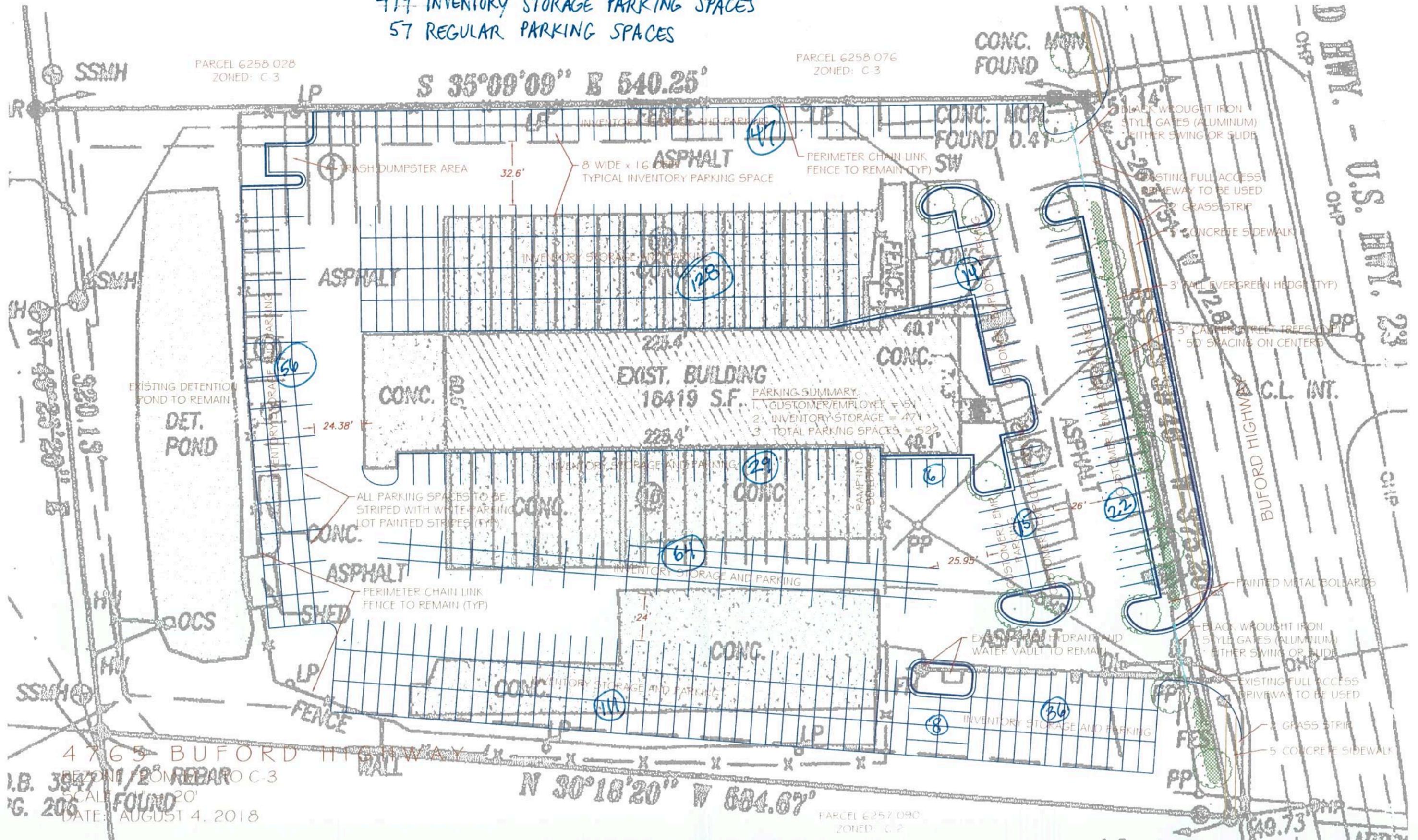
SCALE: 1" = 20'

DATE: AUGUST 4, 2018

PARCEL 6257 090  
ZONED: C-2

N 30°18'20" W 584.67'

479 INVENTORY STORAGE PARKING SPACES  
57 REGULAR PARKING SPACES



PARKING SUMMARY:  
1. CUSTOMER/EMPLOYEE = 57  
2. INVENTORY STORAGE = 479  
3. TOTAL PARKING SPACES = 522

4769 BUFORD HIGHWAY  
I.B. 3847 1/2" REBAR  
G. 206 FOUND  
SCALE: 1" = 20'  
DATE: AUGUST 4, 2018

PARCEL 6257 090  
ZONED: C-2

149.73

# AERIAL PHOTO: OVERVIEW



**AERIAL PHOTO: FRONT ZOOM**

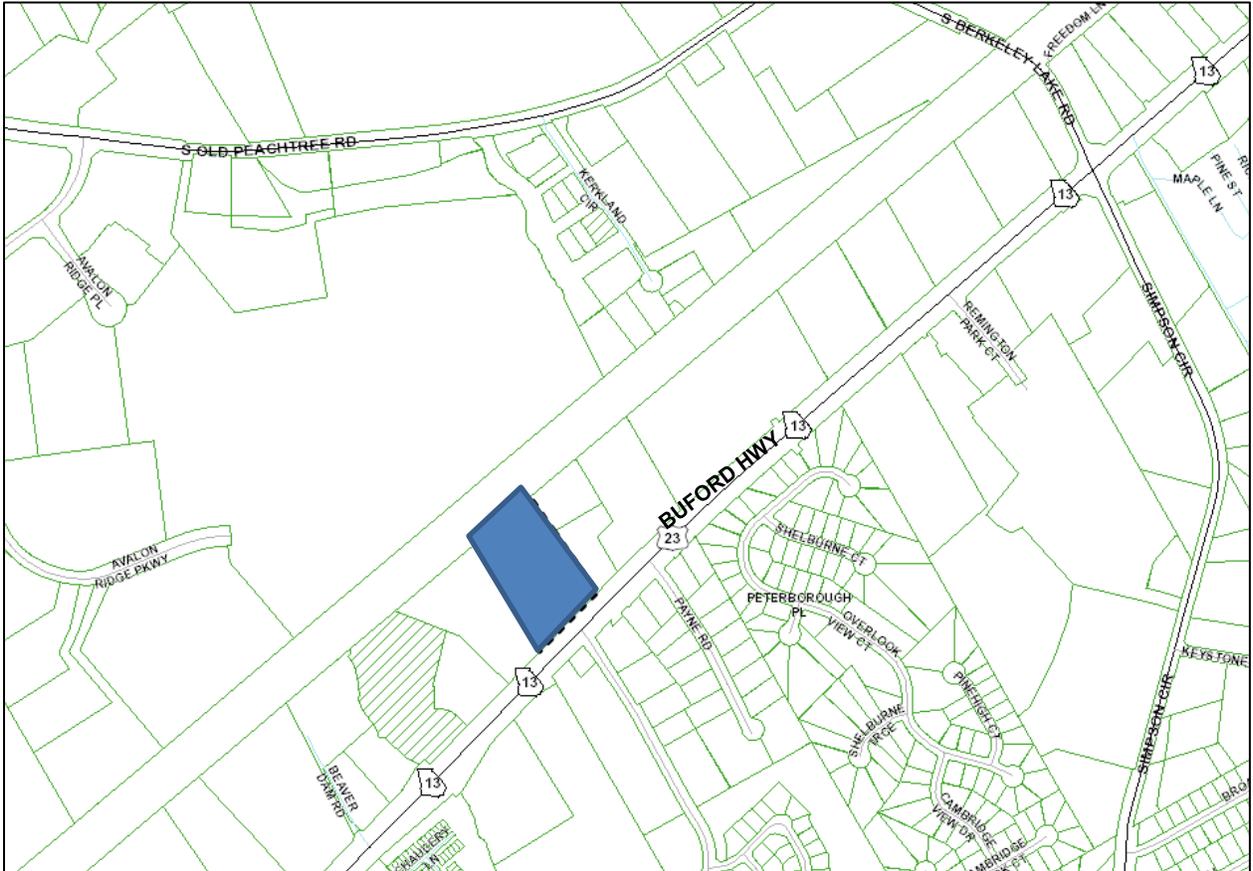


# SITE PHOTOS



## PROPERTY LOCATION MAP

### Atlanta Best Used Cars



<b>CASE NUMBER:</b>	<b>RZ2018-002</b>		
<b>HEARING DATES:</b>	<b>PLANNING COMMISSION</b>	<b>CITY COUNCIL 1<sup>ST</sup> READING</b>	<b>CITY COUNCIL 2<sup>ND</sup> READING</b>
	Jul. 17, 2018	Jul. 24, 2018	Aug. 28, 2018
<b>PROPERTY ADDRESS:</b>	<b>4765 Buford Hwy.</b>		

**02018-07-131**

**AN ORDINANCE OF THE CITY OF PEACHTREE CORNERS, GEORGIA TO AMEND ARTICLE III OF THE CITY OF PEACHTREE CORNERS ZONING RESOLUTION BY AMENDING DEFINITIONS TO DEFINE RESTAURANTS AND TO AMEND ARTICLE XIII OF THE CITY OF PEACHTREE CORNERS ZONING RESOLUTION BY AMENDING ZONING CODE SEC. 1310, M-1 LIGHT INDUSTRY DISTRICT TO ADD RESTAURANTS AS A PERMITTED USE WITHIN THE CBD; REPEALING ALL CONFLICTING ORDINANCES; AND SETTING AN EFFECTIVE DATE**

**WHEREAS**, the Mayor and Council of the City of Peachtree Corners are charged with the protection of the public health, safety, and welfare of the citizens of Peachtree Corners; and

**WHEREAS**, pursuant to Section 1.12(a) of the City Charter, the City is charged with exercising the powers of zoning; and

**WHEREAS**, Notice to the public regarding said public hearing has been duly published in The Gwinnett Daily Post, the Official News Organ of Peachtree Corners; and

**WHEREAS**, the Mayor and Council desire to amend the current zoning resolution;

**NOW THEREFORE, IT IS HEREBY ORDAINED** by the governing authority of the City of Peachtree Corners, Georgia that the **Zoning Resolution** be amended as follows:

**Section 1.** (words ~~struck through~~ are deleted and words underlined are added)

**ARTICLE III, DEFINITIONS**

...

Restaurant. A commercial establishment where food and drink are prepared and served.

...

**ARTICLE XIII, USE PROVISIONS**

...

**Section 1310. M-1 Light Industry District.**

...

Permitted Uses.

Only the following uses shall be permitted within the M-1 Light Industry District and no structure shall be erected, structurally altered or enlarged for any use other than as permitted herein with the exception of a) uses lawfully established prior to the effective date of this amendment, b) special uses as permitted herein, c) accessory uses as defined in Article III, Definitions, d) other uses which are clearly similar to and consistent with the purpose of this district, or e) ~~limited~~ uses (listed at the end of this section) for property located within the Central Business District (see CBD boundary map).

...

~~Limitations on uses~~ Uses within the Central Business District (see CBD boundary map)

~~a) All permitted M-1 uses shall be allowed~~

a) The following uses shall be prohibited on M-1 zoned property in the Central Business District except the following:

Automobile Body Repair Shop

Automobile Repair Shop

Baking Plant

Cold Storage Plant

Funeral Homes and Crematories

Ice Manufacturing/Packing Plant

Laundry / Dry Cleaning Plant (does not apply to retail pick-up facility)

Maintenance Shop (automobile fleet vehicles)

Mini-Warehouse or Self-Storage facility

Outdoor Storage

Plastics Extrusion Plant

Recovered Materials Processing Facility

Sexually Oriented Businesses

Soft Drink Bottling/ Distribution Plant

Truck Rental or Leasing

Truck Fleet Maintenance Shop

b) Businesses with an active business license that operate a use listed in a) shall be considered a legal, non-conforming use and may continue to operate for as long as the business license stays active and the business is not discontinued for six months or longer.

c) Uses listed in a) that were authorized by zoning hearing, building permit, land disturbance permit or other similar approval, shall be void if the use did not become operational as evidenced by the issuance of a business license by 2/16/16.

d) In addition to all otherwise permitted M-1 uses, the following additional use shall also be permitted on M-1 zoned property in the Central Business District:

Restaurants, without drive-throughs, when integrated into a building housing other permitted uses and when such restaurant comprises no more than 25% of the overall floor area of the building.

## **Section 2.**

All ordinances or parts of ordinances in conflict herewith are hereby expressly repealed.

STATE OF GEORGIA  
COUNTY OF GWINNETT  
CITY OF PEACHTREE CORNERS

**ORDINANCE 2018-08-131**

**SO ORDAINED AND EFFECTIVE**, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

**Approved:**

\_\_\_\_\_  
Mike Mason, Mayor

ATTEST:

\_\_\_\_\_(SEAL)  
Kym Chereck, City Clerk

**VOTE:** YNA Sadd / YNA Christ / YNA Wright / YNA Mason / YNA Aulbach / YNA Christopher / YNA Gratwick

**PH2018-008**

**CITY OF PEACHTREE CORNERS  
COMMUNITY DEVELOPMENT DEPARTMENT**

**PUBLIC HEARING ANALYSIS**

PLANNING COMMISSION DATE: AUGUST 21, 2018

CITY COUNCIL DATE: AUGUST 28, 2018

CASE NAME: **LAZY DOG ELEVATIONS**

CASE NUMBER: **PH2018-008**

CURRENT ZONING: MUD (MIXED USE DEVELOPMENT)

LOCATION: 5224 PEACHTREE PARKWAY

MAP NUMBERS: 6<sup>th</sup> DISTRICT, LAND LOT 301

ACREAGE: 0.43 ACRES

PROPOSED DEVELOPMENT: LAZY DOG RESTAURANT AT TOWN CENTER

APPLICANT: JEREMY LAYTON  
LAZY DOG RESTAURANT  
5224 PEACHTREE PKWY.  
PEACHTREE CORNERS, GA 30092

CONTACT: KEVIN FLOYD  
404-907-1709

OWNER: FUQUA BCDC PEACHTREE CORNERS  
3575 PIEDMONT RD. #800  
ATLANTA, GA 30305

**RECOMMENDATION: APPROVE**

**PROJECT BACKGROUND:**

The elevations for the Town Center retail and restaurant buildings were approved in 2017 because they were in compliance with Ordinance 2015-06-49 that identifies specific appearance standards for all the buildings in the Town Center. Criteria for building elevations listed in the ordinance address items such as building walls, roof lines, parapets, building materials, and landscaping. In addition to this ordinance, Table 'B', the development regulations for the Town Center, (attached) also includes building requirements.

Two sites along Peachtree Parkway, which includes the site where Lazy Dog will be located, were not part of that approval. This application requires design approval through a new public hearing process.

These two sites were previously out-parcels but have now become leased space on a larger parcel to be owned by the developer. Adjacent areas not part of the Lazy Dog lease area but part of the larger parcel should be addressed in the application.

#### ELEVATION REVIEW:

The Lazy Dog restaurant has a rustic American Mountain West architectural theme. The exterior includes earth-tone colors, prominent use of stone materials, timber accents, and a tower element to give prominence to the entrance. The earth tones and stone blend well with the European-inspired architecture of both The Forum and the surrounding Town Center. The elevation labeled “north” is that which is along Peachtree Parkway, while the “south” faces the parking deck. “West” is the corner entrance and patio area which faces the creek.

Elevation approval does not constitute site plan approval. Site plan has several issues that need to be addressed including: landscaping plan (including along Peachtree Parkway R-O-W); final design of trash compactor area adjacent to site; and the site plan shows an adjacent building with a configuration which has not yet been approved.

At their August 21<sup>st</sup> meeting, the Planning Commission reviewed the submitted elevations and expressed concerns about the Peachtree Parkway (north side) elevation. The Commission wanted to see greater variety in the roof line, colors, and landscaping. There were also comments made about the uninterrupted stone on the façade and the need to add a character-defining element. Based on the Planning Commission’s discussion, additional conditions were added to the staff recommendations.

#### RECOMMENDATION:

**After review of the applicant’s proposal and other relevant information, it is recommended that PH2018-008 be approved subject to the following conditions:**

- 1. Approval is for building elevations only. Site plan issues must still be addressed.**
- 2. Except for the east elevation, all CMU shall be covered with painted stucco as a finish material, not just paint.**
- 3. Prior to issuance of a building permit, the LDP for this parcel shall be modified to include the landscape of the common area, including the adjacent right-of-way along Peachtree Parkway. The right-of-way improvements and landscaping shall be consistent with that of the properties to the north, including Piedmont Bank and Sprouts.**
- 4. Applicant shall be responsible for the maintenance of the landscaping in the right-of-way along Peachtree Parkway.**
- 5. Variation shall be added to the roof line on the north elevation by raising the stone façade element to 29 ft. above finished floor elevation.**

- 6. The four pillars on the far-left side of the north elevation shall be painted a different, complementary color than the dark gray shown on the submitted drawing.**
- 7. A large piece of back-lit, steel wall art in the shape of a dog's paw print shall be installed on the north elevation stone wall.**

LAZY DOG  
PH 2018 -008



**CITY OF PEACHTREE CORNERS**  
**COMMUNITY DEVELOPMENT**  
310 Technology Parkway, Peachtree Corners, GA 30092  
Tel: 678.691.1200 | [www.peachtreecornersga.gov](http://www.peachtreecornersga.gov)

## PUBLIC HEARING APPLICATION

### REZONING, SPECIAL USE PERMIT, OR CHANGE IN CONDITIONS

A properly completed application and fees are due at the time of submittal. **An incomplete application will not be accepted.** Original signatures are required for the Application.

REQUIRED ITEMS	NUMBER OF COPIES	REQUIRED	PROVIDED
Completed Application Form	• 1 original	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Boundary Survey with Legal Description	• 1 full size copy • 1- 8-1/2" x 11" or 11" x 17" reduction	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Site Plan	• 1 full size Copy • 1- 8-1/2" x 11" or 11" x 17" reduction	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Letter of Intent	• 1 copy	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Applicant Certification with Notarized Signature	• 1 copy	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Property Owner Certification with Notarized Signature	• 1 copy	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Standards Governing Exercise of the Zoning Power	• 1 copy	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Disclosure Report Form (Conflict of Interest Certification/Campaign Contributions)	• 1 copy	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Verification of Paid Property Taxes (most recent year)	• One (1) Copy (per tax parcel)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Electronic copy of complete package	• One (1) copy	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Application Fee	• Make checks payable to the City of Peachtree Corners	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>ADDITIONAL EXHIBITS (IF REQUIRED)</b>			
Additional site plan requirements for R-TH, R-ZT, Modified, CSO, OBP, MUD or MUO rezoning requests	• 1 copy	<input type="checkbox"/>	<input type="checkbox"/>
Traffic Study	• 1 copy	<input type="checkbox"/>	<input type="checkbox"/>
Development of Regional Impact Review Form	• 1 copy	<input type="checkbox"/>	<input type="checkbox"/>
Community Information Meeting Certification	• 1 copy	<input type="checkbox"/>	<input type="checkbox"/>

**REZONING, SPECIAL USE PERMIT, OR CHANGE IN CONDITIONS APPLICATION**

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF PEACHTREE CORNERS, GEORGIA

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION
NAME: <u>Lazy Dog Restaurant</u>	NAME: <u>Fuqua BCDC Peachtree Corners Project Owner, LLC</u>
ADDRESS: <u>5224 PEACHTREE 5200 Town Center Blvd PKWY</u>	ADDRESS: <u>3575 Piedmont Rd NE Suite 800</u>
CITY: <u>PeachTree Corners</u>	CITY: <u>Atlanta</u>
STATE: <u>GA</u> ZIP: <u>30092</u>	STATE: <u>GA</u> ZIP: <u>30305</u>
PHONE: <u>916-666-2423</u>	PHONE: <u>404-907-1709</u>
E-MAIL: <u>Jeremy@goldenpd.com</u>	E-MAIL: <u>kevin.floyd@fuquadev.com</u>
<b>APPLICANT CONTACT, IF DIFFERENT THAN ABOVE</b>	
CONTACT PERSON: <u>Jeremy Layton</u> PHONE: <u>916-666-2423</u>	
CONTACT'S E-MAIL: <u>Jeremy@goldenpd.com</u>	

**APPLICANT IS THE:**

OWNER'S AGENT       PROPERTY OWNER       CONTRACT PURCHASER

(E)= Vacant Proposed Use

PRESENT ZONING DISTRICTS(S): Mixed Use REQUESTED ZONING DISTRICT: Restaurant

LAND DISTRICT(S): 20 LAND LOT(S): TR.2 ACREAGE: 0.4300

ADDRESS OF PROPERTY: 5224 PEACHTREE PKWY  
5200 Town Center Blvd Peachtree Corners, GA 30092

PROPOSED DEVELOPMENT: Full Service Restaurant

*Staff Use Only This Section*

Case Number: PH 2018-008 Hearing Date: P/C \_\_\_\_\_ C/C \_\_\_\_\_ Received Date: 6/21/18

Fees Paid: 850.00 By: Janke

Related Cases & Applicable Conditions:

Description: ELEVATION APPROVAL

**RESIDENTIAL DEVELOPMENT**

**NON-RESIDENTIAL DEVELOPMENT**

No. of Lots/Dwelling Units N/A

No. of Buildings/Lots: 1

Dwelling Unit Size (Sq. Ft.): \_\_\_\_\_

Total Bldg. Sq. Ft.: 8,071

Gross Density: \_\_\_\_\_

**FEE SCHEDULE**

**1. Rezoning, Change-in-Conditions and Special Use Permit Fees – Residential Zoning Districts**

(note: a Special Use Permit related to a rezoning case shall not incur an additional fee)

A. For the following single-family residential zoning districts: RA-200, R-140, R-LL, R-100, R-75, RL, MHS.

- 0 - 5 Acres = \$ 500
- > 5 - 10 Acres = \$ 1,000
- > 10 - 20 Acres = \$ 1,500
- > 20 - 100 Acres = \$ 2,000
- > 100 - Acres = \$ 2,500 plus \$40 for each additional acre over 100
- Maximum Fee: \$10,000

B. For the following single and multifamily residential zoning districts: R-TH, RMD, RM-6, RM-8, RM-10, RM-13, R-SR, MH, R-60, R-ZT, R-75 MODIFIED or CSO, and R-100 MODIFIED or CSO.

- 0 - 5 Acres = \$ 850
- > 5 - 10 Acres = \$1,600
- > 10 - 20 Acres = \$2,100
- > 20 - 100 Acres = \$2,600
- > 100 - Acres = \$3,200 plus \$40 for each additional acre over 100

**2. Rezoning, Change-in-Conditions and Special Use Permit Fees - Non-Residential Zoning Districts**

(note: a Special Use Permit related to a rezoning case shall not incur an additional fee)

For the following office, commercial and industrial zoning districts: C-1, C-2, C-3, O-1, OBP, M-1, M-2, HS, NS.

- 0 - 5 Acres = \$ 850
- > 5 - 10 Acres = \$1,600
- > 10 - 20 Acres = \$2,100
- > 20 - 100 Acres = \$2,600
- > 100 - Acres = \$3,200 plus \$50 for each additional acre over 100

**3. Mixed-Use (MUD and MUO) or High Rise Residential (HRR)**

Application Fee – \$1,200 plus \$75 per acre (maximum fee - \$10,000)

4. Chattahoochee Corridor Review (involving a public hearing) - \$150.

5. Buffer Reduction (Greater than 50%) Application Fee - \$500.

6. Zoning Certification Letter - \$100 (per non-contiguous parcel).

**APPLICANT'S CERTIFICATION**

The undersigned below states under oath that they are authorized to make this application. The undersigned is aware that no application or reapplication affecting the same land shall be acted upon within 12 months from the date of last action by the city council unless waived by the city council. In no case shall an application or reapplication be acted upon in less than six (6) months from the date of last action by the city council.

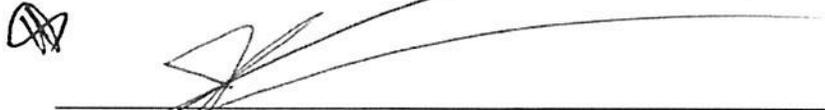
  
\_\_\_\_\_  
Signature of Applicant 6-19-2018  
Date  
Jeremy Layton Permit Coordinator  
\_\_\_\_\_  
Type or Print Name and Title

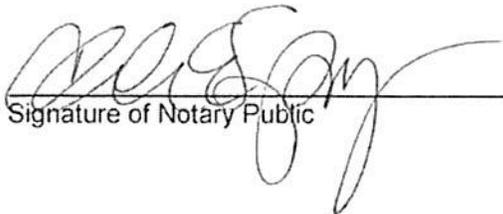
**See Attached CA  
Notarial Certificate**

\_\_\_\_\_  
Signature of Notary Public 6-19-2018 Notary Seal  
Date

**PROPERTY OWNER'S CERTIFICATION**

The undersigned below states under oath that they are authorized to make this application. The undersigned is aware that no application or reapplication affecting the same land shall be acted upon within 12 months from the date of last action by the city council unless waived by the city council. In no case shall an application or reapplication be acted upon in less than six (6) months from the date of last action by the city council. As the property owner, I authorize the above noted applicant to act on my behalf with regard to this application.

  
\_\_\_\_\_  
Signature of Property Owner 5/25/18  
Date  
Jeff Fuqua, Managing Member - Fuqua BCDC Peachtree Corners Project Owner, LLC  
\_\_\_\_\_  
Type or Print Name and Title

  
\_\_\_\_\_  
Signature of Notary Public 5/25/18 Notary Seal  
Date



A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California  
County of Placer

Subscribed and sworn to (or affirmed) before me on this 19th  
day of June, 2018, by Jeremy Layton

proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.



(Seal)

Signature Hollyann Rutledge



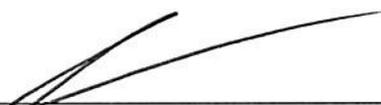


**VERIFICATION OF CURRENT PAID PROPERTY TAXES FOR REZONING**

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED CERTIFIES THAT ALL CITY OF PEACHTREE CORNERS PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE TAX COMMISSIONER OF GWINNETT COUNTY, GEORGIA. IN NO CASE SHALL A PUBLIC HEARING APPLICATION BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

**A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE REZONING REQUEST.**

PARCEL I.D. NUMBER:                      20                      -                      TR.2                      -                      R6301 196  
(Map Reference Number)                      District                      Land Lot                      Parcel

 \_\_\_\_\_                      6/20/2018  
Signature of Applicant                      Date

Jeremy Layton      Permit Coordinator  
Type or Print Name and Title

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*Tax Commissioners Use Only*

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

\_\_\_\_\_  
NAME                      TITLE

\_\_\_\_\_  
DATE



Tax Assessor's Office

I Want To... Tax Assessor



Property Detail

[Go Back](#)

[Neighborhood Sales](#)

[Property Report](#)

GIS Map

General Info													
FUQUA BCDC PEACHTREE CORNERS PROJECT 3575 PIEDMONT RD NE STE 800 ATLANTA GA 30305-1623	<table border="1"> <tr> <td>Property ID</td> <td>R6301 196</td> </tr> <tr> <td>Alternate ID</td> <td>33370918</td> </tr> <tr> <td>Address</td> <td>5200 TOWN CENTER BLVD</td> </tr> <tr> <td>Property Class</td> <td>Commercial Vacant Land</td> </tr> <tr> <td>Neighborhood</td> <td>9091</td> </tr> <tr> <td>Deed Acres</td> <td>0.4300</td> </tr> </table>	Property ID	R6301 196	Alternate ID	33370918	Address	5200 TOWN CENTER BLVD	Property Class	Commercial Vacant Land	Neighborhood	9091	Deed Acres	0.4300
Property ID	R6301 196												
Alternate ID	33370918												
Address	5200 TOWN CENTER BLVD												
Property Class	Commercial Vacant Land												
Neighborhood	9091												
Deed Acres	0.4300												



Value History	
Year	2018
Reason	New Parcel
Land Val	\$206,000
Building Val	\$0
Total Appr	\$206,000
Land Assd	\$82,400
Land Use	\$0
Building Assd	\$0
Total Assd	\$82,400

Transfer History									
Book	Page	Date	Grantor	Grantee	Deed	Type	Vacant Land	Sale Price	
54960	561	2/28/2017	DOWNTOWN DEVELOPMENT AUTHORITY OF TH	FUGUA BCDC PEACHTREE CORNERS PROJECT	Fu	NL	Yes	\$6,166,458	

Improvements  
 Improvements do not exist for this account.

Land Details				
Primary Use	Land Type	Acres	Eff. Frontage	Eff. Depth
	C4 - Major Strip	0.43	0	0

Legal Description	
Line	Description
1	L1 OUT PARCEL PEACHTREE CORNERS TOWN CENTER

June 20, 2018

City of Peachtree Corners  
Planning Department  
310 Technology Parkway  
Peachtree Corners, GA 30092  
Attention: Jeff Conkle

Re: Lazy Dog Restaurant  
~~5200 Town Center Blvd~~ 5224 PEACHTREE PKWY  
Peachtree Corners, GA 30092

Dear Mr. Conkle,

Lazy Dog Restaurant proposes the development of a new freestanding restaurant building with outdoor patio and service yard at the above referenced location as detailed in the enclosed plans. The restaurant is proposed to be located at the new development at the corner of Peachtree Parkway and Forum Drive.

The Huntington Beach-based Lazy Dog Restaurant and Bar started 14 years ago. Lazy Dog proposes a laid back atmosphere that is inspired by the comfort of the Rocky Mountains, cozy fireplaces and a massive chandelier grafted from aspen logs, with a rustic decor. Artwork and playful touches inspired by man's best friend will be woven throughout, a dog-friendly patio along with ample seating and fire pits. Both the bar and exterior patio will be outfitted with multiple flat screens for guests to enjoy their meals and crafted beers.

The proposed Lazy Dog proposes to construct a 8,070 sq. ft. building with adjacent 1,276 sq. ft. service yard, 1431 sq. ft. outdoor patio area. Lazy Dog is proposed operate from 11AM to 1AM six days per week and 10AM to 12AM on Sunday. Lazy Dog proposes to employ 24 to 30 employees per shift. Lazy Dog proposes the sale of sandwiches, burgers, meats, fish, brick oven pizza, salads, and kids menu and drinks. A full line of alcoholic beverages will be stored behind the service counter and in the storage area in the back of the restaurant, locations which are not publicly assessable. No dancing or live entertainment is proposed.

Development Plan Review Criteria and responses:

- A. Will this proposed rezoning, special use permit, or change in conditions permit a use that is suitable in view of the use and development of adjacent and nearby property? YES
- B. Will this proposed rezoning, special use permit, or change in conditions will adversely affect the existing use or usability of adjacent or nearby property? N/A
- C. Does the property to be affected by a proposed rezoning, special use permit, or change in conditions have reasonable economic use as currently zoned? YES
- D. Will the proposed rezoning, special use permit, or change in conditions will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or

schools? N/A

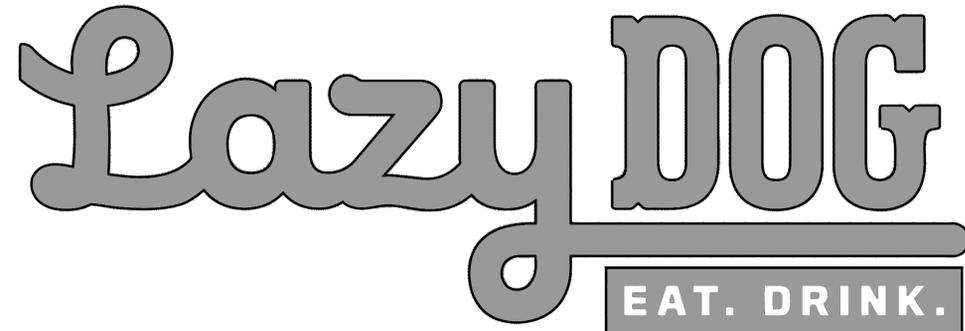
E. Will the proposed rezoning, special use permit, or change in conditions is in conformity with the policy and intent of the land use plan? YES

F. Are there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed rezoning, special use permit, or change in conditions? NO

Sincerely,

Jeremy Layton

Golden Property Development LLC



5200 Medlock Bridge Rd.  
City of Peachtree Corners, GA

DESIGN DEVELOPMENT  
LANDLORD / CITY SUBMITTAL



7777 CENTER AVENUE, SUITE 500  
HUNTINGTON BEACH, CA 92647  
PHONE: 714.596.9960  
FAX: 714.596.9970  
www.lazydogrestaurants.com

THESE DRAWINGS PREPARED BY LAZY DOG RESTAURANTS FOR THIS PROJECT ARE FOR USE SOLELY IN RESPECT TO THIS PROJECT AND UNLESS OTHERWISE PROVIDED, LAZY DOG RESTAURANTS SHALL BE HELD THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVATION RIGHTS, INCLUDING COPYRIGHT. THESE DRAWINGS SHALL NOT BE USED BY OTHERS ON OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING BY LAZY DOG RESTAURANTS.

05/11/18	<input checked="" type="checkbox"/>	LANDLORD SUBMITTAL
06/08/18	<input checked="" type="checkbox"/>	LANDLORD SUBMITTAL
06/21/18	<input checked="" type="checkbox"/>	CITY SUBMITTAL
07/16/18	<input checked="" type="checkbox"/>	LANDLORD & CITY SUBMITTAL
	<input type="checkbox"/>	

PEACHTREE CORNERS  
TOWN CENTER  
5200 MEDLOCK BRIDGE RD  
CITY OF PEACHTREE CORNERS, GA



SHEET TITLE  
**COVER SHEET**

DRAWN BY  
TG  
CHECKED BY  
RAF/DM  
SCALE  
NONE  
JOB NO.

SHEET NUMBER

**DD1.0**

EXTERIOR FINISHES		BUILDING TABULATIONS		SHEET INDEX		PROJECT DOCUMENTS		
ST 1	STONE VENEER. LAZY DOG CUSTOM BLEND.	BUILDING AREA:	8070 SQ. FT.	SHEET	DESCRIPTION	DESCRIPTION	DATE RECD	REMARKS
MTL 5	BERRIDGE STANDING SEAM METAL ROOF (OR APPROVED EQUAL). COLOR: DEEP RED OR METAL FLASHING/RAIN GUTTER/DOWNSPOUT TO MATCH "DEEP RED" COLOR.	SERVICE YARD AREA:	1290 SQ. FT.	DD1.0	COVER SHEET	SITE INVESTIGATION REPORT	04-18-18	
MTL 6	US ALUMINUM STOREFRONT WINDOWS (OR APPROVED EQUAL). COLOR: TO MATCH BERRIDGE METALS "DEEP RED"	TOTAL BUILDING AREA (PREMISES):	9360 SQ. FT.	1 OF 1	OVERALL GOOGLE SITE PLAN	PHASE 1 ENVIRONMENTAL REPORT		
MTL 11	MCNICHOLS (OR APPROVED EQUAL) SQUARE OPENING WIRE MESH ITEM NUMBER 3687220041	PATIO AREA:	1431 SQ. FT.	DD2.0	CONSTRUCTION LIMITS SITE PLAN	GEOTECHNICAL REPORT	05-23-18	Preliminary Subsurface exploration & Geotechnical Engineering Evaluation
WD 1	EXTERIOR WOOD TIMBERS SPECIES: DOUGLAS FIR, VERTICAL GRAIN COLOR: OLYMPIC ELITE WOODLAND OIL, SATIN, "MOUNTAIN CEDAR", 2 COATS	TOTAL AREA:	10,791 SQ. FT.	DD2.1	CONSTRUCTION STAGING EXHIBIT	ALTA SURVEY		
WD 2	EXTERIOR WOOD CASINGS AT DOORS, WINDOWS AND NICHE SPECIES: ADLER, VERTICAL GRAIN COLOR: CUSTOM HONEY ADLER STAIN, SATIN, 2 COATS	<b>SEATING TABULATIONS</b>		DD3.0	FLOOR PLAN	CIVIL DRAWINGS (PDF)	05-24-18	Coord. w/owner set
WD 3	EXTERIOR 2x14 DOUGLAS FIR WOOD SIDING. FINISH: SANDBLAST AND STAIN SPECIES: DOUGLAS FIR COLOR: 2 COATS BEHR PREMIUM WEATHER PROOFING ALL-IN-ONE TRANSPARENT, SATIN, "CORDOVAN BROWN" T-104	BAR:	102 SEATS	DD3.1	REFLECTED CEILING PLAN	CIVIL DRAWINGS (CAD)	05-24-18	Rev. 10 site Plan
WD 5	EXTERIOR WOOD FASCIA SPECIES: DOUGLAS FIR COLOR: OLYMPIC ELITE WOODLAND OIL, SATIN, "MOUNTAIN CEDAR", 2 COATS	DINING ROOM 1:	86 SEATS	DD4.0	EXTERIOR ELEVATIONS	AS-BUILT SHELL DWGS (PDF)		
WD 6	EXTERIOR GLU-LAM FASCIA SPECIES: DOUGLAS FIR COLOR: OLYMPIC ELITE WOODLAND OIL, SATIN, "MOUNTAIN CEDAR", 2 COATS	DINING ROOM 2:	62 SEATS	DD4.1	EXTERIOR ELEVATIONS	AS-BUILT SHELL DWGS (CAD)		
PT 5	DUNN EDWARDS PAINT W/ FLAT FINISH. COLOR: DE 5209 CINNABAR	TOTAL INTERIOR SEATS:	250 SEATS	DD4.2	PATIO ELEVATIONS	MALL DESIGN CRITERIA MANUAL		
PT 8B	DUNN EDWARDS PAINT W/ SATIN FINISH. COLOR: DE 187 BLACK	TOTAL PATIO SEATS:	62 SEATS	POC-1	PLUMBING & ELECTRICAL POC PLAN	SIGNAGE CRITERIA MANUAL		
PT 9	DUNN EDWARDS PAINT W/ FLAT FINISH. COLOR: DEC755 COCOA			POC-2	ELECTRICAL SINGLE LINE DIAGRAM	UTILITY SURVEY		
PT 10	DUNN EDWARDS PAINT W/ FLAT FINISH. COLOR: AC-33 MESA VERDE TAN			L-1	PRELIMINARY LANDSCAPE PLAN	ASBESTOS/LEAB SURVEY		
PT 14	FRAZEE PAINT W/ FLAT FINISH. COLOR: CL2826A LEAF PRINT			L-2	PRELIMINARY LANDSCAPE PHOTOS	FIRE FLOW TEST RESULTS		

**PROJECT CONTACT LIST**

**TENANT/APPLICANT**

LAZY DOG RESTAURANTS  
7777 CENTER AVE., SUITE 500  
HUNTINGTON BEACH, CA 92647  
PHONE: 714-596-9960  
CONTACT: DEWAYNE MITCHELL  
EMAIL: dmitchell@lazydogrestaurants.com

**M/E/P ENGINEERS**

CRO ENGINEERS GROUP, INC.  
18652 FLORIDA STREET, SUITE 100  
HUNTINGTON BEACH, CA 92648  
PHONE: 714-843-7100

CONTACT: WILLIAM HUBNER - ELECTRICAL  
EMAIL: whubner@croeg.com  
CONTACT: NATHAN RUEDA - MECHANICAL  
EMAIL: nrueda@croeg.com  
CONTACT: CONRAD ORR JR. - PLUMBING  
EMAIL: corr@croeg.com

**LANDSCAPE ARCHITECT**

STAN SMITH ASSOCIATES  
23011 MOULTON PARKWAY, J-12  
LAGUNA HILLS, CA 92653  
PHONE: 949-855-6413  
CONTACT: STAN SMITH  
EMAIL: ssmith@ssa-la-net

**SIGNAGE**

CHANDLER SIGNS, LLC  
3220 EXECUTIVE RIDGE DR., SUITE 250  
VISTA, CA 92081  
PHONE: 760-734-1708  
CONTACT: JOE MUELLER  
EMAIL: jmueller@chandler-signs.com



Lazy Dog Restaurant



OVERALL GOOGLE SITE PLAN - PEACHTREE



7777 CENTER AVENUE, SUITE 500  
HUNTINGTON BEACH, CA 92647  
PHONE: 714.596.9960  
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05/11/18	<input checked="" type="checkbox"/>	LANDLORD SUBMITTAL
06/08/18	<input checked="" type="checkbox"/>	LANDLORD SUBMITTAL
06/21/18	<input checked="" type="checkbox"/>	CITY SUBMITTAL
07/16/18	<input checked="" type="checkbox"/>	LANDLORD & CITY SUBMITTAL
	<input type="checkbox"/>	

PEACHTREE CORNERS  
TOWN CENTER  
5200 MEDLOCK BRIDGE RD  
CITY OF PEACHTREE CORNERS, GA



SHEET TITLE  
**CONSTRUCTION LIMITS SITE PLAN**

DRAWN BY  
TG  
CHECKED BY  
RAF/DM  
SCALE  
N.T.S.  
JOB NO.

SHEET NUMBER

**DD2.0**

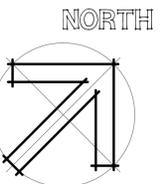
\* BUILDING ENCRACHING ON EASEMENT SETBACK, NEED LANDLORD – CITY APPROVALS. LANDLORD TO HAVE EASEMENT/SETBACK RELOCATED/ REVISED & PROVIDE DOCUMENTATION.  
\* LOT LINE ADJUSTMENT WILL BE REQUIRED BY LANDLORD

**PEACHTREE PARKWAY  
GEORGIA HWY 141**  
(SPEED LIMIT=55mph: VARIABLE R/W)  
(DB: 263, PG 542 AND DB 262, PG 166)

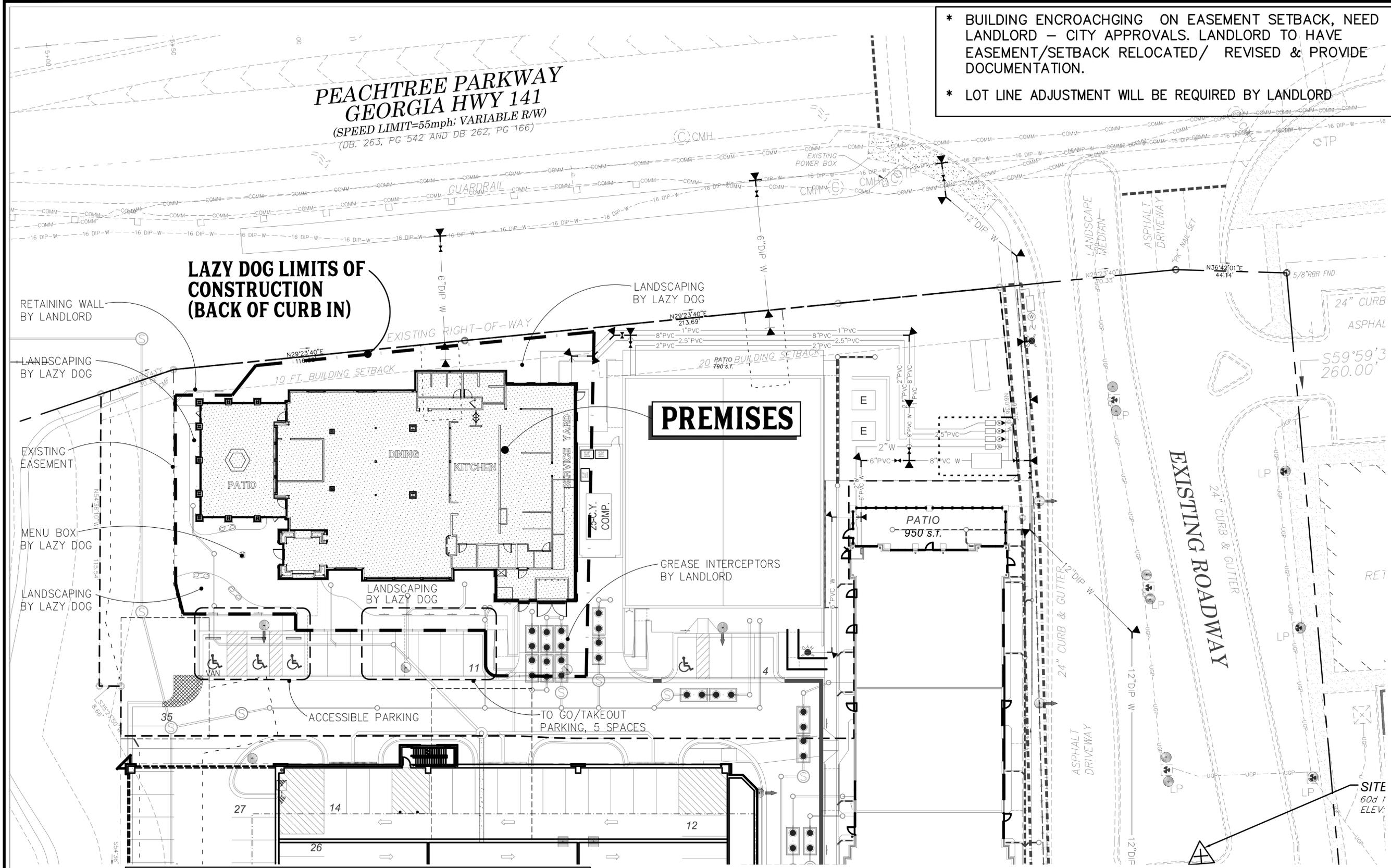
**LAZY DOG LIMITS OF CONSTRUCTION (BACK OF CURB IN)**

**PREMISES**

**CONSTRUCTION LIMITS SITE PLAN**



BUILDING TABULATIONS	
BUILDING AREA:	8070 SQ. FT.
SERVICE YARD AREA:	1290 SQ. FT.
TOTAL BUILDING AREA:	9360 SQ. FT.
PATIO AREA:	1431 SQ. FT.
TOTAL AREA:	10,791 SQ. FT.



BUILDING TABULATIONS	
BUILDING AREA:	8070 SQ. FT.
SERVICE YARD AREA:	1290 SQ. FT.
TOTAL BUILDING AREA:	9360 SQ. FT.
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06/21/18	<input checked="" type="checkbox"/>	CITY SUBMITTAL
07/16/18	<input checked="" type="checkbox"/>	LANDLORD & CITY SUBMITTAL
	<input type="checkbox"/>	

PEACHTREE CORNERS  
 TOWN CENTER  
 5200 MEDLOCK BRIDGE RD  
 CITY OF PEACHTREE CORNERS, GA

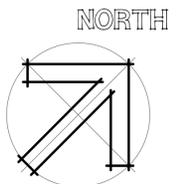


SHEET TITLE  
**CONSTRUCTION STAGING EXHIBIT**

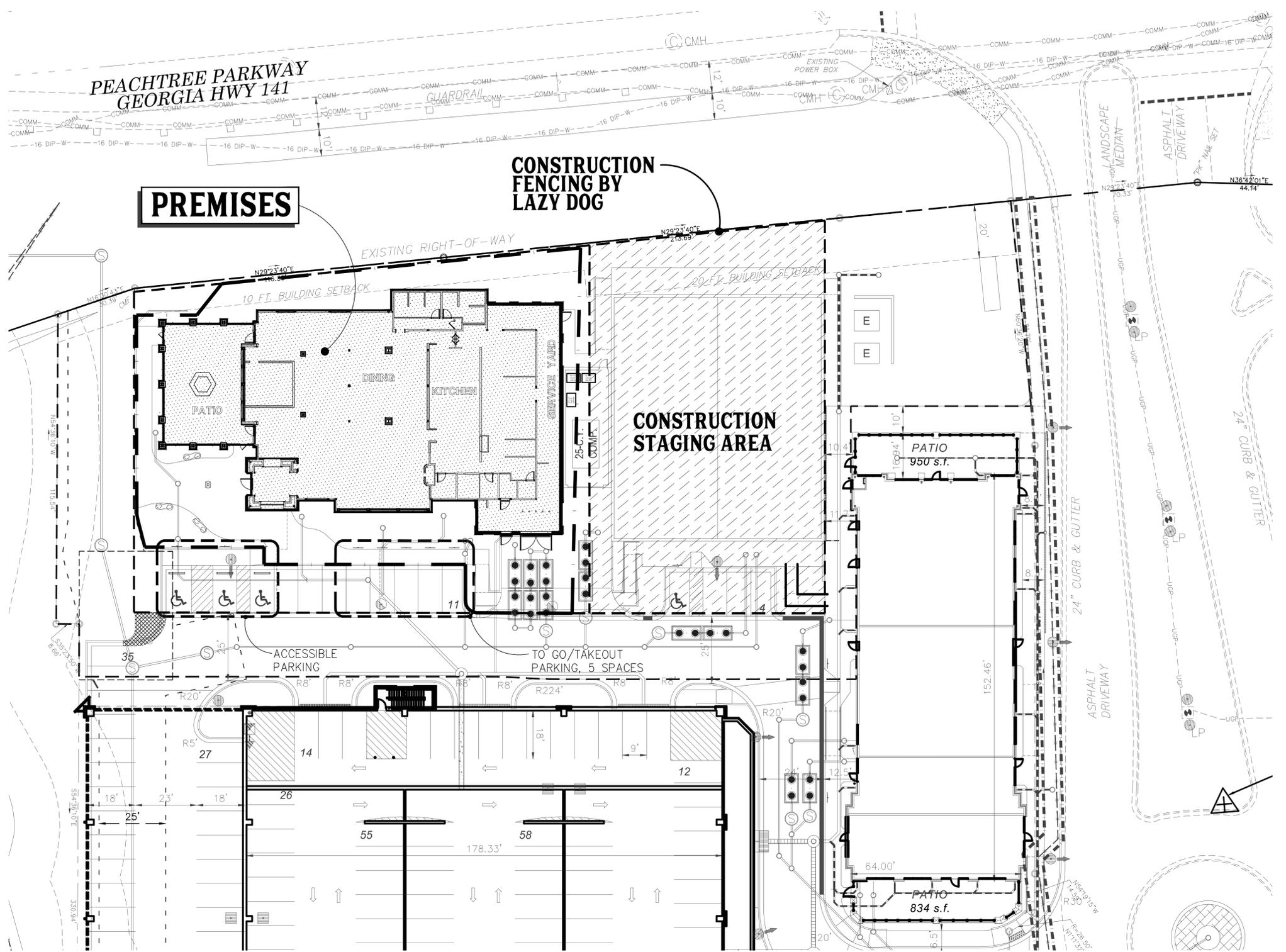
DRAWN BY  
 TG  
 CHECKED BY  
 RAF/DM  
 SCALE  
 1" = 20'  
 JOB NO.

SHEET NUMBER  
**DD2.1**

# CONSTRUCTION STAGING EXHIBIT



**LAZY DOG G.C. TO PROTECT ALL EXISTING CURBS / PARKING LIGHTS / LANDSCAPE / PAVING / FIRE HYDRANTS ECT.**



PEACHTREE PARKWAY  
 GEORGIA HWY 141

**PREMISES**

**CONSTRUCTION FENCING BY LAZY DOG**

**CONSTRUCTION STAGING AREA**

10 FT. BUILDING SETBACK

EXISTING RIGHT-OF-WAY

20 FT. BUILDING SETBACK

ACCESSIBLE PARKING

TO GO/TAKEOUT PARKING, 5 SPACES

PATIO  
 950 s.f.

PATIO  
 834 s.f.

24" CURB & GUTTER

ASPHALT DRIVEWAY

24" CURB & GUTTER

LANDSCAPE MEDIAN

ASPHALT DRIVEWAY

SERVICE YARD

DINING

KITCHEN

PATIO

E

E

11

4

35

25

25

25

R20

R8

R8

R8

R8

R8

R8

R224

R8

R8

R20

27

14

12

18'

23'

18'

26

55

178.33'

58

64.00'

14.00'

11.00'

12.00'

20'

20'

20'

20'

20'

20'

20'

20'

20'

330.94'

557.350'

115.11'

40.53'

116.854°E

116.854°E

16 DIP-W

10.00'

10.00'

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N292°34'0"E

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N16°45'4"E

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N16°45'4"E

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20.53'

20.53'

20.53'

20.53'

N292°34'0"E

21.00'

21.00'

SEATING TABULATIONS

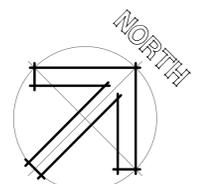
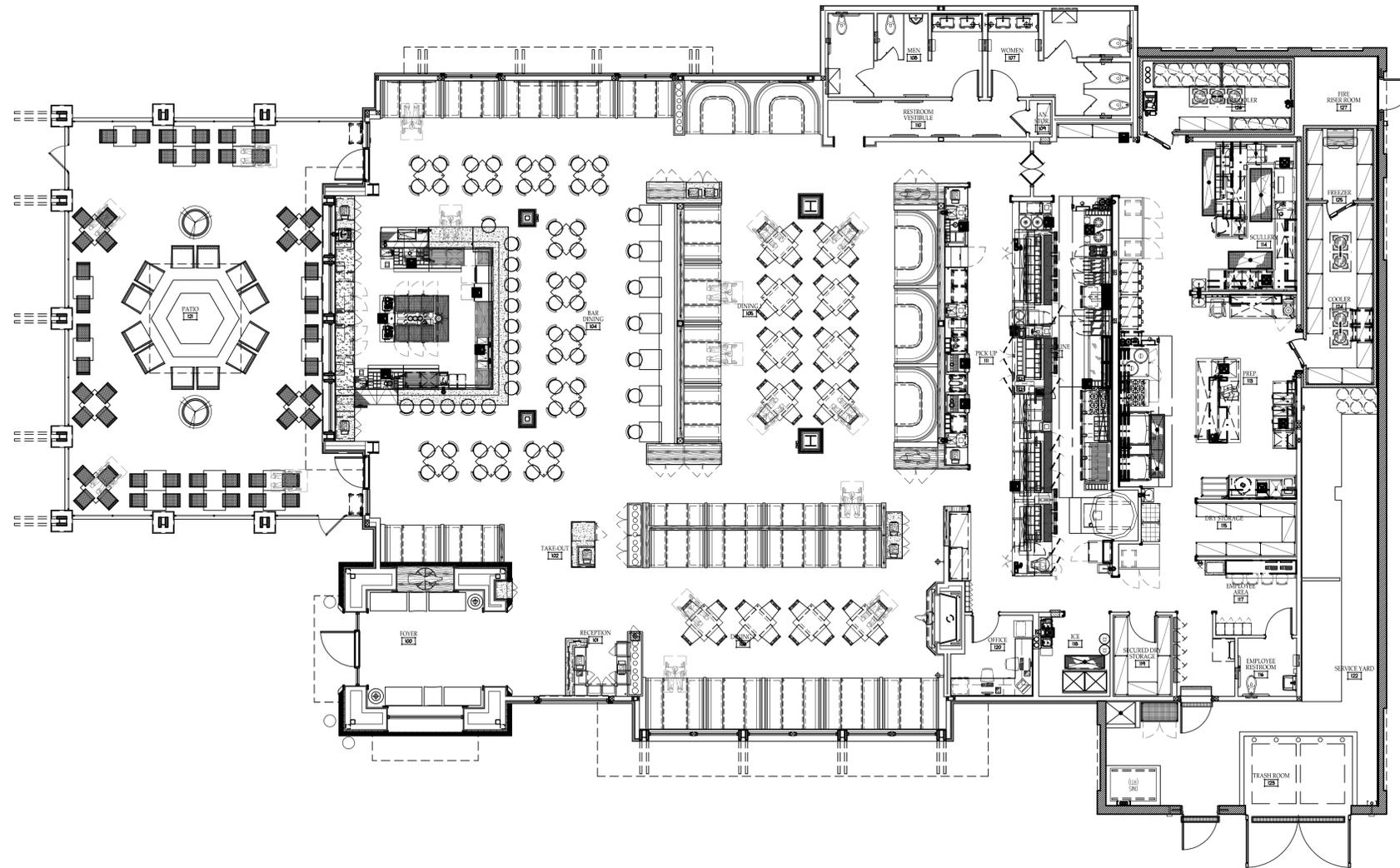
BAR:	102 SEATS
DINING ROOM 1:	86 SEATS
DINING ROOM 2:	62 SEATS
TOTAL INTERIOR SEATS:	250 SEATS
TOTAL PATIO SEATS:	62 SEATS



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06/21/18	<input checked="" type="checkbox"/>	CITY SUBMITTAL
07/16/18	<input checked="" type="checkbox"/>	LANDLORD & CITY SUBMITTAL
	<input type="checkbox"/>	



# FLOOR PLAN

PEACHTREE CORNERS  
 TOWN CENTER  
 5200 MEDLOCK BRIDGE RD  
 CITY OF PEACHTREE CORNERS, GA



SHEET TITLE  
**FLOOR PLAN**

DRAWN BY  
 TG  
 CHECKED BY  
 RAF/DM  
 SCALE  
 1/8" = 1'-0"  
 JOB NO.

SHEET NUMBER

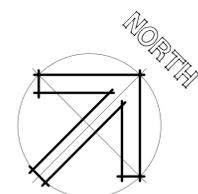
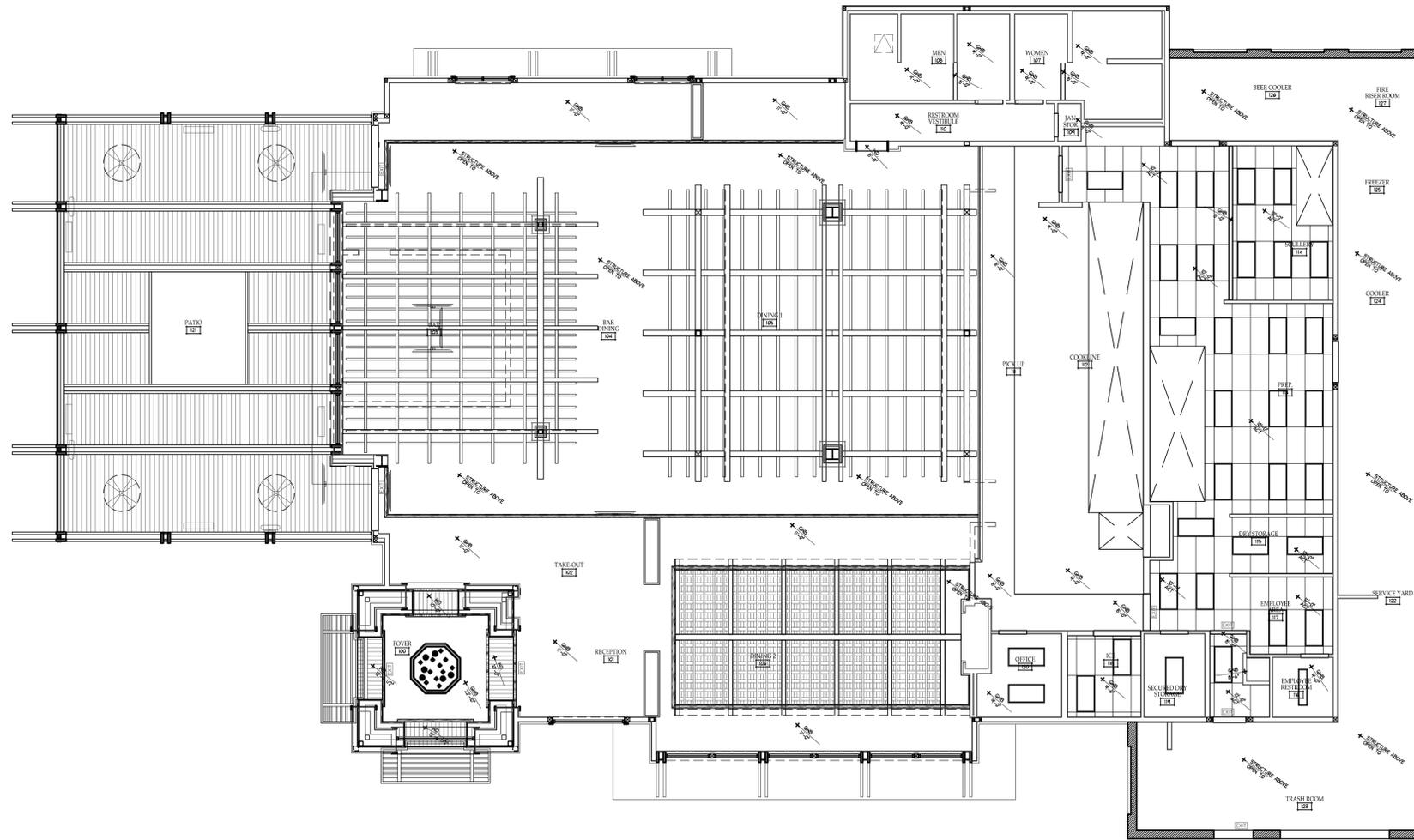
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06/21/18	<input checked="" type="checkbox"/>	CITY SUBMITTAL
07/16/18	<input checked="" type="checkbox"/>	LANDLORD & CITY SUBMITTAL
	<input type="checkbox"/>	



# REFLECTED CEILING PLAN

PEACHTREE CORNERS  
 TOWN CENTER  
 5200 MEDLOCK BRIDGE RD  
 CITY OF PEACHTREE CORNERS, GA



SHEET TITLE  
**REFLECTED  
 CEILING  
 PLAN**

DRAWN BY  
 TG  
 CHECKED BY  
 RAF/DM  
 SCALE  
 1/8" = 1'-0"  
 JOB NO.

SHEET NUMBER  
**DD3.1**



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06/08/18	<input checked="" type="checkbox"/>	LANDLORD SUBMITTAL
06/21/18	<input checked="" type="checkbox"/>	CITY SUBMITTAL
07/16/18	<input checked="" type="checkbox"/>	LANDLORD & CITY SUBMITTAL
	<input type="checkbox"/>	

PEACHTREE CORNERS  
TOWN CENTER  
5200 MEDLOCK BRIDGE RD  
CITY OF PEACHTREE CORNERS, GA



SHEET TITLE  
**EXTERIOR ELEVATIONS**

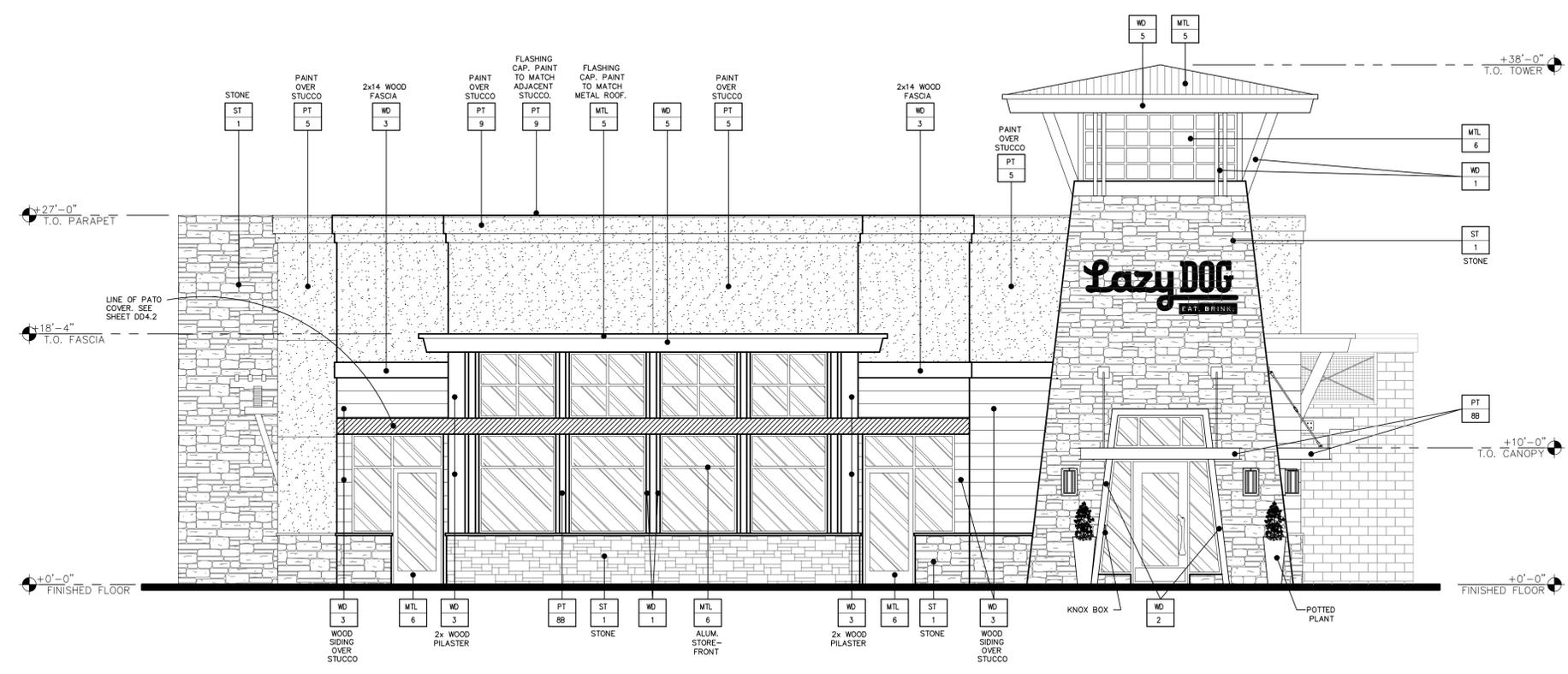
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TG  
CHECKED BY  
RAF/DM  
SCALE  
3/16" = 1'-0"  
JOB NO.

SHEET NUMBER

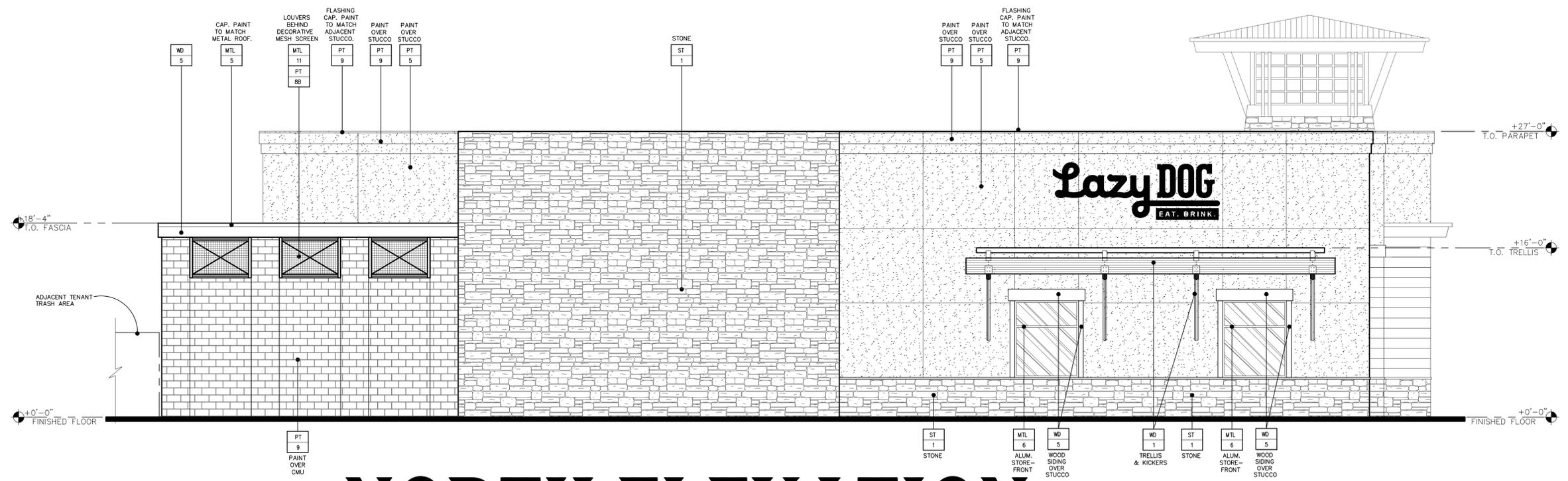
**DD4.0**

## EXTERIOR FINISHES

ST 1	STONE VENEER. LAZY DOG CUSTOM BLEND.
MTL 5	BERRIDGE STANDING SEAM METAL ROOF (OR APPROVED EQUAL). COLOR: DEEP RED OR METAL FLASHING/RAIN GUTTER/DOWNSPOUT TO MATCH "DEEP RED" COLOR.
MTL 6	US ALUMINUM STOREFRONT WINDOWS (OR APPROVED EQUAL). COLOR: TO MATCH BERRIDGE METALS "DEEP RED"
MTL 11	MGNICHOLS (OR APPROVED EQUAL) SQUARE OPENING WIRE MESH ITEM NUMBER 3687220041
WD 1	EXTERIOR WOOD TIMBERS SPECIES: DOUGLAS FIR, VERTICAL GRAIN COLOR: OLYMPIC ELITE WOODLAND OIL, SATIN, "MOUNTAIN CEDAR", 2 COATS
WD 2	EXTERIOR WOOD CASINGS AT DOORS, WINDOWS AND NICHES SPECIES: ADLER, VERTICAL GRAIN COLOR: CUSTOM HONEY ADLER STAIN, SATIN, 2 COATS
WD 3	EXTERIOR 2x14 DOUGLAS FIR WOOD SIDING. FINISH: SANDBLAST AND STAIN SPECIES: DOUGLAS FIR COLOR: 2 COATS BEHR PREMIUM WEATHER PROOFING ALL-IN-ONE TRANSPARENT, SATIN, "CORDOVAN BROWN" T-104
WD 5	EXTERIOR WOOD FASCIA SPECIES: DOUGLAS FIR COLOR: OLYMPIC ELITE WOODLAND OIL, SATIN, "MOUNTAIN CEDAR", 2 COATS
WD 6	EXTERIOR CLU-LAM FASCIA SPECIES: DOUGLAS FIR COLOR: OLYMPIC ELITE WOODLAND OIL, SATIN, "MOUNTAIN CEDAR", 2 COATS
PT 5	DUNN EDWARDS PAINT W/ FLAT FINISH. COLOR: DE 5209 CINNABAR
PT 8B	DUNN EDWARDS PAINT W/ SATIN FINISH. COLOR: DE 187 BLACK
PT 9	DUNN EDWARDS PAINT W/ FLAT FINISH. COLOR: DEC755 COCOA
PT 10	BENJAMIN MOORE PAINT W/ FLAT FINISH. COLOR: AC-33 MESA VERDE TAN
PT 14	FRAZEE PAINT W/ FLAT FINISH. COLOR: CL2826A LEAF PRINT



# WEST ELEVATION



# NORTH ELEVATION



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06/21/18	<input checked="" type="checkbox"/>	CITY SUBMITTAL
07/16/18	<input checked="" type="checkbox"/>	LANDLORD & CITY SUBMITTAL
	<input type="checkbox"/>	

PEACHTREE CORNERS  
TOWN CENTER  
5200 MEDLOCK BRIDGE RD  
CITY OF PEACHTREE CORNERS, GA



SHEET TITLE  
**EXTERIOR ELEVATIONS**

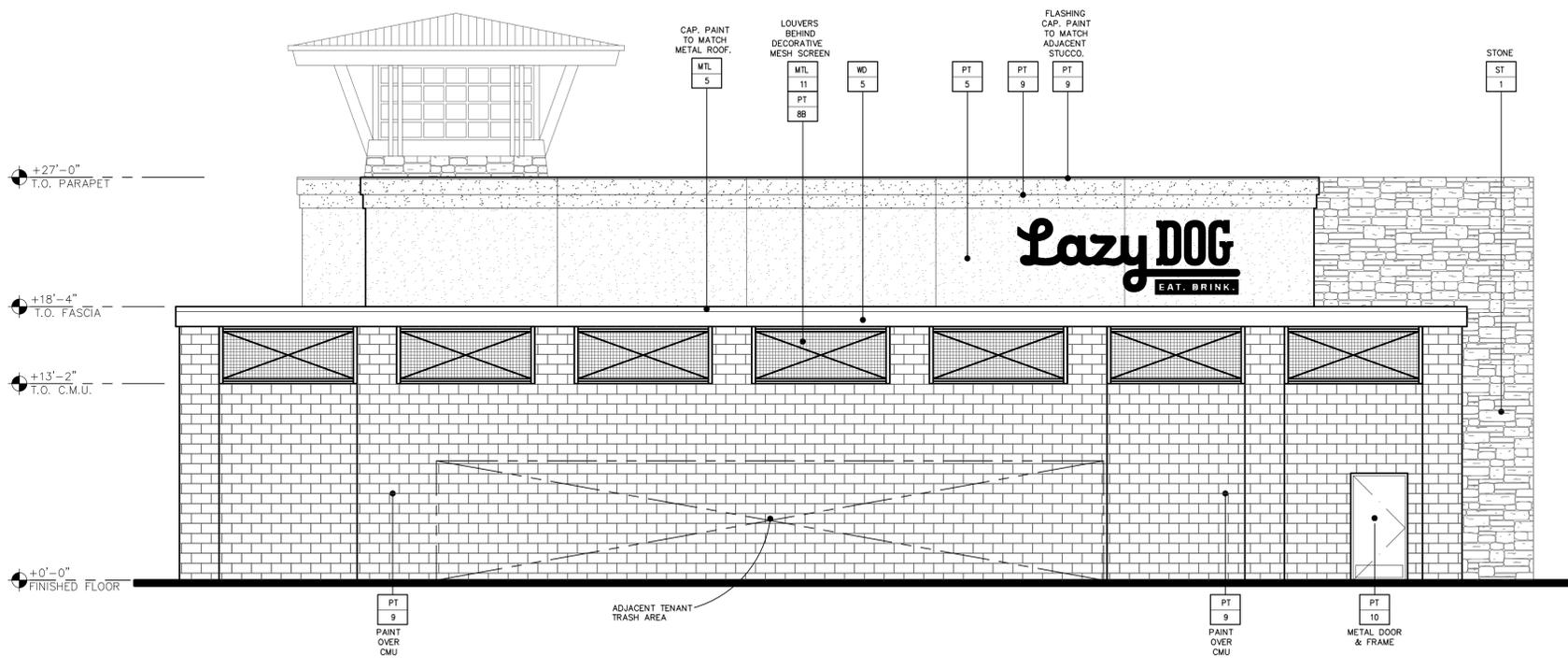
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TG  
CHECKED BY  
RAF/DM  
SCALE  
3/16" = 1'-0"  
JOB NO.

SHEET NUMBER

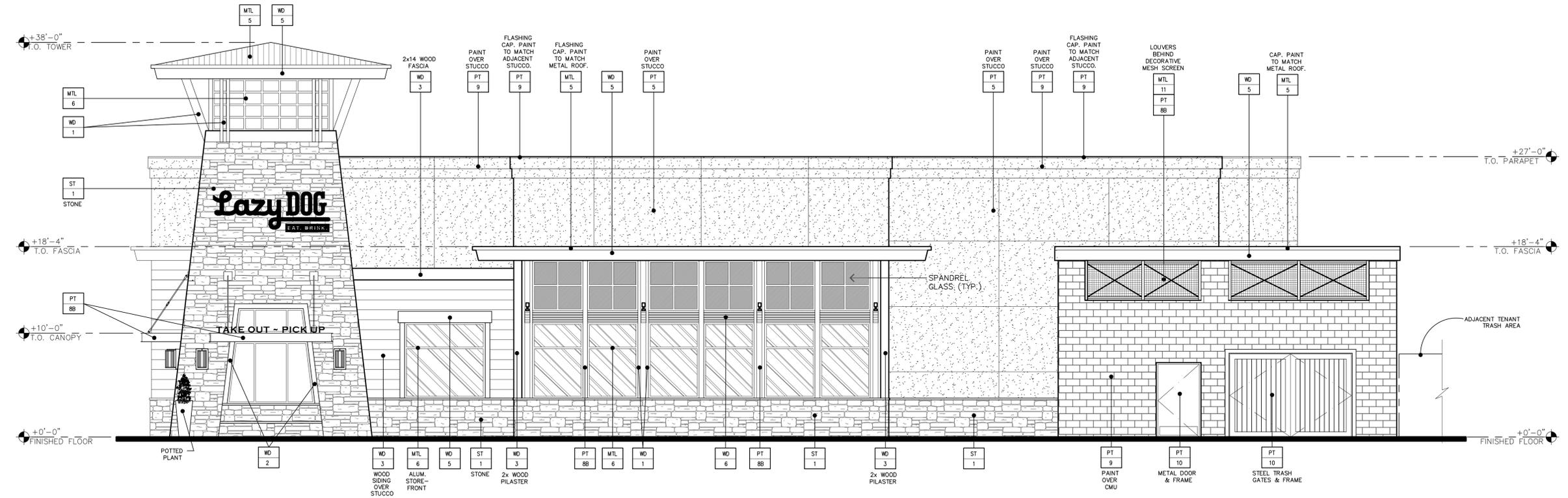
**DD4.1**

## EXTERIOR FINISHES

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MTL 6	US ALUMINUM STOREFRONT WINDOWS (OR APPROVED EQUAL). COLOR: TO MATCH BERRIDGE METALS "DEEP RED"
MTL 11	MCNICHOLS (OR APPROVED EQUAL) SQUARE OPENING WIRE MESH ITEM NUMBER 3687220041
WD 1	EXTERIOR WOOD TIMBERS SPECIES: DOUGLAS FIR, VERTICAL GRAIN COLOR: OLYMPIC ELITE WOODLAND OIL, SATIN, "MOUNTAIN CEDAR", 2 COATS
WD 2	EXTERIOR WOOD CASINGS AT DOORS, WINDOWS AND NICHES SPECIES: ADLER, VERTICAL GRAIN COLOR: CUSTOM HONEY ADLER STAIN, SATIN, 2 COATS
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PT 5	DUNN EDWARDS PAINT W/ FLAT FINISH. COLOR: DE 5209 CINNABAR
PT 8B	DUNN EDWARDS PAINT W/ SATIN FINISH. COLOR: DE 187 BLACK
PT 9	DUNN EDWARDS PAINT W/ FLAT FINISH. COLOR: DEC755 COCOA
PT 10	BENJAMIN MOORE PAINT W/ FLAT FINISH. COLOR: AC-33 MESA VERDE TAN
PT 14	FRAZEE PAINT W/ FLAT FINISH. COLOR: CL2826A LEAF PRINT



# EAST ELEVATION



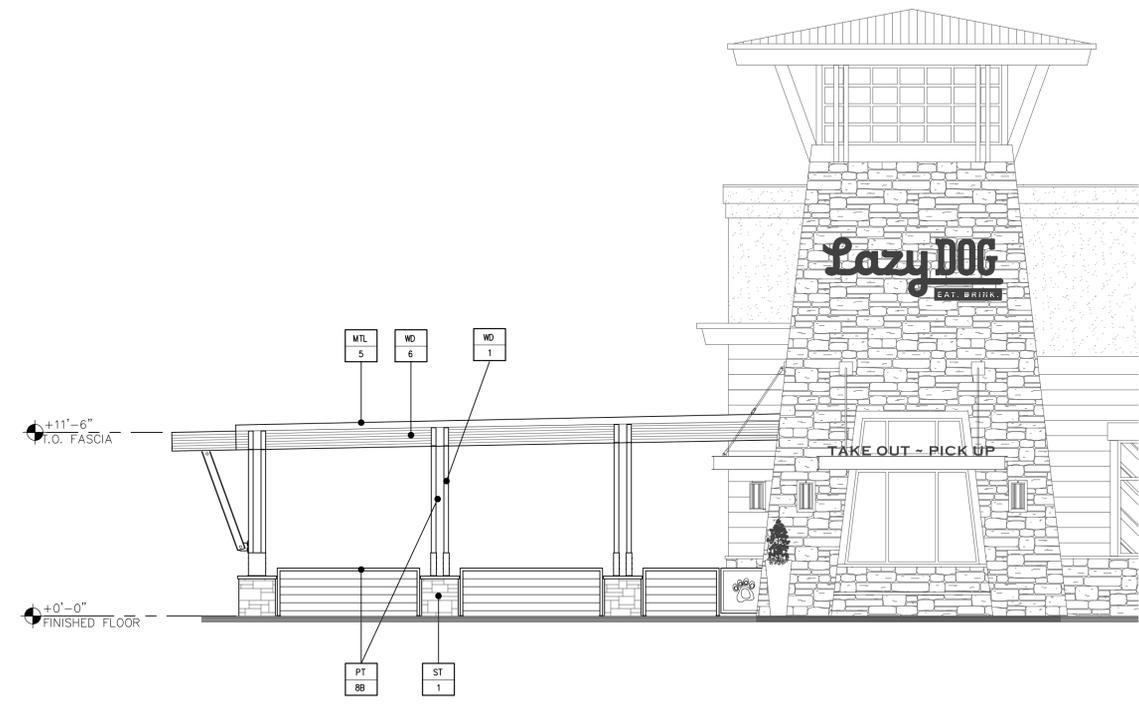
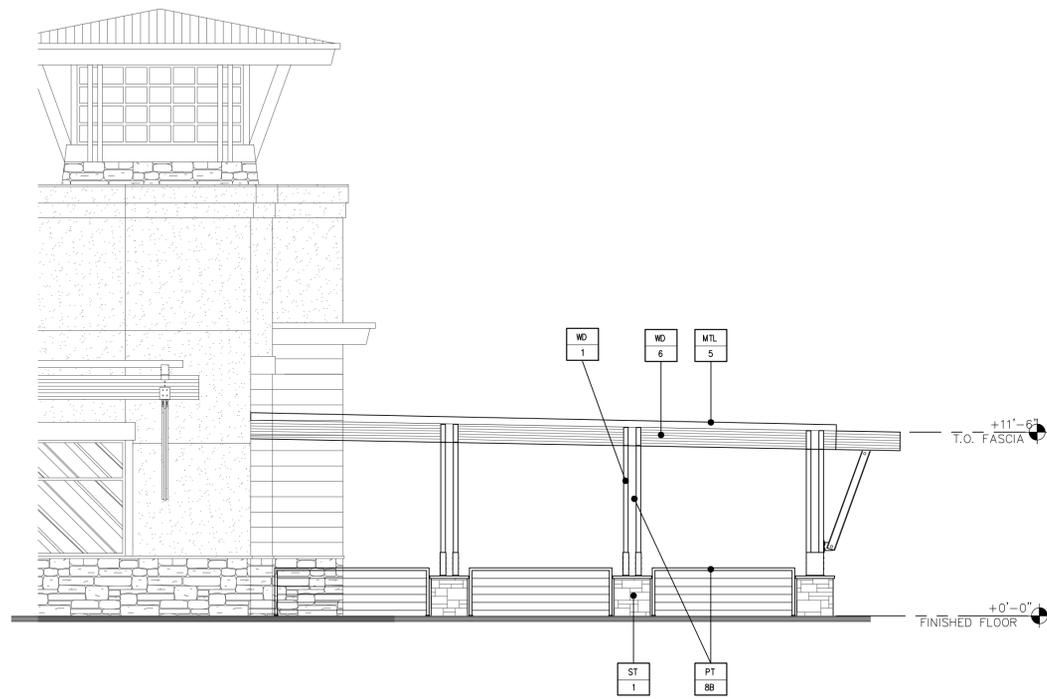
# SOUTH ELEVATION



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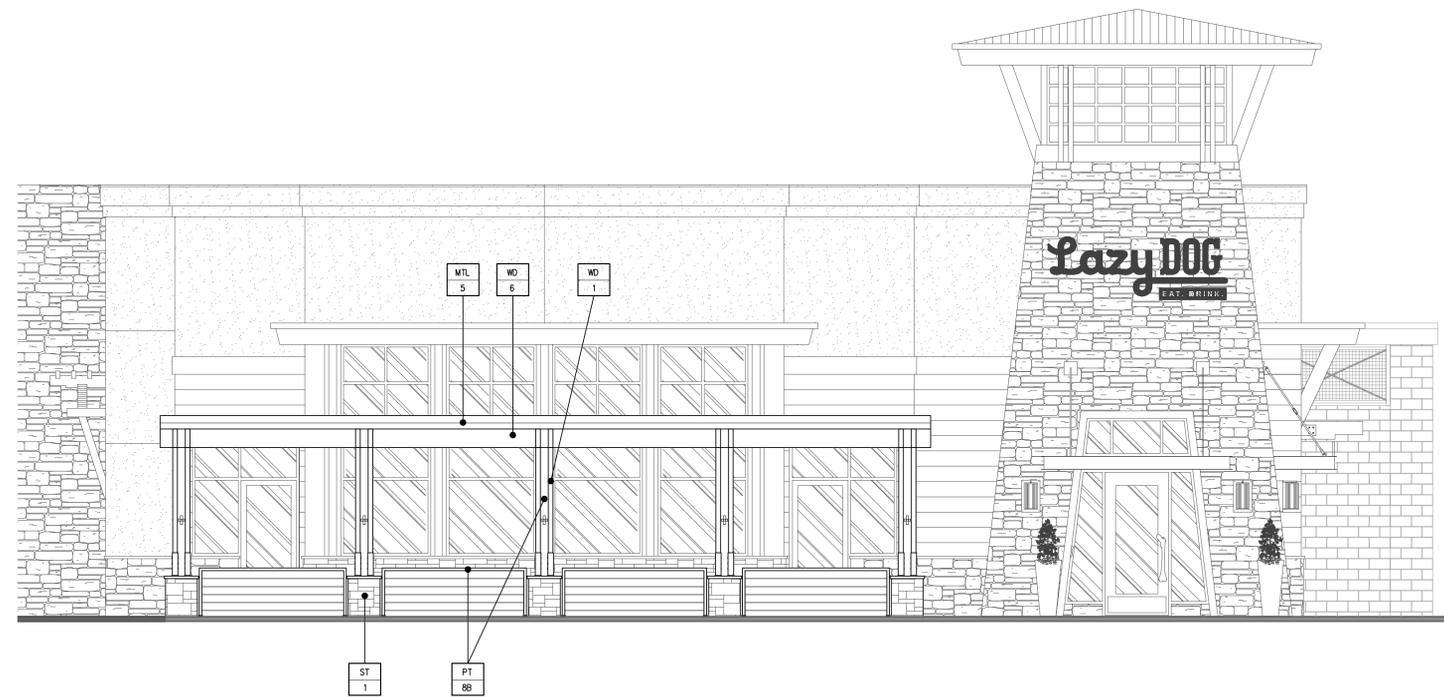
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06/21/18	<input checked="" type="checkbox"/>	CITY SUBMITTAL
07/16/18	<input checked="" type="checkbox"/>	LANDLORD & CITY SUBMITTAL
	<input type="checkbox"/>	



**NORTH PATIO ELEVATION**

**SOUTH PATIO ELEVATION**



**WEST PATIO ELEVATION**

PEACHTREE CORNERS  
 TOWN CENTER  
 5200 MEDLOCK BRIDGE RD  
 CITY OF PEACHTREE CORNERS, GA



SHEET TITLE  
**PATIO  
 ELEVATIONS**

DRAWN BY  
 TG  
 CHECKED BY  
 RAF/DM  
 SCALE  
 3/16" = 1'-0"  
 JOB NO.

SHEET NUMBER

**DD4.2**









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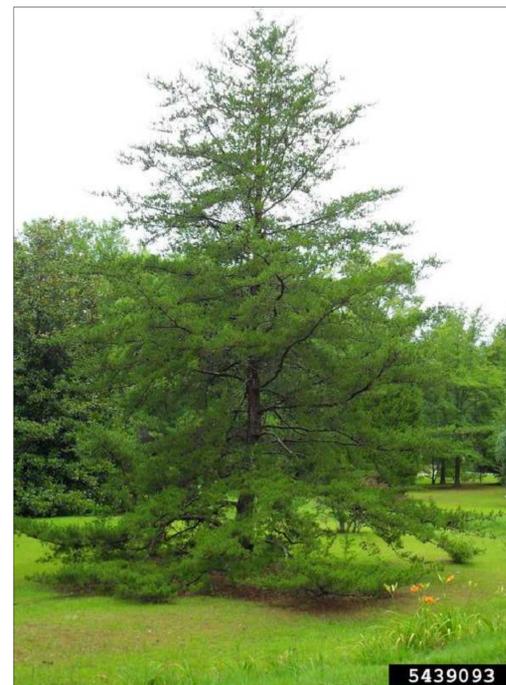
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\_\_\_\_\_



Betula n. 'Heritage'



Acer p. 'Bloodgood'

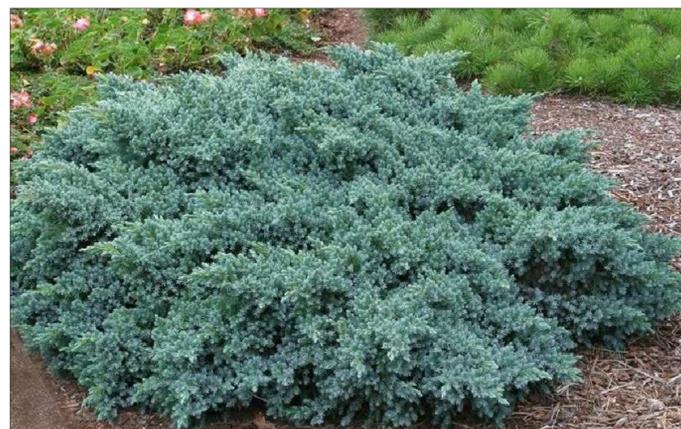


Pinus virginiana

PEACHTREE CORNERS  
TOWN CENTER  
5200 MEDLOCK BRIDGE RD.  
CITY OF PEACHTREE CORNERS, GA



Cornus s. 'Isanti'



Juniperus s. 'Blue Star'



Carex pensylvanica



Sisyrinchium angustifolium

SHEET TITLE

Preliminary  
Landscape  
Photos

DRAWN BY

NS

CHECKED BY

SSA

SCALE

not to scale

JOB NO.

SHEET NUMBER

L-2



# WEST ELEVATION

## EXTERIOR FINISHES

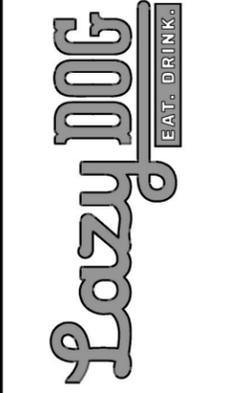
ST 1	STONE VENEER, LAZY DOG CUSTOM BLEND.
MTL 5	BERRIDGE STANDING BEAM METAL ROOF (OR APPROVED EQUAL) COLOR: DEEP RED OR METAL FLASHING/RAIN GUTTER/DOWNSPOUT TO MATCH "DEEP RED" COLOR.
MTL 6	US ALUMINUM STOREFRONT WINDOWS (OR APPROVED EQUAL). COLOR: TO MATCH BERRIDGE METALS "DEEP RED"
MTL 11	MCNICHOLS (OR APPROVED EQUAL) SQUARE OPENING WIRE MESH ITEM NUMBER 368T220041
WD 1	EXTERIOR WOOD TIMBERS SPECIES: DOUGLAS FIR, VERTICAL GRAIN COLOR: OLYMPIC ELITE WOODLAND OIL, SATIN, "MOUNTAIN CEDAR", 2 COATS
WD 2	EXTERIOR WOOD CASINGS AT DOORS, WINDOWS AND NICHS SPECIES: ADLER, VERTICAL GRAIN COLOR: CUSTOM HONEY ADLER STAIN, SATIN, 2 COATS
WD 3	EXTERIOR 2x4 DOUGLAS FIR WOOD SIDING. FINISH: SANDBLAST AND STAIN SPECIES: DOUGLAS FIR COLOR: 2 COATS BEHR PREMIUM WEATHER PROOFING ALL-IN-ONE TRANSPARENT, SATIN, "CORDOVAN BROWN" T-104
WD 5	EXTERIOR WOOD FASCIA SPECIES: DOUGLAS FIR COLOR: OLYMPIC ELITE WOODLAND OIL, SATIN, "MOUNTAIN CEDAR", 2 COATS
WD 6	EXTERIOR GLU-LAM FASCIA SPECIES: DOUGLAS FIR COLOR: OLYMPIC ELITE WOODLAND OIL, SATIN, "MOUNTAIN CEDAR", 2 COATS
PT 5	DUNN EDWARDS PAINT W/ FLAT FINISH. COLOR: DE 5203 CINNABAR
PT 8B	DUNN EDWARDS PAINT W/ SATIN FINISH. COLOR: DE 181 BLACK
PT 9	DUNN EDWARDS PAINT W/ FLAT FINISH. COLOR: DEC155 COCOA
PT 10	BENJAMIN MOORE PAINT W/ FLAT FINISH. COLOR: AC-33 MESA VERDE TAN
PT 14	FRAZEE PAINT W/ FLAT FINISH. COLOR: CL2826A LEAF PRINT

7777 CENTER AVENUE, SUITE 500  
HUNTINGTON BEACH, CA 92647  
PHONE: 714.596.9960  
FAX: 714.596.9970  
www.lazydogrestaurants.com

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 CITY SUBMITTAL  
05/09/18  SUBMITTAL TO LANDLORD / CITY

PEACHTREE CORNERS  
TOWN CENTER  
5200 MEDLOCK BRIDGE RD  
CITY OF PEACHTREE CORNERS, GA



SHEET TITLE  
**EXTERIOR ELEVATIONS**

DRAWN BY  
TG  
CHECKED BY  
RAF/DM  
SCALE  
3/16" = 1'-0"  
JOB NO.

SHEET NUMBER



# NORTH ELEVATION

**DD4.0**



# EAST ELEVATION



# SOUTH ELEVATION

## EXTERIOR FINISHES

ST 1	STONE VENEER, LAZY DOG CUSTOM BLEND.
MTL 5	BERRIDGE STANDING BEAM METAL ROOF (OR APPROVED EQUAL). COLOR: DEEP RED OR METAL FLASHING/RAIN GUTTER/DOWNSPOUT TO MATCH "DEEP RED" COLOR.
MTL 6	US ALUMINUM STOREFRONT WINDOWS (OR APPROVED EQUAL). COLOR: TO MATCH BERRIDGE METALS "DEEP RED"
MTL 11	MNICHOLS (OR APPROVED EQUAL) SQUARE OPENING WIRE MESH ITEM NUMBER 368T220041
UD 1	EXTERIOR WOOD TIMBERS SPECIES: DOUGLAS FIR, VERTICAL GRAIN COLOR: OLYMPIC ELITE WOODLAND OIL, SATIN, "MOUNTAIN CEDAR", 2 COATS
UD 2	EXTERIOR WOOD CASINGS AT DOORS, WINDOWS AND NICHE SPECIES: ADLER, VERTICAL GRAIN COLOR: CUSTOM HONEY ADLER STAIN, SATIN, 2 COATS
UD 3	EXTERIOR 2x4 DOUGLAS FIR WOOD SIDING. FINISH: SANDBLAST AND STAIN SPECIES: DOUGLAS FIR COLOR: 2 COATS BEHR PREMIUM WEATHER PROOFING ALL-IN-ONE TRANSPARENT, SATIN, "CORDOVAN BROWN" T-104
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PT 5	DUNN EDWARDS PAINT W/ FLAT FINISH. COLOR: DE 5209 CINNABAR
PT 8B	DUNN EDWARDS PAINT W/ SATIN FINISH. COLOR: DE 181 BLACK
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<input type="checkbox"/>	LANDLORD SUBMITTAL
<input type="checkbox"/>	CITY SUBMITTAL
05/09/18	<input checked="" type="checkbox"/> SUBMITTAL TO LANDLORD / CITY
<input type="checkbox"/>	

PEACHTREE CORNERS  
TOWN CENTER  
5200 MEDLOCK BRIDGE RD  
CITY OF PEACHTREE CORNERS, GA



SHEET TITLE  
**EXTERIOR ELEVATIONS**

DRAWN BY  
TG  
CHECKED BY  
RAF/DM  
SCALE  
3/16" = 1'-0"  
JOB NO.

SHEET NUMBER

**DD4.1**



# NORTH PATIO ELEVATION



# SOUTH PATIO ELEVATION



# WEST PATIO ELEVATION



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	<input type="checkbox"/>	CITY SUBMITTAL
05/09/18	<input checked="" type="checkbox"/>	SUBMITTAL TO LANDLORD / CITY
	<input type="checkbox"/>	

PEACHTREE CORNERS  
 TOWN CENTER  
 5200 MEDLOCK BRIDGE RD  
 CITY OF PEACHTREE CORNERS, GA



SHEET TITLE  
**PATIO ELEVATIONS**

DRAWN BY  
 TG  
 CHECKED BY  
 RAF/DM  
 SCALE  
 3/16" = 1'-0"  
 JOB NO.

SHEET NUMBER  
**DD4.2**

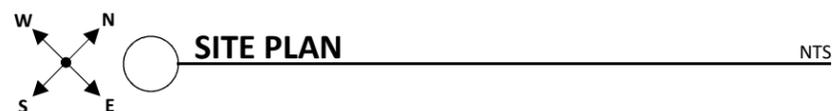
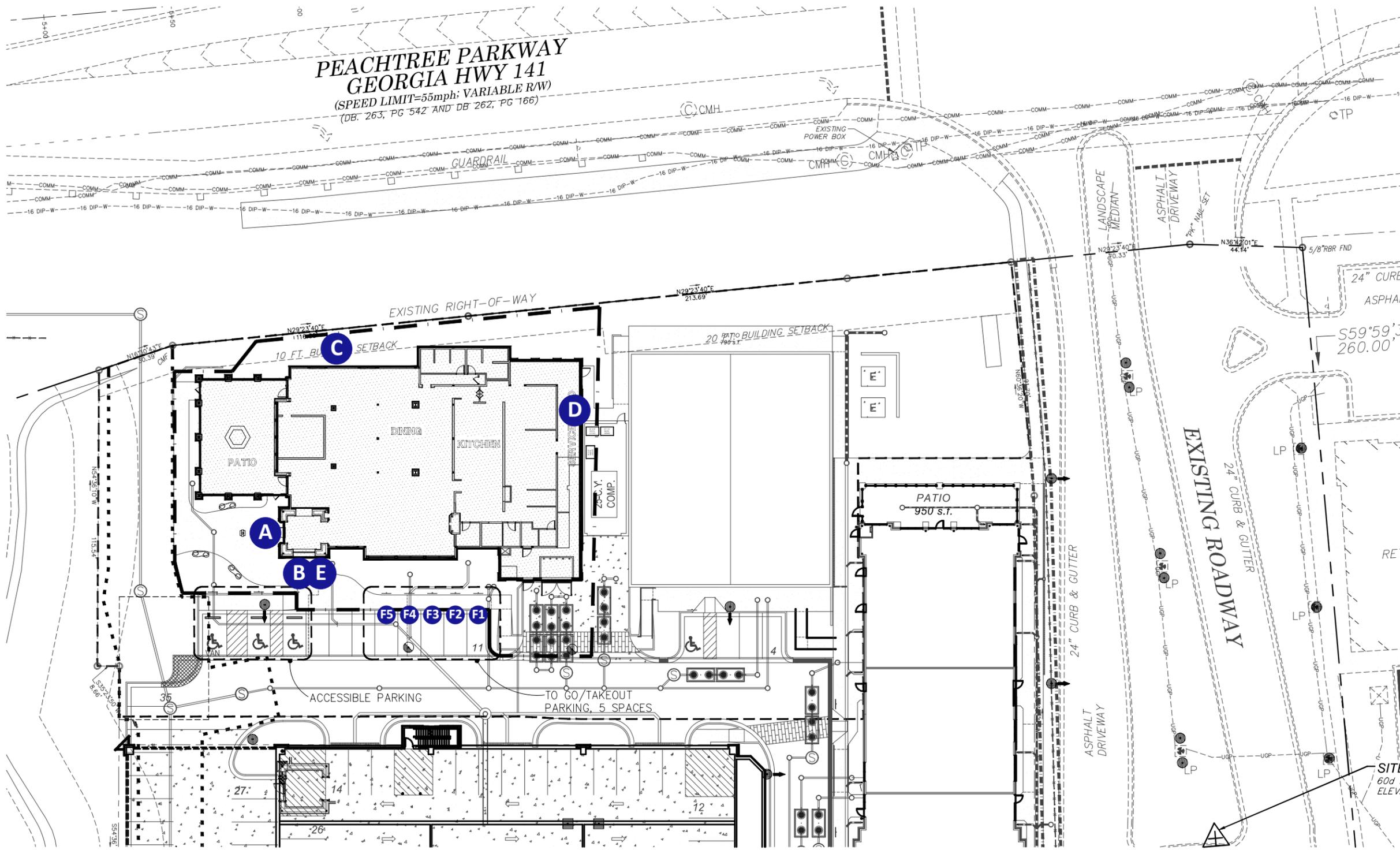
# Lazy DOG

EAT. DRINK.



CHANDLER  
SIGNS

PEACHTREE CORNERS, GA



<b>Design #</b>	
0821375AR08	
<b>Sheet 2 of 9</b>	
<b>Client</b>	
LAZY DOG	
<b>Address</b>	
5200 MEDLOCK BRIDGE RD. PEACHTREE CORNERS, GA	
<b>Account Rep.</b>	J MUELLER
<b>Designer</b>	E CAMERON
<b>Date</b>	05/04/18
<b>Approval / Date</b>	
<b>Client</b>	
<b>Sales</b>	
<b>Estimating</b>	
<b>Art</b>	
<b>Engineering</b>	
<b>Landlord</b>	
<b>Revision/Date</b>	
R1:PM:05/08/18:UPDATE W/ NEW ELEVATIONS	
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R03:HG:06/01/18: UPDATE SITE PLAN	
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R06:ECS:06/07/18: UPDATE SITE PLAN, N & E ELEVATIONS, & REVISE ORDER.	
R07:PM:07/06/18:UPDATE SITE PLAN	
R08:EC:07/11/18: UPDATE SITE PLAN & ELEVATIONS.	



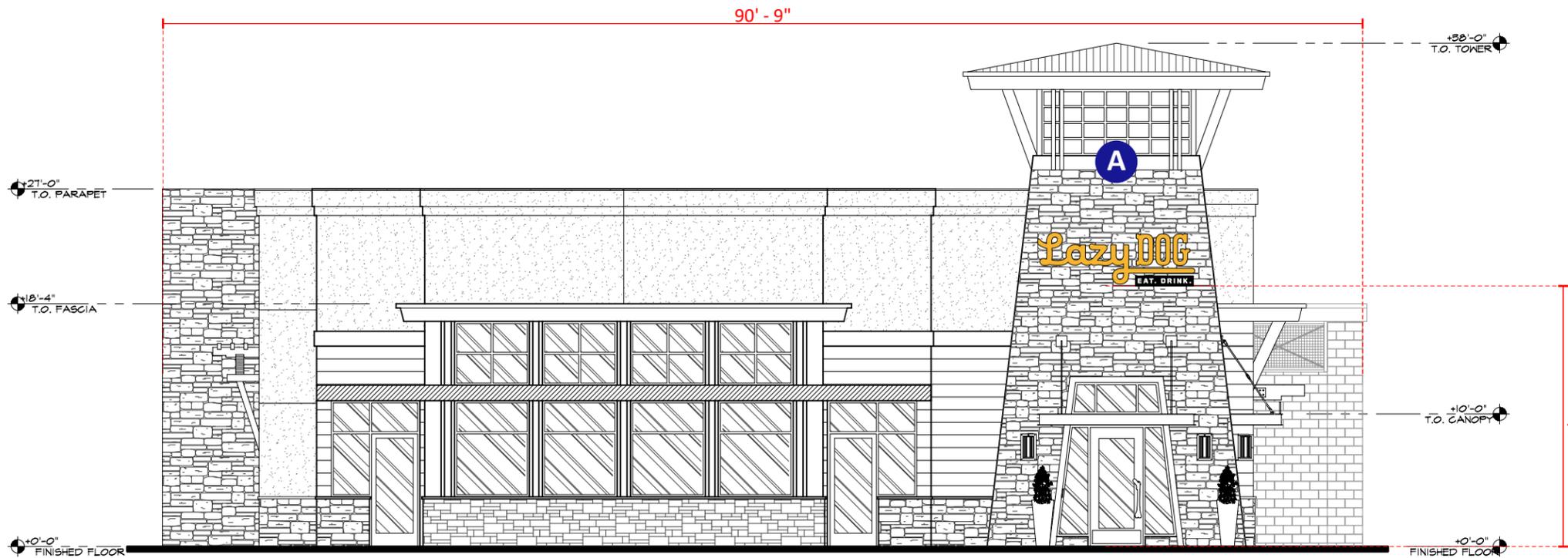
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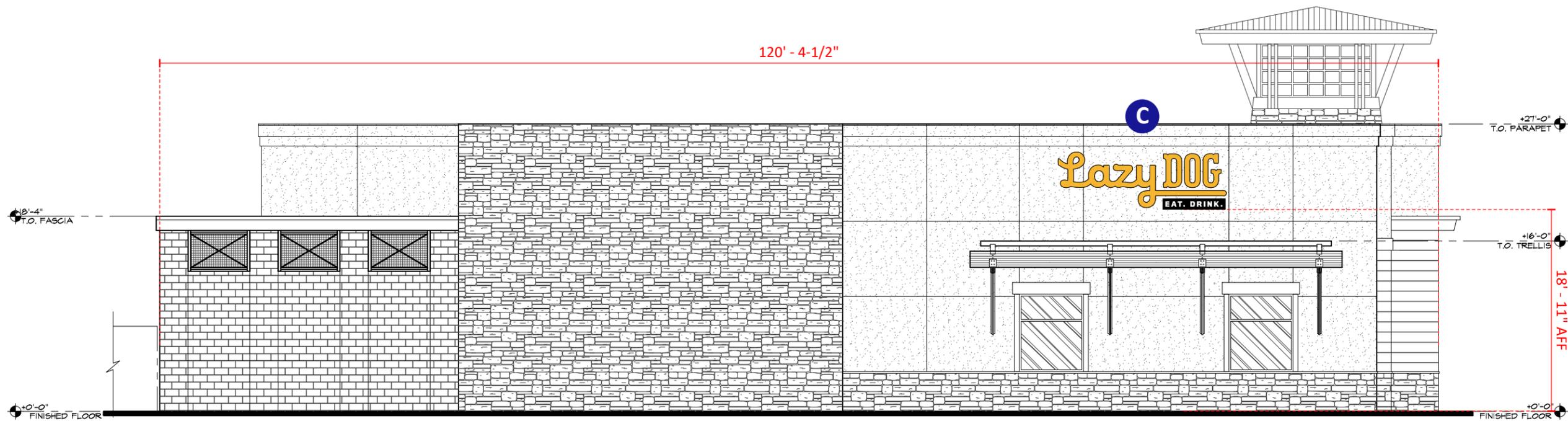
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**FINAL ELECTRICAL CONNECTION BY CUSTOMER**





**WEST ELEVATION** SCALE: 3/32" = 1' - 0"



**NORTH ELEVATION** SCALE: 3/32" = 1' - 0"

**Design #**  
0821375AR08

**Sheet** 3 of 9

**Client**  
LAZY DOG

**Address**  
5200 MEDLOCK BRIDGE RD.  
PEACHTREE CORNERS, GA

**Account Rep.** J MUELLER

**Designer** E CAMERON

**Date** 05/04/18

**Approval / Date**

**Client**

**Sales**

**Estimating**

**Art**

**Engineering**

**Landlord**

**Revision/Date**

R1:PM:05/08/18:UPDATE W/  
NEW ELEVATIONS

R02:PM:05/31/18: UPDATE  
SITE PLAN & ELEVATIONS.

R03:HG:06/01/18: UPDATE  
SITE PLAN

R04:EC:06/05/18: UPDATE SITE  
PLAN.

R05:HG:06/05/18:UPDATE SITE  
PLAN.

R06:ECS:06/07/18: UPDATE  
SITE PLAN, N & E ELEVATIONS,  
& REVISE ORDER.

R07:PM:07/06/18:UPDATE  
SITE PLAN

R08:EC:07/11/18: UPDATE SITE  
PLAN & ELEVATIONS.



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San Antonio, TX 78232  
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Vista, CA 92081  
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PROPER GROUNDING & BONDING OF THE SIGN.  
SIGN WILL BEAR UL LABEL(S).



Design #

0821375AR08

Sheet 4 of 9

Client

LAZY DOG

Address

5200 MEDLOCK BRIDGE RD.  
PEACHTREE CORNERS, GA

Account Rep. J MUELLER

Designer E CAMERON

Date 05/04/18

Approval / Date

Client	
Sales	
Estimating	
Art	
Engineering	
Landlord	

Revision/Date

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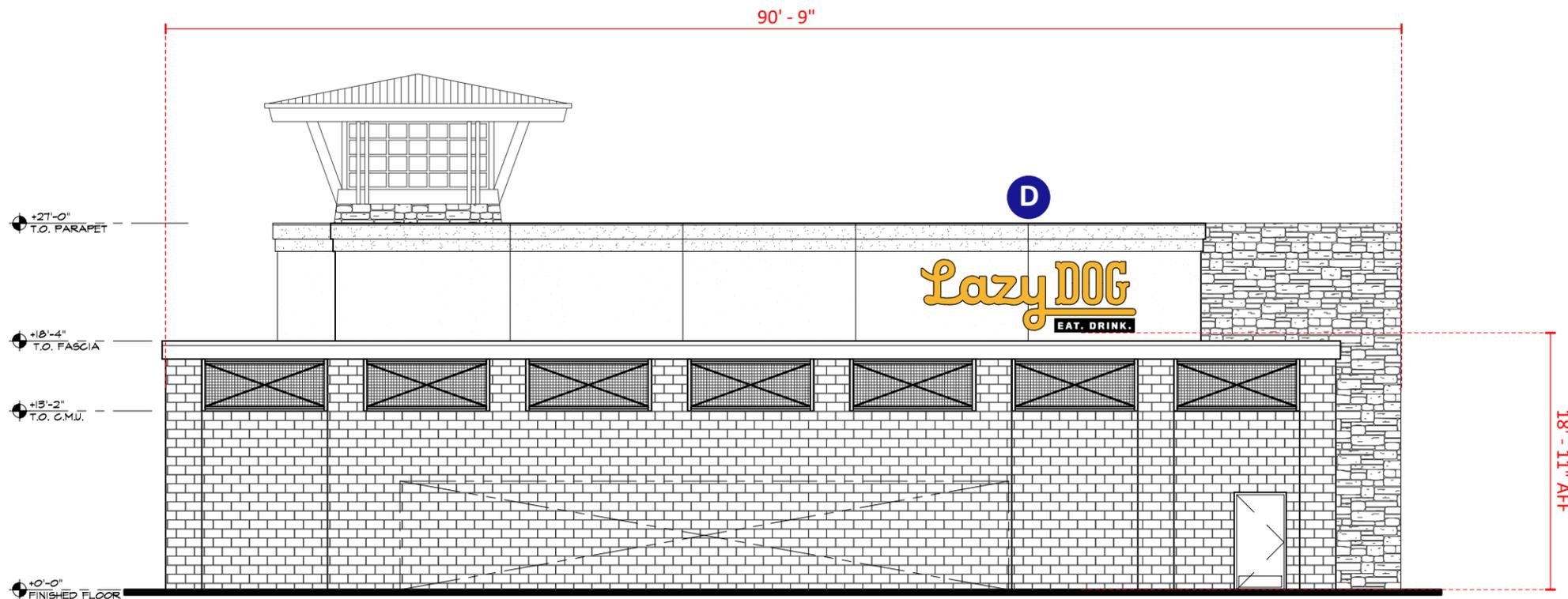
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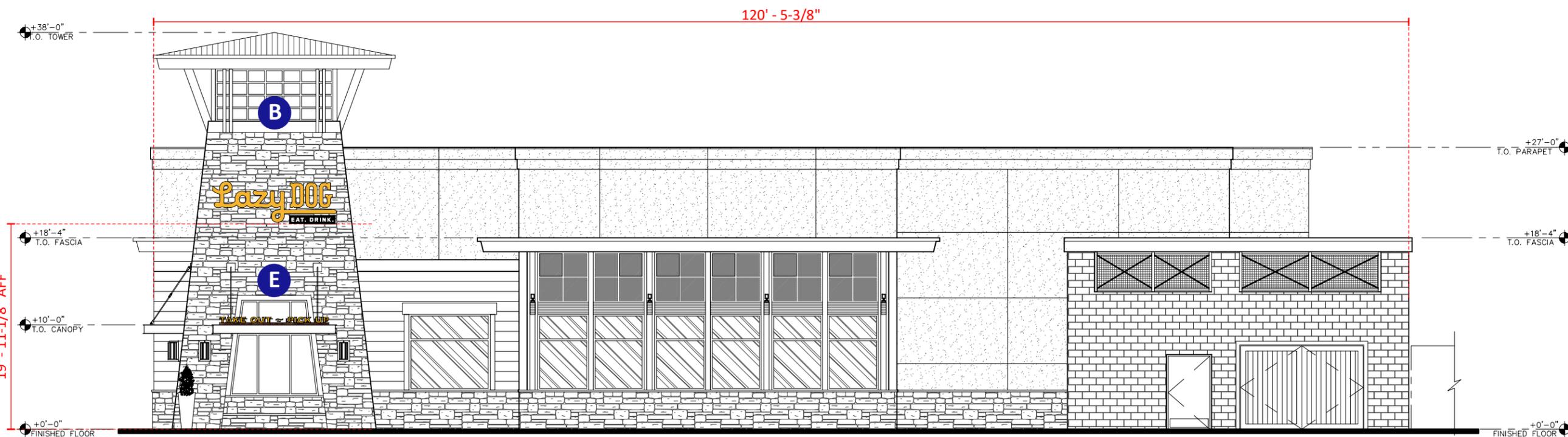
**FINAL ELECTRICAL  
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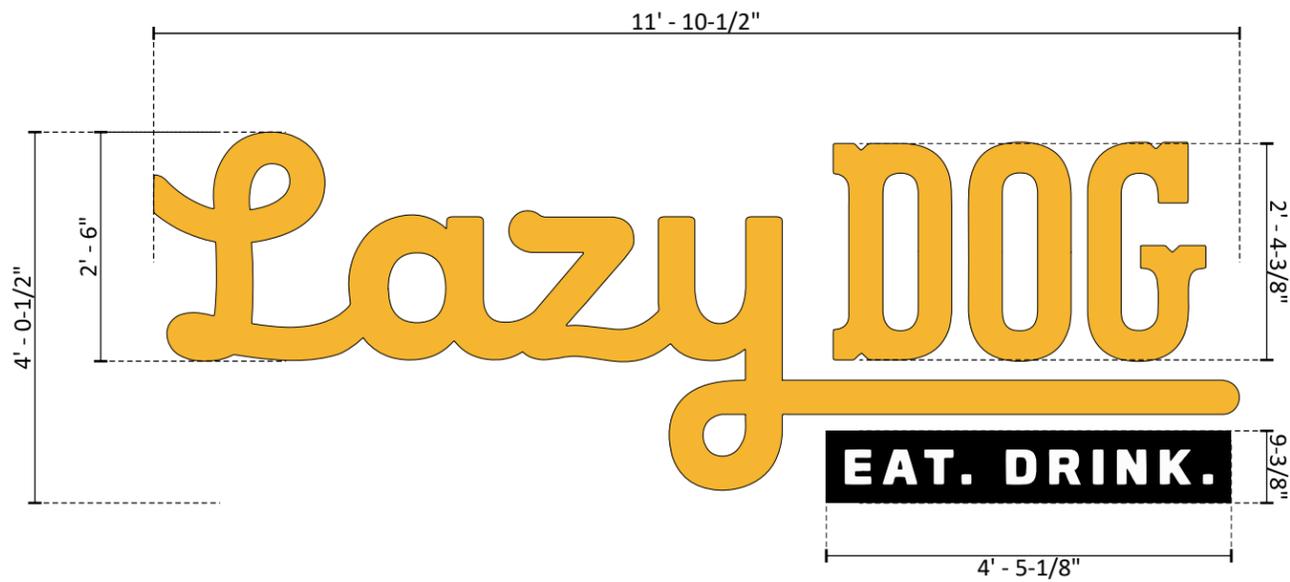
**EAST ELEVATION**

SCALE: 3/32" = 1' - 0"



**SOUTH ELEVATION**

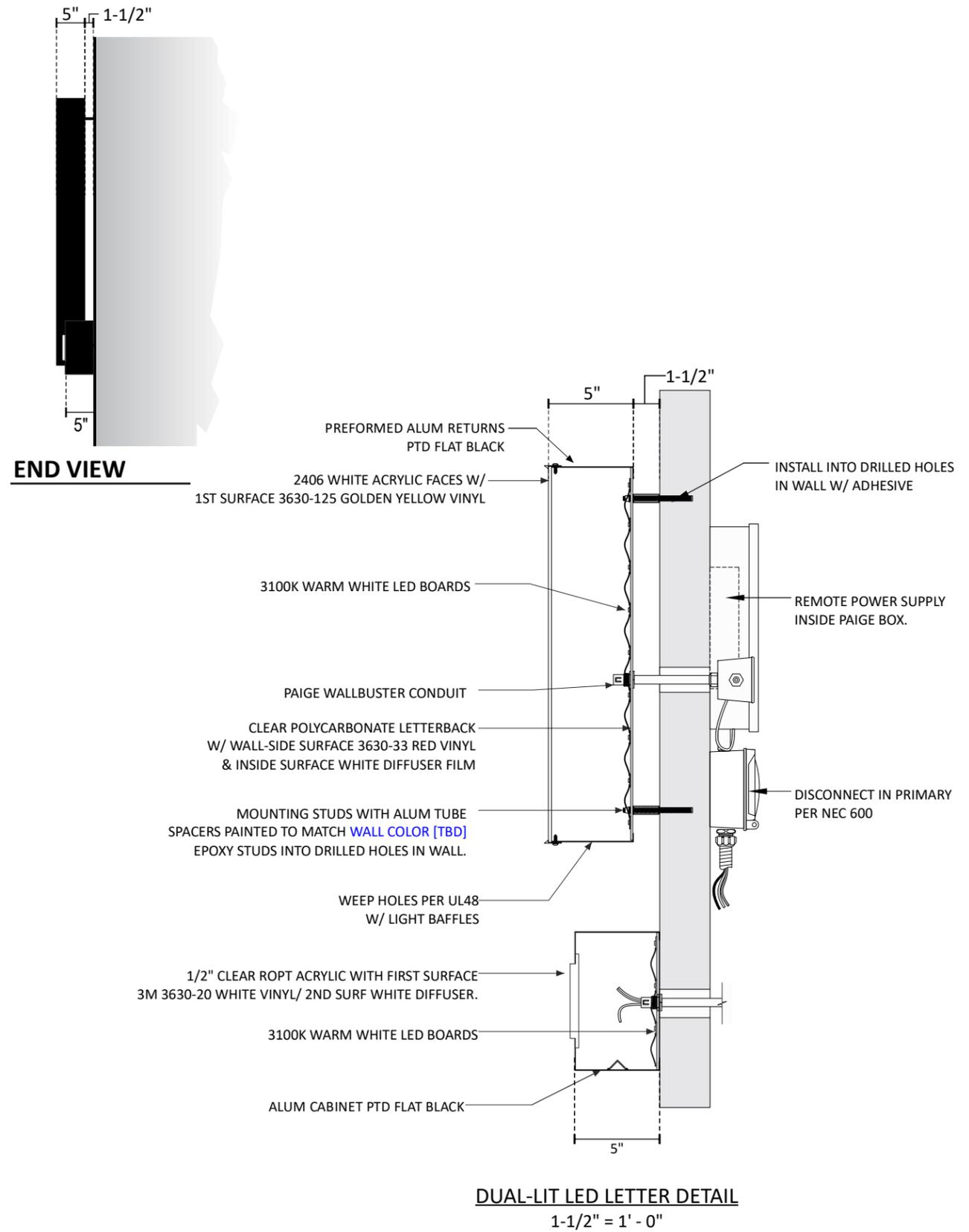
SCALE: 3/32" = 1' - 0"



**A B** DUAL-LIT LETTERSET SCALE: 1/2" = 1' - 0"  
TWO [2] REQUIRED - MANUFACTURE & INSTALL



**NIGHT VIEW**



**DUAL-LIT LED LETTER DETAIL**  
1-1/2" = 1' - 0"

<b>Design #</b>	
0821375AR08	
<b>Sheet</b> 5 of 9	
<b>Client</b>	
LAZY DOG	
<b>Address</b>	
5200 MEDLOCK BRIDGE RD. PEACHTREE CORNERS, GA	
<b>Account Rep.</b>	J MUELLER
<b>Designer</b>	E CAMERON
<b>Date</b>	05/04/18
<b>Approval / Date</b>	
<b>Client</b>	
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<b>Estimating</b>	
<b>Art</b>	
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<b>Landlord</b>	
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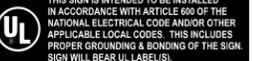
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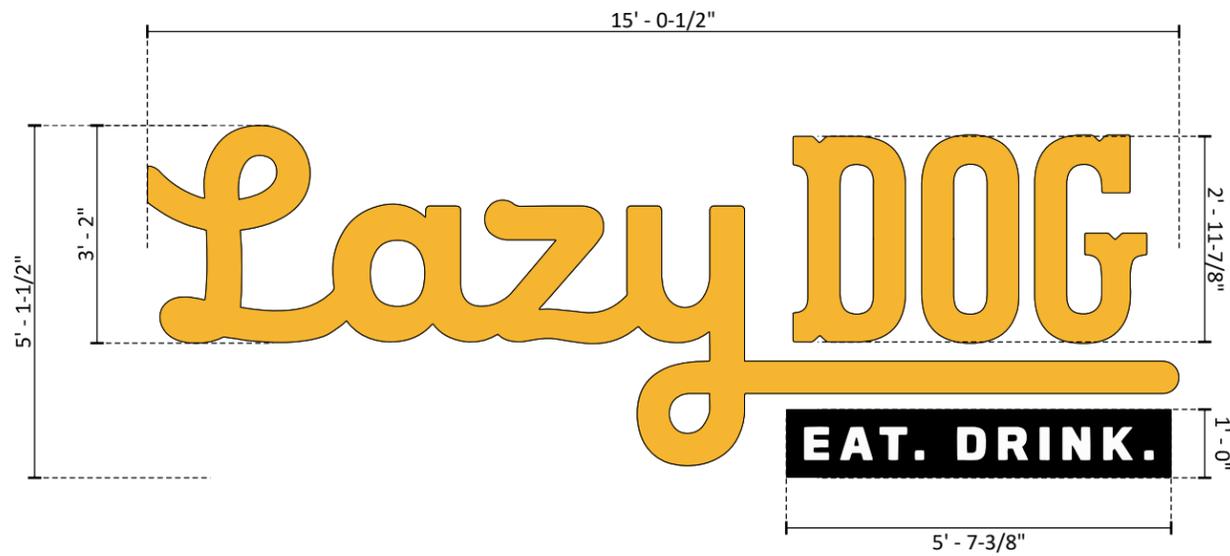
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<b>Georgia</b>	111 Woodstone Place Dawsonville, GA 30534 (678) 725-8852 Fax (210) 349-8724
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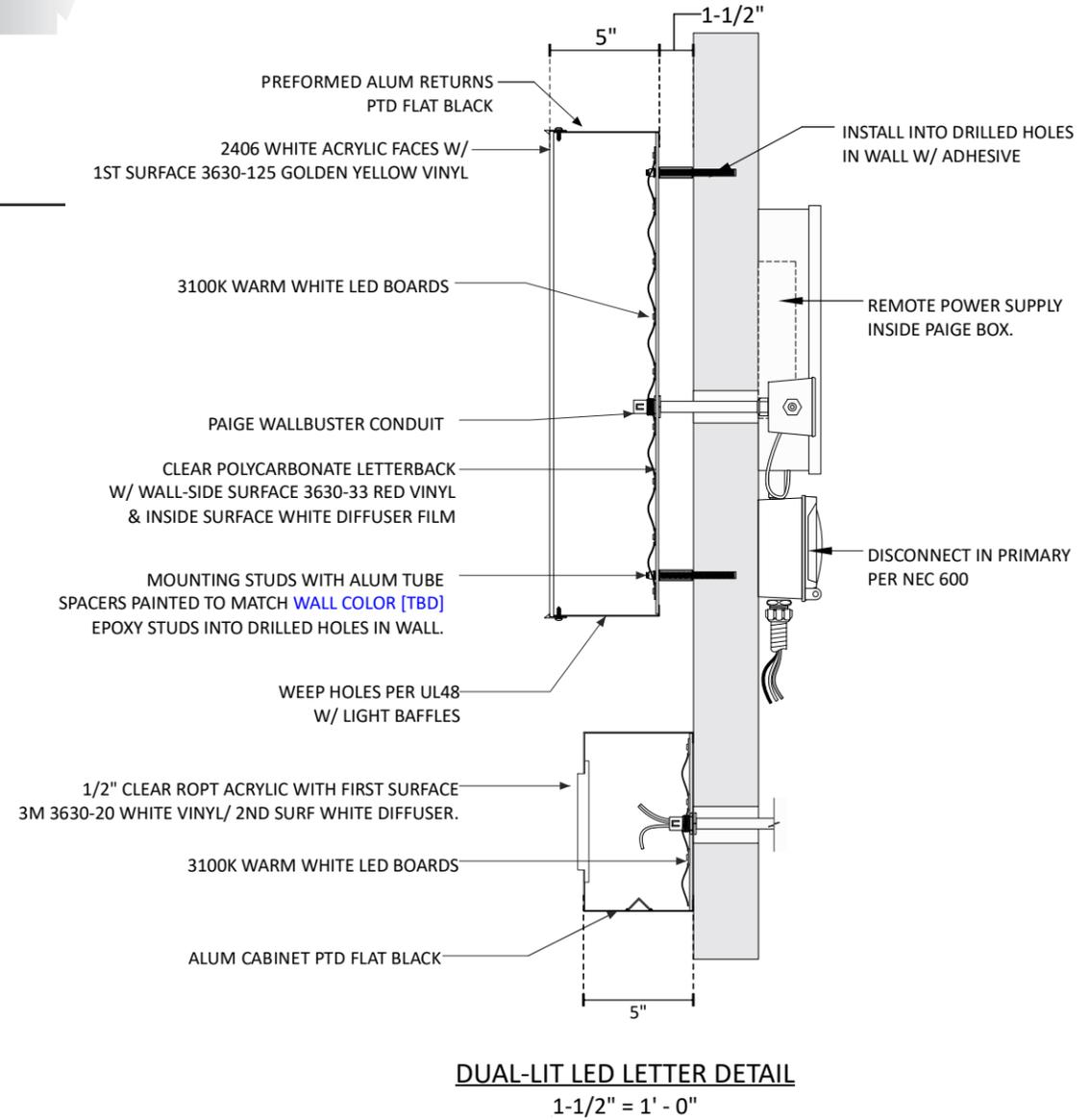


**C DUAL-LIT LETTERSET** SCALE: 3/8" = 1' - 0"  
ONE [1] REQUIRED - MANUFACTURE & INSTALL



**NIGHT VIEW**

**END VIEW**



**DUAL-LIT LED LETTER DETAIL**

1-1/2" = 1' - 0"

<b>Design #</b>	
0821375AR08	
<b>Sheet</b> 6 of 9	
<b>Client</b>	
LAZY DOG	
<b>Address</b>	
5200 MEDLOCK BRIDGE RD. PEACHTREE CORNERS, GA	
<b>Account Rep.</b>	J MUELLER
<b>Designer</b>	E CAMERON
<b>Date</b>	05/04/18
<b>Approval / Date</b>	
<b>Client</b>	
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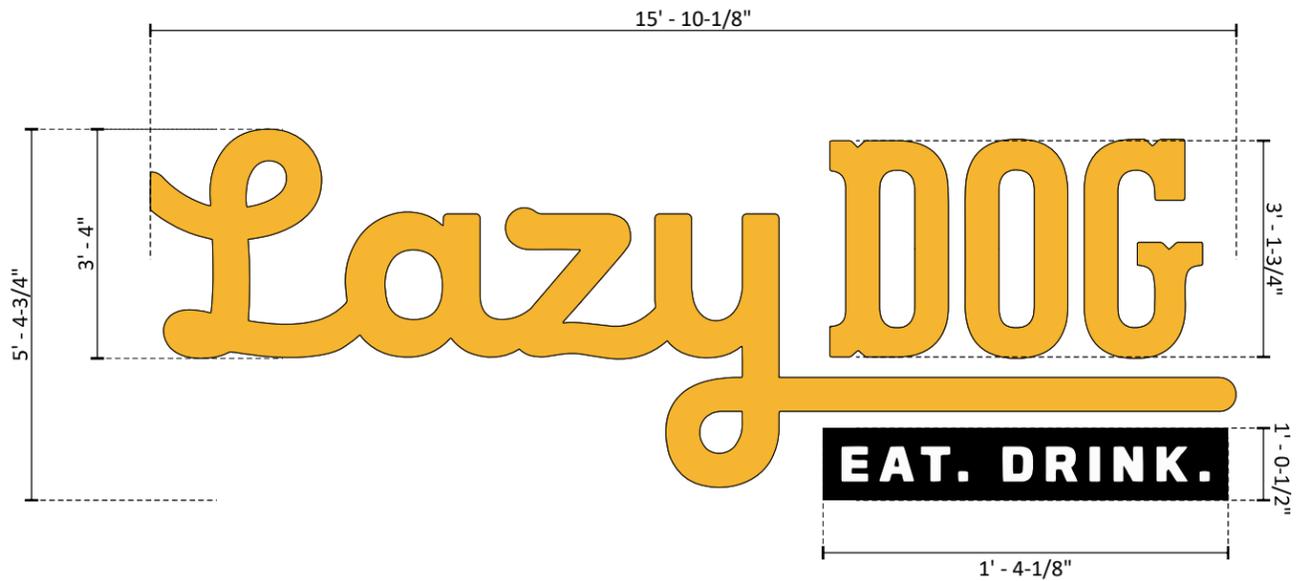
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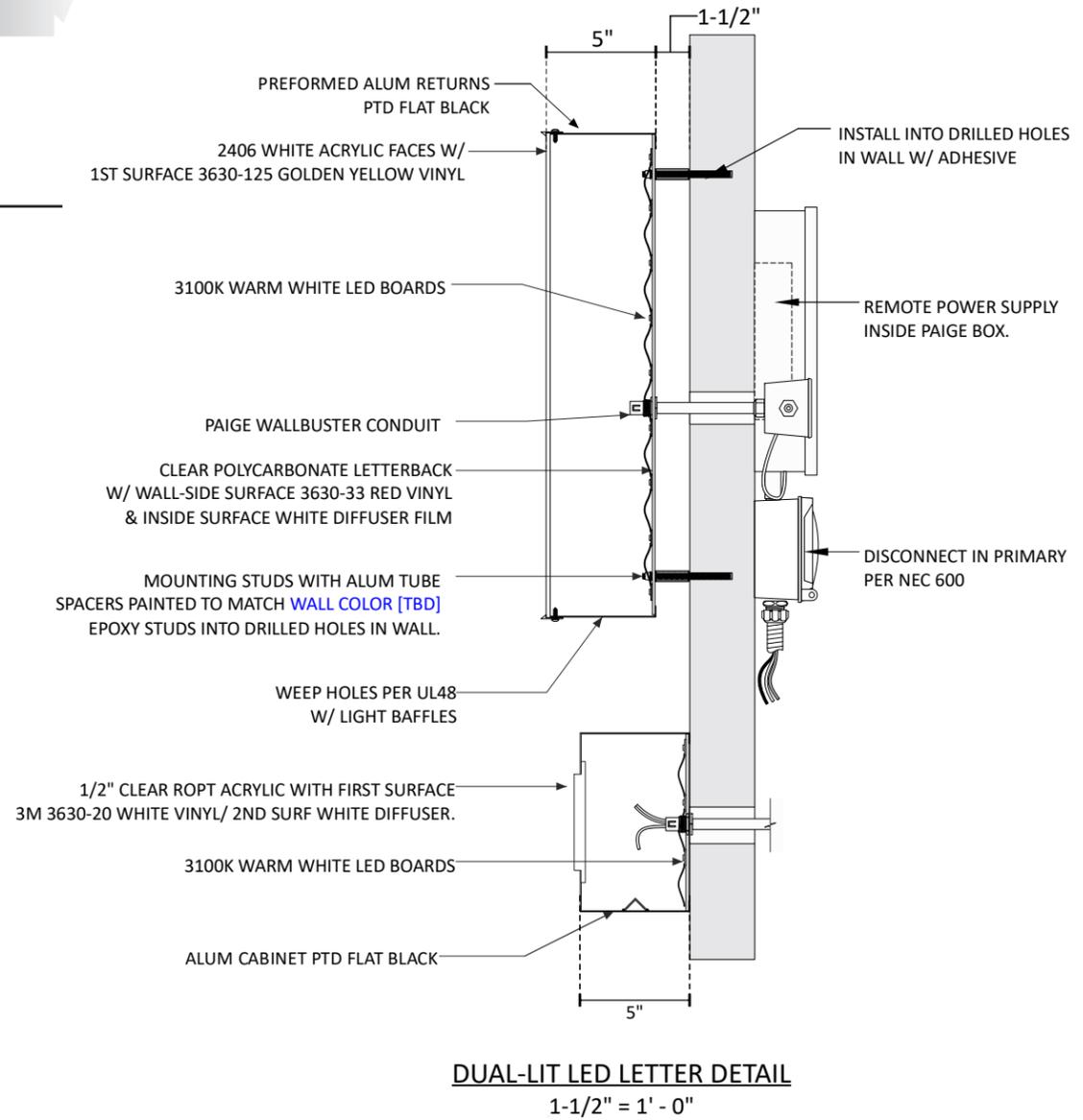


**D DUAL-LIT LETTERSET** SCALE: 3/8" = 1' - 0"  
ONE [1] REQUIRED - MANUFACTURE & INSTALL



**NIGHT VIEW**

**END VIEW**



**DUAL-LIT LED LETTER DETAIL**

1-1/2" = 1' - 0"

<b>Design #</b>	
0821375AR08	
<b>Sheet</b> 7 of 9	
<b>Client</b>	
LAZY DOG	
<b>Address</b>	
5200 MEDLOCK BRIDGE RD. PEACHTREE CORNERS, GA	
<b>Account Rep.</b>	J MUELLER
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<b>Estimating</b>	
<b>Art</b>	
<b>Engineering</b>	
<b>Landlord</b>	
<b>Revision/Date</b>	
R1:PM:05/08/18:UPDATE W/ NEW ELEVATIONS	
R02:PM:05/31/18: UPDATE SITE PLAN & ELEVATIONS.	
R03:HG:06/01/18: UPDATE SITE PLAN	
R04:EC:06/05/18: UPDATE SITE PLAN.	
R05:HG:06/05/18:UPDATE SITE PLAN.	
R06:ECS:06/07/18: UPDATE SITE PLAN, N & E ELEVATIONS, & REVISE ORDER.	
R07:PM:07/06/18:UPDATE SITE PLAN	
R08:EC:07/11/18: UPDATE SITE PLAN & ELEVATIONS.	



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<b>San Antonio</b>	17319 San Pedro Ave Ste 200 San Antonio, TX 78232 (210) 349-3854 Fax (210) 349-8724
<b>West Coast</b>	3220 Executive Ridge Dr Ste 250 Vista, CA 92081 (760) 734-1708 Fax (760) 734-3752
<b>Northeast US</b>	2301 River Road Suite 201 Louisville, KY 40206 (502) 897-9800 Cell (502) 554-2575
<b>Florida</b>	2584 Sand Hill Point Circle Davenport, FL 33837 (883) 420-1100 Fax (863) 424-1160
<b>Georgia</b>	111 Woodstone Place Dawsonville, GA 30534 (678) 725-8852 Fax (210) 349-8724
<b>South Texas</b>	PO BOX 125 206 Doral Drive Portland, TX 78374 (361) 563-5399 Fax (361) 643-6533

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**END VIEW**

**E CANOPY SIGN** SCALE: 3/4" = 1' - 0"  
ONE [1] REQUIRED - MANUFACTURE & INSTALL 7.61 SQFT

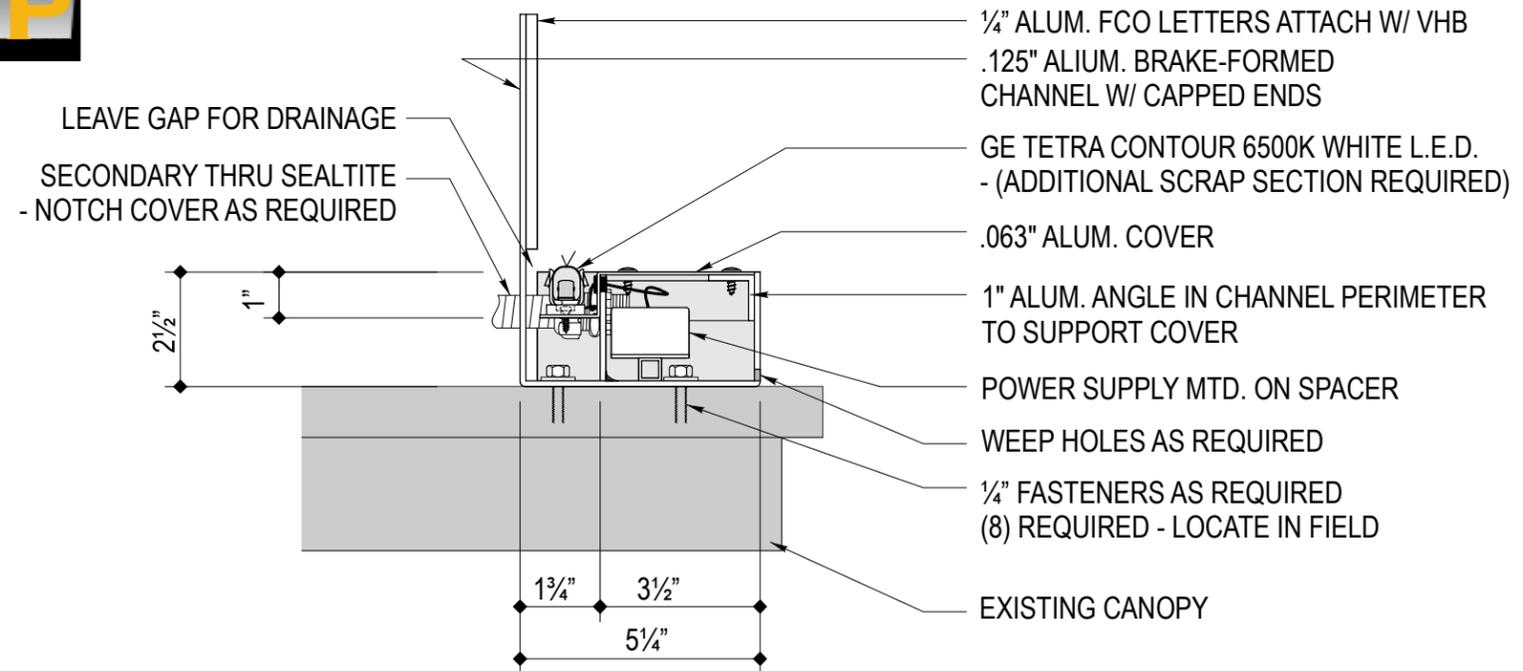
SIGN DRAWS APPROX 0.32 AMPS @ 120 VAC.



**NIGHT VIEW**



LAZY DOG APPROVED PAINT SAMPLE



**SECTION DETAIL SCALE 3"=1'**

Design #	
0821375AR08	
Sheet 8 of 9	
Client	
LAZY DOG	
Address	
5200 MEDLOCK BRIDGE RD. PEACHTREE CORNERS, GA	
Account Rep.	
J MUELLER	
Designer	
E CAMERON	
Date	
05/04/18	
Approval / Date	
Client	
Sales	
Estimating	
Art	
Engineering	
Landlord	
Revision/Date	
R1:PM:05/08/18:UPDATE W/ NEW ELEVATIONS	
R02:PM:05/31/18: UPDATE SITE PLAN & ELEVATIONS.	
R03:HG:06/01/18: UPDATE SITE PLAN	
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<b>Northeast US</b>	2301 River Road Suite 201 Louisville, KY 40206 (502) 897-9800 Cell (502) 554-2575
<b>Florida</b>	2584 Sand Hill Point Circle Davenport, FL 33837 (883) 420-1100 Fax (863) 424-1160
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<b>South Texas</b>	PO BOX 125 206 Doral Drive Portland, TX 78374 (361) 563-5399 Fax (361) 643-6533

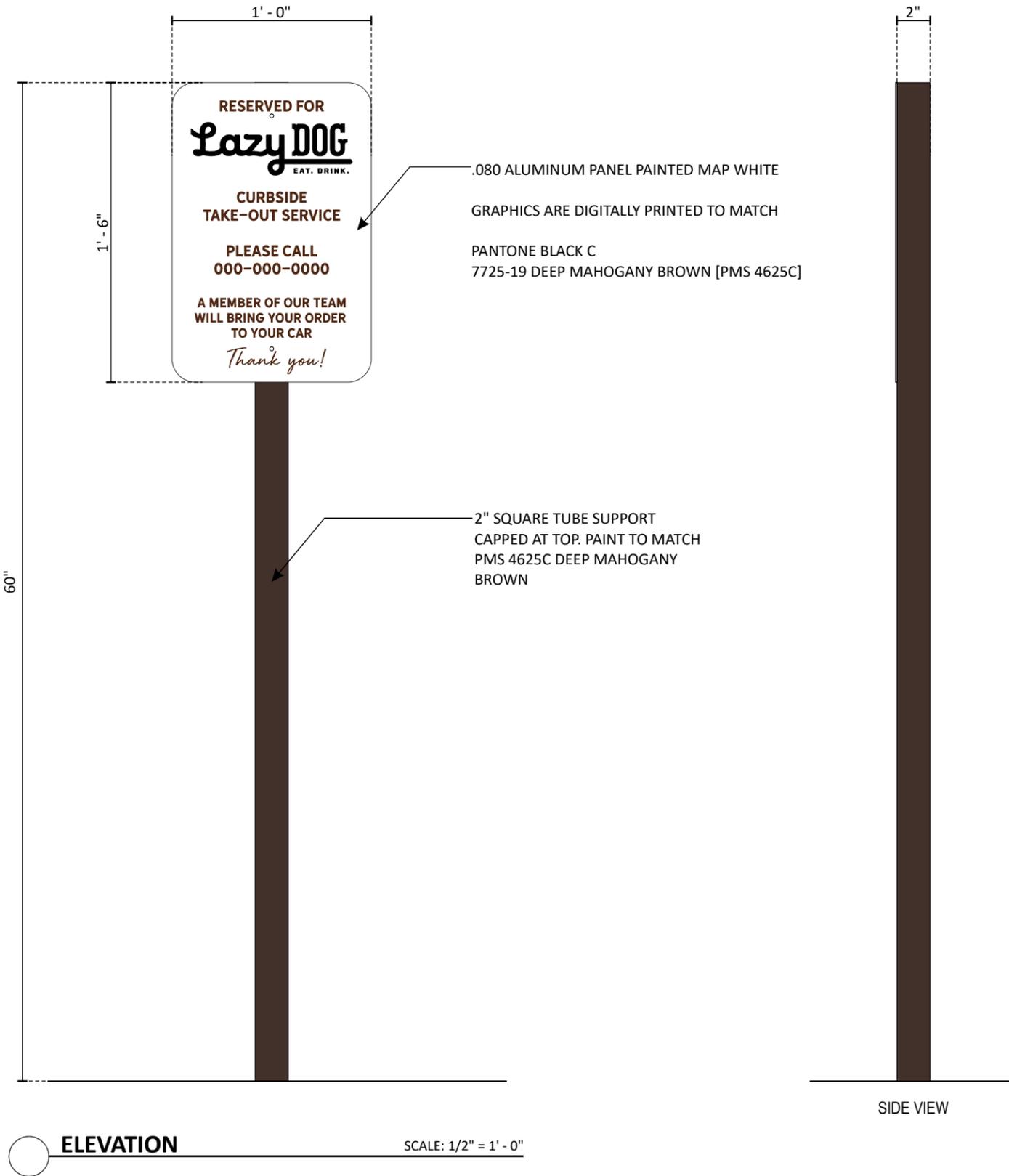
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SIGN WILL BEAR UL LABEL(S).



**F TAKE-OUT PARKING SIGN** SCALE: 3" = 1' - 0"  
 FIVE [5] REQUIRED - MANUFACTURE & INSTALL  
 PHONE NUMBER TO BE DETERMINED PRIOR TO MANUFACTURE



**ELEVATION** SCALE: 1/2" = 1' - 0"

<b>Design #</b>	0821375AR08
<b>Sheet</b>	9 of 9
<b>Client</b>	LAZY DOG
<b>Address</b>	5200 MEDLOCK BRIDGE RD. PEACHTREE CORNERS, GA
<b>Account Rep.</b>	J MUELLER
<b>Designer</b>	E CAMERON
<b>Date</b>	05/04/18
<b>Approval / Date</b>	
<b>Client</b>	
<b>Sales</b>	
<b>Estimating</b>	
<b>Art</b>	
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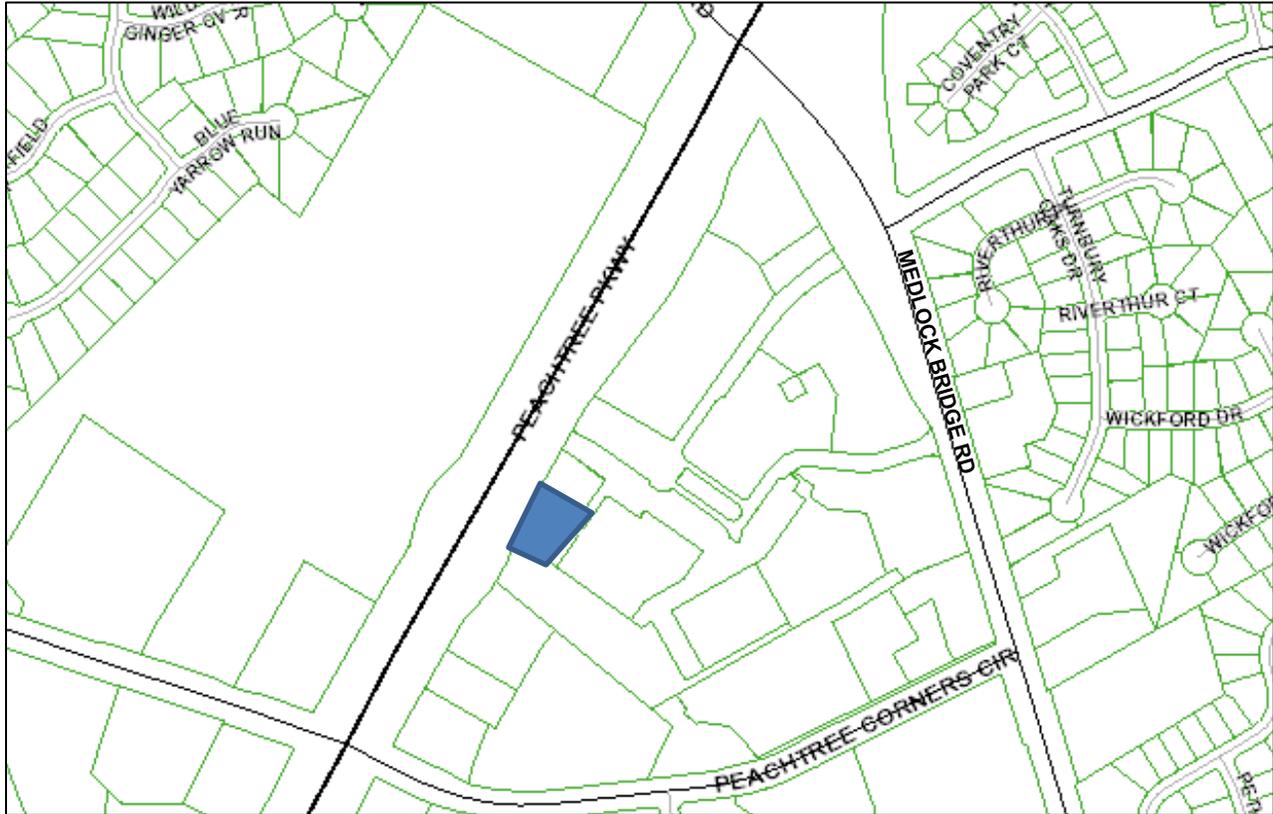
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## PROPERTY LOCATION MAP

### Lazy Dog



<b>CASE NUMBER:</b>	<b>PH2018-008</b>		
<b>HEARING DATES:</b>	<b>PLANNING COMMISSION</b>	<b>CITY COUNCIL 1<sup>ST</sup> READING</b>	<b>CITY COUNCIL 2<sup>ND</sup> READING</b>
	Jul. 17, 2018	Jul. 24, 2018	Aug. 28, 2018
<b>PROPERTY ADDRESS:</b>	<b>5224 Peachtree Pkwy.</b>		

# **Action Item**

## **(Town Green)**



# Memo

---

TO: City Council

FROM: Diana Wheeler, Community Development Director

CC: Brian Johnson, City Manager

DATE: August 28, 2018

SUBJECT: Town Green Manager Contract

---

## Recommendation

Authorize the City Manager to enter into a contract with Premiere Events to manage events at the Town Green in an amount not to exceed \$164,500.

## Background

The Arts Council and Staff have worked together to develop a series of programs and events for the Town Green. The 12-month events calendar was then used as a basis for a Request for Proposals that was distributed to event planners, professional associations, and events-related organizations.

The City received two proposals in response to the RFP. One of the two was determined to be unqualified. The remaining proposal, submitted by Premier Events, was determined to be qualified and sufficient to meet the needs expressed in the RFP.

Premier Events was founded in 1995 and has participated in numerous special events throughout the Atlanta area over its 23- year history including:

Music Midtown, Chastain Park, and Atlanta Dogwood Festival concessions management  
High Museum Atlanta Wine Auction  
Avalon Tree Lighting and Grand Opening  
Taste of Alpharetta  
Atlantic Station St. Patrick's Day celebration  
Light the Night Walk

Based on their qualifications, including experience and references (from the High Museum, the City of Woodstock, and the City of Alpharetta), Staff believes that Premier Events has the expertise to manage Town Green events and recommends that they be retained for this purpose.

It should be noted that Premier Event's fee includes events planning, marketing, event labor, and on-site coordination. However, their fee does not include services to third parties for items such as port-o-lets, security, dumpsters, and talent (i.e. musicians, magicians, balloon artists, and face painters). Staff will work with the management company to develop a logistics plan and budget for each event. All of the events, combined, (including the management fee) will be limited to the City's Town Green budget allocation of \$225,000.

**Action Item  
(Field Services  
and Stormwater  
Maintenance)**



## MEMO

---

TO: Mayor & Council  
CC: Brian Johnson, City Manager  
FROM: Greg Ramsey, P.E., Public Works Director  
DATE: August 28, 2018  
SUBJECT: Field Services & Stormwater Maintenance Contract

---

Changes were made to the draft Optech Monette contract and scope of services for Field Services, Right of Way & Stormwater Maintenance following the initial discussion at the June 2018 Work Session. The updated draft contract is attached for your review and consideration at the Mayor & City Council Meeting scheduled for August 28, 2018. The major changes from the initial draft include a focus on additional mowing services.

The contract now includes provisions for four, seasonal FTEs for a period of May through September. This change of scope is intended to provide additional resources to maintain a greater frequency during this period that constitutes the bulk of the grass mowing season. These FTEs will be focused solely on grass mowing, while the original crew of FTEs will continue to focus on the existing scope that includes street maintenance, sign maintenance, right of way maintenance, stormwater maintenance, mowing and other duties that arise during the day to day operations of the Public Works Department. This additional scope increases the proposed contract fee to \$700,000 annually.

**AGREEMENT**  
**for**  
**PUBLIC WORKS CONTRACT OPERATION**  
**for the City of Peachtree Corners, Georgia**

This AGREEMENT is made on this 25th day of August 2018, between the City of Peachtree Corners, Georgia, (hereinafter "City"), whose address for any formal notice is City Hall, 310 Technology Parkway NW, Peachtree Corners, Georgia 30092 and Optech Monette, LLC, (hereinafter "Optech") with corporate offices at 2150 Brandon Trail, Alpharetta, Georgia 30004.

City and Optech agree:

**ARTICLE 1. GENERAL**

- 1.1 All definitions of words or phrases used in this Agreement are contained in Appendix A.
- 1.2 All facilities, grounds and equipment now owned by the City shall remain the property of the City.
- 1.3 This Agreement shall be governed by and interpreted in accordance with the laws of the State of Georgia. This Agreement shall be binding upon the successors of each of the parties and that Assignment, will not be unreasonably withheld.
- 1.4 All notices shall be in writing and transmitted by certified mail or personal delivery to the addresses listed above.
- 1.5 This Agreement, including Appendices, is the entire Agreement of both parties and may only be modified by mutually agreed written amendments signed by both parties. Wherever used, the terms "City" and "Optech" shall include the respective officers, directors, elected or appointed officials and employees.

**ARTICLE 2. SCOPE OF SERVICES: OPTECH**

As a general statement of responsibilities assigned under this contract:

Provide Public Works Professional Management Services, including all current operations and maintenance services of the Peachtree Corners Public Works Operations, which broadly and currently consists of the following activities: Street and Drainage, Landscaping of medians, Solid Waste (yard debris and non-household refuse-not garbage).

More specifically, Optech shall:

2.1 Hire, train and employ employees to staff and operate the Project to provide continuing efficient and timely service in the operation of the Public Works on behalf of the City. Optech shall assume responsibility for the cost of employing the Project workforce to manage, operate and maintain the City's Public Works facilities. The number of staff required will be mutually negotiated and agreed upon between the City and the Contractor each year, depending upon the Scope of work anticipated by City forces. Where applicable, Project staff will meet certification requirements of the State of Georgia.

2.2 Optech shall provide employees within the Public Works Department, upon their successful passing of a drug physical and background screening for insurance purposes. Employees currently charged with operational responsibility for project vehicles must possess a current license and be of acceptable risk to Optech's insurance provider. Optech shall provide a competitive medical, dental and life insurance plan, reasonably consistent with what is deemed to be an attractive Benefits plan for their staff.

2.3 City Right-of-Way (ROW) Maintenance shall include:

- Landscaping
- Plant Replacement
- New Plantings as needed in medians and ROW
- ROW Trash and debris pickup
- Pothole Repair
- Street Sign replacement
- Sidewalk Repairs
- Special Event Coverage
- Downed Tree Removal Support
- Street Sweeping Management
- Emergency Services/After hours call-out

2.4 City Right-of-Way (ROW) Maintenance "Surge" Services shall include:

In addition to the services as outlined in 2.3 above, the Contractor shall provide an additional team of 4 staff members to work on a "fully dedicated" basis of forty hours each week, cutting grass and trimming during the peak growing season (May thru September) to perform ROW grass cutting services. These workers shall be considered "seasonal labor".

2.5 City Storm Drains and Open Ditches maintenance to include:

- Minor pipe repair
- Catch basin grouting/re-sealing
- Lid, Curb and Gutter Repairs

## Ditch Cleaning & Maintenance

Vac-Con Truck Services on a case-by-case basis and rate

Emergency Services/after-hours call outs

Debris removal from stormwater facilities

- 2.6 Maintain the vehicles, equipment and other assets utilized by Optech staff in a manner consistent with current practice. It is understood that Optech will be responsible for the cost of all maintenance and repair of these assets owned by Optech and the cost shall also include liability insurance, car tags, etc. as normally required by law.
- 2.7 Optech staff will continue the current level of pickup of routine solid waste (non-household refuse) as experienced within the City. City will be responsible for the associated landfill costs for disposal of all trash and litter.
- 2.8 Provide dead animal pickup as needed within the City, consistent with current practice.
- 2.9 Provide traffic sign repair and maintenance within the City. City will be responsible for the cost of all signs required.
- 2.10 Perform work planning and scheduling for the staff utilizing the maintenance management system and document the completion of those work tasks and work orders. These reports shall be provided to the City Manager monthly.
- 2.11 Perform other Public Works professional services for the City, including maintenance repair, new construction and/or expansions of the municipal infrastructure, storm drain, curbs and gutters and streets system if directed by the City. Such services must be authorized by the City prior to work being performed and the cost of these additional services will be negotiated between the City and Optech prior to any work being performed.
- 2.12 Current purchasing policies and procedures of the City of Peachtree Corners will remain in place. In addition, Optech shall update the City monthly on the cost-to-date of repair parts versus the City's annual budget amount for "Utility System Maintenance and Repair" for the Public Works Department.
- 2.13 If there is an emergency requiring Optech to purchase a repair part and incur an expense on behalf of the City which exceeds \$ 500, Optech will be responsible to document and immediately notify the City's representative of the occurrence. Any repair parts purchased on behalf of the City under an emergency condition will be reimbursed to Optech upon presentation of a proper receipt or copy of an invoice with appropriate justification of the purchase.
- 2.14 During any public works or utilities rehabilitation project, Optech shall

comply with all State and Federal Permit requirements.

- 2.15 Perform other professional management services that are not noted as part of the routine Scope of Services in managing the Public Works Department, as directed by the City. These services typically include janitorial services, Parks and Open Spaces maintenance, Ball Park Maintenance, Jogging Trails construction and Maintenance, etc. Any special Emergency Services required must be preauthorized by the City with added compensation to be mutually negotiated in good faith between the parties based on the equipment and staff required for the emergency.
- 2.16 Provide capital planning assistance to the City, if desired, for Public Works. Recommendations shall be submitted annually to the City Manager and his staff during the term of this Agreement.

### **ARTICLE 3. SCOPE OF SERVICE: CITY**

Under terms of this Agreement the City shall have responsibility for the following:

- 3.1 Keep current all existing Project easements, warranties and licenses that have been granted to the City. Secure new easements and rights-of-way as required to enable Optech to perform the Scope of Work under the contract.
- 3.2 Pay all franchise, property or other normal taxes associated with the Project.
- 3.3 Continue to provide for Optech's use any equipment presently in use at the City's current Public Works Department that may be owned by the City.
- 3.4 Future replacement responsibilities for any vehicles and equipment required may be assumed by Optech, if requested by the City. Such assignment of responsibility for vehicle and equipment replacement will require the City and Optech to negotiate a fair adjustment to the contract price for services under this Agreement on a case-by-case basis.
- 3.5 Provide auto tags for any vehicles and equipment owned by the City, but operated by Optech staff.
- 3.6 City shall continue to pay for all utilities, Landfill disposal fees, Vac-Con services as required, chemicals, limestone, asphalt, gravel, cement, water meters and all repair parts required for proper operation of the Public Works Department, consistent with current practice and also within current City budgeting practices. Specific line items for work to be performed by Optech in performance of this contract are presented in Appendix D of this contract
- 3.7 Provide a public works facility for operations, storage and staff work space.

#### **ARTICLE 4. COST OF WORK**

- 4.1 City shall pay to Optech as compensation for ROW Maintenance Services an annual fee of \$ 700,000.00. In addition, the annual compensation for Storm Drain Maintenance Services will be \$205,950.00, for a total annual fee of \$ 905,950.00 for services rendered in the base year.
- 4.2 Subsequent year's fees shall be limited to an annual increase of 2.0% per year for increases in fuel costs, medical and dental insurance cost and raises for staff, unless there is a mutually agreed upon change in scope resulting in an increase in manpower or equipment required to perform the work.
- 4.3 Prior to any increases in cost due to a scope change, as specified, both parties pledge to negotiate and mutually agree on the resulting cost of work to reflect a fair and equitable increase in manpower staffing or added vehicle and equipment needed.
- 4.4 In the event these changes in the scope of services occur or if there is an increase in the labor force required by Optech, the City and Optech pledge to negotiate in good faith a commensurate adjustment in the annual base fee, fair to both parties.

#### **ARTICLE 5. PAYMENT OF COMPENSATION**

- 5.1 One-twelfth (1/12) of the annual fee for the current year shall be due and payable on the last day of the month for each month that services are provided and will be paid by the City on the next appropriate docket.
- 5.2 All other compensation, including any pass-thru expenses, billed by Optech is due upon receipt of the invoice and is payable on the next appropriate docket.

#### **ARTICLE 6. CHANGE IN THE WORK**

- 6.1 The City may make changes in the work, provided the changes are reasonably within the scope of this Agreement, and Optech shall expeditiously perform the changes as directed.
- 6.2 Public Works expansions which result in a recognized need and City approved increase in staffing constitute a change in the work. A commensurate adjustment in the contract will be negotiated in good faith between the City and Optech.
- 6.3 If the City experiences a natural disaster; flooding, torrential rains, windstorms, tornadoes, snow or ice storms, etc., and Optech then experiences

a significant expense relating to overtime for the assistance in the cleanup and restoration of the City's Public Works infrastructure, then Optech shall be reimbursed for the added cost of the overtime and any added equipment costs associated with the disaster cleanup. Optech will also assist the City in seeking reimbursement from the appropriate State and Federal agencies.

#### **ARTICLE 7. ACCOUNTING RECORDS**

- 7.1 Optech shall keep full and detailed records and books of account as of the effective date of this Agreement recording the direct costs associated with the Project, under the provisions of this Agreement.
- 7.2 The City shall also be afforded reasonable access to Optech's other records, and books related to the Project performance.
- 7.3 Optech shall preserve financial documents and other records to which City has access rights without additional compensation for a period of three years, or such longer period as required by law, after final payment.

#### **ARTICLE 8. INDEMNITY, LIABILITY AND INSURANCE**

- 8.1 Optech shall hold City harmless from any liability or damages including compensatory and punitive damages, which may arise from Optech's negligence, carelessness of Optech's staff or Optech's failure to perform responsibly under the terms of this Agreement.
- 8.2 City shall be responsible for negligence of its staff and officers.
- 8.3 Optech's liability to City under this Agreement excludes all indirect, consequential or compensatory and punitive damages arising from the normal operation, maintenance and management of the Project other than the compensatory and punitive damages arising directly from Optech's negligence or Optech's failure to perform responsibly under the terms of this Agreement.
- 8.4 Optech shall obtain insurance coverage of a type and in the amounts described in Appendix C. Nothing herein shall be construed as any waiver of immunity available to the City by Georgia or Federal law.
- 8.5 Optech is responsible to the City for fines incurred and levied by any governmental regulatory agency as a result of negligent operations, carelessness and a failure to perform responsibly under the terms of this Agreement by Optech staff.

## **ARTICLE 9. TERM AND TERMINATION**

- 9.1 The initial base term of this Agreement shall commence on January 1, 2019 and extend until December 31, 2023. Thereafter, this Agreement may be renewed and renegotiated for up to two (2) additional terms of four (4) years each, if desired by the City. Subsequent terms and extension of this contract beyond that period may be negotiated between the City and Optech, if so desired by both parties.
- 9.2 Either party may terminate this Agreement for a material breach of the Agreement by the other party after giving written notice of breach and allowing the other party thirty (30) days to correct the breach. If the offending party fails to correct the breach then the Agreement may be terminated within thirty (30) days. Further, three material breaches in any one calendar year shall be sufficient grounds for termination of this Agreement.
- 9.3 Upon notice of termination by City, Optech shall assist City in an orderly transition of the staff and operation of the Project by City forces.

## **ARTICLE 10. LABOR DISPUTES; FORCE MAJEURE**

- 10.1 In the event activities by City's employee groups or unions cause a disruption in Optech's ability to perform at the Project, City or Optech may seek appropriate injunctive court orders. Optech will continue to operate the Project on a best-efforts basis until any such disruptions cease.
- 10.2 Neither party shall be liable for its failure to perform its obligations under this Agreement if performance is made impractical, impossible or abnormally costly due to any unforeseen occurrence beyond its reasonable control. The party invoking Force Majeure shall notify the other party within ten (10) working days after its occurrence.
- 10.3 If, during the term of this Agreement, a Collective Bargaining Unit is formed by the employees, Optech will abide with current labor laws in negotiating with the Union for continuation of services under this Agreement. The City will be asked to designate a representative to participate in the negotiations and review any proposed labor agreements prior to their acceptance by Optech. If there is a price increase as a result of a labor agreement, then the City and Optech will negotiate in good faith an appropriate price change which is fair to both parties.

The City warrants that this agreement has been approved by the Mayor and Council in an open meeting and that the Mayor has been authorized to sign on its behalf. Optech warrants that it is a valid corporation created under the laws of the State of Georgia, that

it is an active corporation and that its President has the power and authority to execute this agreement. Therefore, both parties indicate their approval of this Agreement by their respective officers' signatures below:

Both parties indicate their approval of this Agreement by their signatures below:

**Authorized Signatures:**

City of Peachtree Corners, Georgia  
(City)

Optech Monette, LLC  
(Optech)

by \_\_\_\_\_

by \_\_\_\_\_  
Robert W. Monette, P.E.

Title:

Title: President and CEO

Date: \_\_\_\_\_

Date: \_\_\_\_\_

## **APPENDIX A DEFINITIONS OF TERMS**

1. The "Project" means all equipment, vehicles, grounds and facilities described in Appendix B and where appropriate, the management, operations and maintenance of such by the Contractor on behalf of the City.
2. "Capital Expenditures" means any expenditure for the purchase of new equipment; or facility items or utility system repairs which significantly extend facility life and or expenditures that are planned, non-routine or budgeted by the City.
3. "Labor and benefits" cost is defined as salaries, group insurance, dental insurance, workmen's compensation, retirement and social security for employees.
4. "Administrative" cost is defined as audit and accounting fees, insurance, interest expense, depreciation, state fees, recycling fees, curbside fees, landfill fees, ad valorem tax, purchase of natural gas and electric current for resale to the public, fund transfers and PCB testing.
5. "Direct Costs" is defined as supplies cost for gas, oil, lubrication, advertising, non-specific engineering cost, postage, computers and software, training, telephone service, travel expenses of employees and uniform expense.
6. "Maintenance" means the cost of routine and/or repetitive activities required or recommended by the equipment or facility manufacturer or Optech as required to maximize the service life of equipment, vehicles and any assets of the City.
7. "Repairs" means the cost of those activities required for operational continuity, safety, and performance generally due to failure or to avert a failure of the equipment , vehicles or facilities or a component thereof.
8. "Emergency" is defined as any situation or in which Optech staff must respond quickly to protect the health and well-being of the Public. Its intent is clearly in an effort to protect the interests of the people in the event of a natural disaster, hurricane, tornado or other unusual occurrence.
9. "Surge" service is defined as the "peak growing season" period of May 1<sup>st</sup> thru September 30<sup>th</sup> of each calendar year. The City has requested a staff team of four (4) be provided and totally focused on ROW grass cutting during this season each year.

## **APPENDIX B**

### **LOCATION OF PROJECT**

Optech agrees to provide Public Works and Public Utilities management, operations and maintenance services of the following:

- a. All equipment, vehicles and facilities used to operate the Peachtree Corners Public Works Department.
- b. Operations for the City consisting of the following Departments: Right of Way (ROW) Maintenance, Street and Storm Water Drainage, Solid Waste (yard debris and refuse)
- c. Other services as described in Article 2 of this Contract Agreement.

## **APPENDIX C**

### **INSURANCE COVERAGE**

Optech shall maintain:

1. Statutory worker's compensation for all of Optech's employees at the project as required by the State of Georgia.
2. Comprehensive general liability insurance in an amount not less than \$ 2,000,000 combined single limits for bodily injury and/or property damage.
3. Vehicle and equipment liability insurance coverage for the operation of City owned equipment. This insurance coverage will cover personal injury and vehicle repair or replacement for the injured parties and the City, should an Optech staff person operating the vehicle be at fault through negligent operation of the vehicle.

## **APPENDIX D PROJECT COSTS**

Optech's price includes all costs associated with a "labor services" contract which normally include the following budget categories:

- \* Salaries
- \* Overtime (does not include disaster cleanup)
- \* Federal and State Unemployment
- \* Social Security
- \* Medical and Dental Insurance
- \* Worker's Compensation Insurance
- \* General Liability Insurance
- \* Uniforms and Boots
- \* Computer and Project Software
- \* Project Vehicles
- \* Project Equipment as required
- \* Training Costs (State certification schools as required)
- \* Corporate Operations Support

### **The City of Peachtree Corners Costs shall include the following:**

It is mutually understood the City will provide and pay for:

Utilities for City owned assets, landfill costs, chemicals, insurance for City owned assets, asphalt, gravel, limestone and cement required, pine straw and other landscaping maintenance supplies as dictated by City forces, storm drain repair parts, Vac-Con costs as required, capital improvements or rehabilitation of the City's facilities, consistent with current practice. Special projects consisting of major capital improvements or maintenance repair of storm drains, curbs, gutters and roads may be performed by the Contractor, if requested by the City. Costs of these special capital improvement projects will be negotiated on a case-by-case basis and a price agreed upon prior to any work being performed by the Contractor.

The City will continue to pay for any easements required and maintenance and system repair parts purchased on behalf of the Public Works Department, consistent with current practices. At the City's discretion, the Contractor may also provide additional professional services during severe storms, snow and ice events. Those services may include salt and sand spreaders, snow plows, etc. and shall be provided by the Contractor at the City's request. Fees will be negotiated prior to services being performed. Fees charged shall be on an hourly rate basis, depending on the equipment and staff level required for that special circumstance.