



ZONING BOARD OF APPEALS AGENDA

JANUARY 16, 2019
7:00 PM
CITY HALL

- A. Roll Call
- B. Approval of Minutes: December 19, 2018
- C. Approval of Agenda
- D. Old Business: (None)
- E. New Business:

V2018-007 Noah Huffman. Request to encroach into the required 25' impervious setback area landward of the required 50' stream buffer to allow a rear addition to an existing single-family home located at 5150 Thamesgate Close in Dist. 6, Land Lot 331, Peachtree Corners, GA

- F. City Business Items: (None)
- G. Comments by Board Members.
- H. Adjournment.



DRAFT COPY

CITY OF PEACHTREE CORNERS
ZONING BOARD OF APPEALS MINUTES
December 19, 2018
7:00PM

The City of Peachtree Corners held a Zoning Board of Appeals meeting. The meeting was held at City Hall, 310 Technology Parkway, Peachtree Corners, GA, 30092. The following were in attendance:

Zoning Board of Appeals: Wayne Knox, Post B
Marcia Brandes, Post A
Amreeta Regmi, Post C
Matthew Gries, Post D
James Blum, Post E
Scott Busby, Attorney

Staff: Diana Wheeler, Com. Dev. Director
Jeff Conkle, Planning & Zoning Admin.
David Rhodes, City Attorney
Kym Chereck, City Clerk

NEW BUSINESS:

PH2018-015 DDCB, Inc. An appeal of an administrative decision regarding a proposed self-storage facility at 4779 Peachtree Corners Circle in Dist. 6, Land Lot 301, Peachtree Corners, GA.

Simon Bloom of Bloom Parham provided background information regarding the property located at 4779 Peachtree Corners Circle, from 1970 to current date. Mr. Bloom provided various handouts which are available via the City Clerks' office.

Diana Wheeler, Community Development Director, provided background information regarding the property located at 4779 Peachtree Corners Circle, prior to the City's enactment of Ordinance 2016-01-64 to current date.

A motion was made after discussion.

MOTION THAT WE AFFIRM THE ADMINISTRATIVE DECISION ON CASE PH2018-015 DDCD, INC.

By: Marcia Brandes

Seconded: Matthew Gries

Vote: (4-1) (Brandes, Gries, Knox, Regmi) (Blum denied)

MINUTES: Approval of September 19, 2018 Minutes.

MOTION TO APPROVE THE SEPTEMBER 19, 2018 MINUTES.

By: Amreeta Regmi

Seconded: Matthew Gries

Vote: (5-0) (Regmi, Gries, Knox, Blum, Brandes)

CITY BUSINESS ITEMS:

Mrs. Wheeler stated that there will be a Zoning Board of Appeals meeting on January 16, 2019.

COMMENTS BY BOARD MEMBERS:

None.

AJDOURNMENT:

MOTION TO ADJOURN THE MEETING AT 9:10 PM.

By: Matthew Gries

Seconded: James Blum

Vote: (5-0) Gries, Blum, Knox, Brandes, Regmi)

Approved,

Attest:

Wayne Knox, Chairman

Kymerly Chereck, City Clerk

V2018-007
5150 Thamesgate Close

**City of Peachtree Corners
Zoning Board of Appeals
January 16, 2019**

| | |
|---------------------------|--|
| CASE NUMBER: | V2018-007 |
| PROPERTY LOCATION: | 5150 Thamesgate Close 6th District, Land Lot 331, Parcel 401 |
| CURRENT ZONING: | R-100 |
| PARCEL SIZE: | 0.38 acres |
| PROPERTY OWNER: | Noah Huffman |
| APPLICANT: | Noah Huffman |

REQUEST

The applicant would like to construct an addition to the rear of an existing single-family home. The proposed addition consists of a new living room and deck with roof, both of which would partially extend into the impervious setback area that extends 75' from the creek that forms this parcel's rear property line.

LOCATION AND BACKGROUND

The property in question is a single-family parcel on the west side of Thamesgate Close, a dead-end street that is accessed via neighborhood streets branching off East Jones Bridge Road. The property abuts a creek at the rear which eventually empties into the Chattahoochee River on the former FiServ property. The house was constructed in 1998.

During the time of construction, the stream buffer regulations were not in place. The requirements for this and other buffers were enacted by Gwinnett County in 2005.

Today's regulations require a 50' undisturbed natural vegetative buffer plus an additional 25' impervious setback (totaling 75' from the creek). The addition is proposed to extend variously from 3' to 7' into the impervious setback.

VARIANCE REQUIREMENTS

Sec. 1605.3 identifies specific findings that must be made in order for a variance to be granted. These findings are as follows:

- A. There are extraordinary and exceptional conditions pertaining to the particular property in question because of its size, shape or topography, and

- B. the requirements on this particular piece of property would create an unnecessary hardship, and
- C. such conditions are peculiar to the particular piece of property involved, and
- D. such conditions are not the result of any actions of the property owner, and
- E. relief, if granted, would not cause substantial detriment to the public good nor impair the purposes or intent of this Resolution.

ANALYSIS

This house was constructed prior to adoption of the current stream buffer regulations. The lot itself was also platted prior to these regulations.

Recently, the property owner became interested in constructing the addition that was planned years ago but never built. After discussion with staff, the owner and contractor were not able to find an alternative location for the addition that would fit structurally with the home while avoiding the stream buffer area.

The average size of the homes in this immediate area is 2,897 square feet, which is significantly larger than the owner's 2,040 square feet. Even with the extra 360 square feet of living space and 238 square feet of deck space proposed, an addition of this size would not be out of character for the neighborhood.

CONCLUSION

After reviewing the applicant's proposal and the variance criteria, staff finds that the buffer encroachment may be justified, as there are conditions unique to the property that are not the result of any action of the current property owner. The property owner's actions did not create the stream buffer requirements that were enacted after platting of the lot and construction of the house. Although the lot averages 180 ft. in depth, less than half of it is buildable because of the buffer requirements. And the existing house is already located as close to the front of the property as the building setback allows.

If approval of the stream buffer variance is considered, the following condition is recommended:

- The applicant shall not create any additional impervious area within the impervious setback beyond that which is shown on the attached plan prepared by James H. Carter and dated 11/20/2018.



CITY OF PEACHTREE CORNERS
COMMUNITY DEVELOPMENT
 310 Technology Parkway, Peachtree Corners, GA 30092
 Tel: 678.691.1200 | www.peachtreecornersga.gov

Case Number: _____ Received Date: _____ Hearing Date: _____

**Variance Application from the Zoning Resolution
 (Zoning Board of Appeals)**

Please complete this application & submit it with all attachments as stated in the Variance Application Guidelines. A variance cannot be processed unless all information accompanies the application; a variance from a condition of zoning or special use cannot be accepted.

| Applicant Information | Property Owner Information |
|--|--|
| Name <u>Noah Huffman</u> | Name <u>Noah Huffman</u> |
| Address (all correspondence will be mailed to this address): <u>5150 Thamesgate</u> <u>Close</u> | Address <u>5150 Thamesgate</u> <u>Close</u> |
| City <u>Peachtree Corners</u> | City <u>Peachtree Corners</u> |
| State <u>GA</u> Zip <u>30092</u> | State <u>GA</u> Zip <u>30092</u> |
| Phone <u>770-330-3495</u> | Phone <u>770-330-3495</u> |
| Contact Person Name: <u>Noah Huffman</u> Phone: <u>770-330-3495</u> | |
| Email Address: <u>nhuffman@comcast.net</u> | |
| Applicant is the (please check or circle one of the following): <input checked="" type="checkbox"/> Property Owner <input type="checkbox"/> Owner's Agent <input type="checkbox"/> Contract Purchaser | |

Address of Property 5150 Thamesgate Close, P'tree Corners, GA 30092
 Subdivision or Project Name Westworth Lot & Block Lot 4 block E
 District, Land Lot, & Parcel (MRN) 6th, 331, Plat Book 73, Pg 14, Deed Book 47573, 189
 Proposed Development Addition to residence
 Permit Number (if construction has begun) _____
 Variance Requested To build slightly over the impervious buffer.

A complete application includes the following:

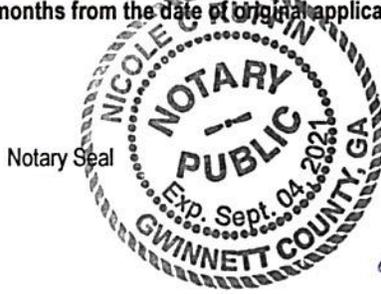
- | | |
|---|--|
| <input checked="" type="checkbox"/> Application Form (1 original and 1 electronic copy) | <input checked="" type="checkbox"/> Application Fee |
| <input checked="" type="checkbox"/> Site Plan and/or Boundary Survey (1 original, 1 8 1/2"x11" or 11"x17" reduction and 1 electronic copy.) | <input checked="" type="checkbox"/> Adjacent owner(s) written support (1 original and 1 electronic copy) |
| <input checked="" type="checkbox"/> Letter of Intent (1 original and 1 electronic copy) | <input checked="" type="checkbox"/> Additional Documentation as needed |
| <input checked="" type="checkbox"/> Signed & notarized Certification page | |



CITY OF PEACHTREE CORNERS
COMMUNITY DEVELOPMENT
310 Technology Parkway, Peachtree Corners, GA 30092
Tel: 678.691.1200 | www.peachtreecornersga.gov

Applicant Certification

The undersigned, or as attached, is the record owner of the property considered in this application and is aware that an application or reapplication for a variance denied by the Board of Zoning Appeals may not be made earlier than 12 months from the date of original application (Article XVI, Section 1608).



Noah Huffman 11.27.18
Signature of Applicant Date

Noah Huffman Home Owner
Typed or Printed Name & Title

[Signature] 11.27.18
Signature of Notary Public Date

Property Owner Certification

The undersigned, or as attached, is the record owner of the property considered in this application and is aware that an application or reapplication for a variance denied by the Board of Zoning Appeals may not be made earlier than 12 months from the date of original application (Article XVI, Section 1608). I, as the property owner, authorize the above noted applicant to represent me with regards to this application.



Noah Huffman 11.27.18
Signature of Property Owner Date

Noah Huffman Home Owner
Typed or Printed Name & Title

[Signature] 11.27.18
Signature of Notary Public Date

Community Development Use Below Only

Fees Paid: _____ By: _____

Related Cases & Applicable Conditions:

Variance Description: _____

December 17, 2018

Noah and Carolyn Huffman
5150 Thamesgate Close
Peachtree Corner, GA 30092

Attention: Peachtree Corners Zoning Board of Appeals

I purchased the property at 5150 Thamesgate Close in January, 2007. The property has four bedrooms, three- and one-half baths, with a three-car garage.

The original owner had a boat so instead of a living room, they opted to take that living space and add the third garage. There is ample room upstairs for the bedrooms, because they go out over the garages, but unfortunately, this left the living space downstairs at a minimum. Downstairs only has 800 square feet.

I had plans approved to add a four-season room and extend past the current deck area. Gwinnett County approved the plans and gave me the permit. Then, we all know what happened to the economy in 2008. Because of economic uncertainty. The addition was halted.

Recently, after marrying and needing more living space, we decided to sell and look for another Peachtree Corners' property. While interviewing realtors, multiple realtors told us the small living space was very detrimental to selling the property. The location is great and the home well maintained but it was going to be difficult to find the right buyer.

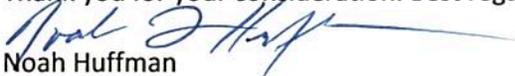
After weighing our options, with input from the realtors, we decided to go back to the original idea of opening the outside wall and adding a den onto the back of the house. This would "open up" the house and give us the living space we desired.

We had plans drawn up, hired a builder and had the property surveyed. In trying to get the addition permitted, the builder found the issue of an impervious buffer that we would slightly encroach. This buffer was originally at 50' but an additional 25' was apparently added, now causing the issue. The corner of the room would encroach only about 3 feet and the corner of the deck would encroach by approximately 7 feet.

With that explanation, I am asking for a variance to add a den and covered deck to the back of our home. This would increase the value of the home and add value to the neighborhood. At 2040 square feet, our home is certainly one of the smallest in the neighborhood. The proposed additional living space would add 360 square feet of heated space and 238 square feet of covered deck.

Obviously, there would be silt fencing used to protect the environment and when the project is completed, there would be landscaping including evergreen shrubs and sod to add beauty and disperse rainwater.

Thank you for your consideration. Best regards,


Noah Huffman

December 1, 2018

RE: Huffman Project

5150 Thamesgate Close

To Whom It May Concern:

I own the property adjacent to the proposed project and reside there. Having reviewed the proposed plans and studied the site, I have no objection to a variance being granted as to any small encroachment into the 75' impervious zone. Furthermore, the proposed addition is harmonious with the existing neighborhood and adds to the value of the site. Thank you very much.

A handwritten signature in black ink, appearing to read 'M. Henowitz', with a horizontal line extending to the right.

Mark R. Henowitz

5160 Thamesgate Close

December 9, 2018

RE: Huffman Project

5150 Thamesgate Close

To whom it may concern:

I own the property next to the this project. After reviewed all matters from their proposed plans I DO NOT HAVE ANY PROBLEMS.

I am also so exciting to see their future back of house.

Thank you for doing this project to make our neighborhood property values and better views.

Thank you so much

A handwritten signature in grey ink, appearing to read 'In Kyun Sin', with a stylized flourish at the end.

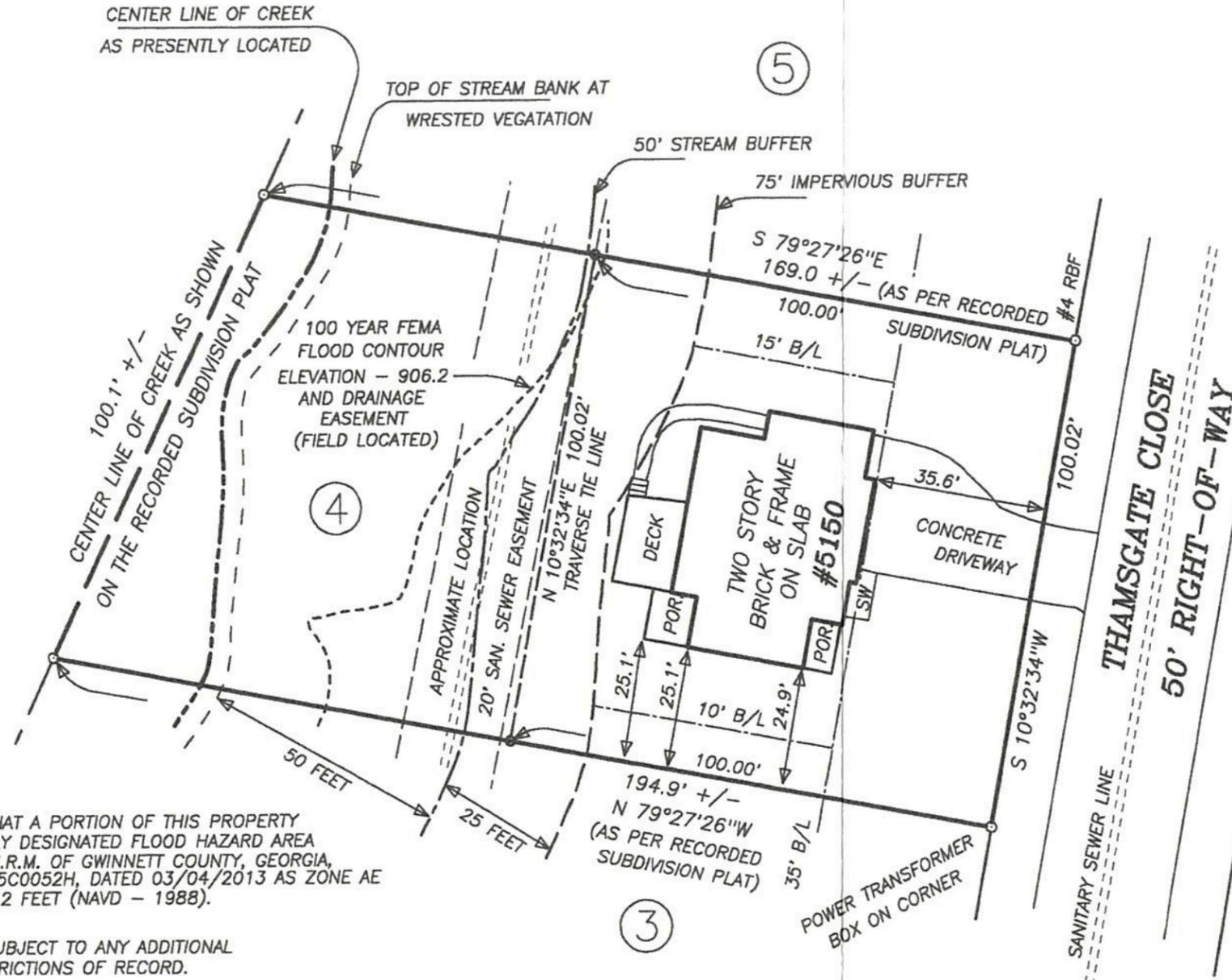
In Kyun Sin

5140 Thamesgate Close





Current



THIS IS TO CERTIFY THAT A PORTION OF THIS PROPERTY LIES WITH A FEDERALLY DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE F.I.R.M. OF GWINNETT COUNTY, GEORGIA, MAP PANEL NO. 13135C0052H, DATED 03/04/2013 AS ZONE AE WITH A B.F.E. OF 906.2 FEET (NAVD - 1988).

THIS PROPERTY IS SUBJECT TO ANY ADDITIONAL EASEMENTS OR RESTRICTIONS OF RECORD.

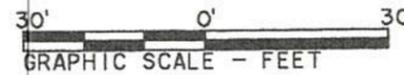
DIMENSIONS FROM HOUSE TO PROPERTY LINES SHOULD NOT BE USED TO ESTABLISH FENCES.

THIS PLAT IS FOR EXCLUSIVE USE BY CLIENT. USE BY THIRD PARTIES IS AT THEIR OWN RISK.

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 62,300 FEET AND AN ANGULAR ERROR OF 2 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE COMPASS RULE.

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 10,000 FEET.

EQUIPMENT USED: TOPCON ROBOTIC TOTAL STATION & RTK G.P.S.



LEGEND

| | | | |
|------|-----------------------|------|----------------|
| RBS | REBAR SET | SSE | SANITARY ESMT. |
| RBF | REBAR FOUND | R\W | RIGHT-OF-WAY |
| OTPF | OPEN TOP PIPE FND. | CONC | CONCRETE |
| CTPF | CRIMPED TOP PIPE FND. | DK | DECK |
| BL | BUILDING LINE | PAT | PATIO |
| DE | DRAINAGE EASEMENT | S | STOOP |
| UE | UTILITY EASEMENT | -X- | FENCE |

PRESENT ZONING: R-100

35 FEET FRONT SETBACK

ONE YARD SETBACK - 10 FEET

TWO YARD SETBACK - 25 FEET

40 FEET REAR SETBACK

DEED BOOK 47573 ~ PAGE 189

PLAT BOOK 73 ~ PAGE 16

AREA: 16,402 SQ.FT. +/-

0.377 ACRES +/-

TO CENTER LINE OF CREEK AS PRESENTLY LOCATED

AS-BUILT AND BOUNDARY SITE PLAN FOR:
ROBINSON RESIDENTIAL CONSTRUCTION, LLC
 5150 THAMSGATE CLOSE
 CITY OF PEACHTREE CORNERS, GEORGIA 30092

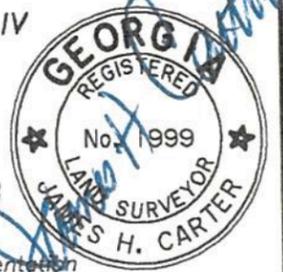
LOT 4, BLOCK E
 WENTWORTH SUBDIVISION, UNIT IV
 LAND LOT 331, 6TH DISTRICT
 GWINNETT COUNTY, GEORGIA

SCALE: 1" = 30'

FIELD WORK DATE: 11/15/2018

PLAT DATE: 11/20/2018

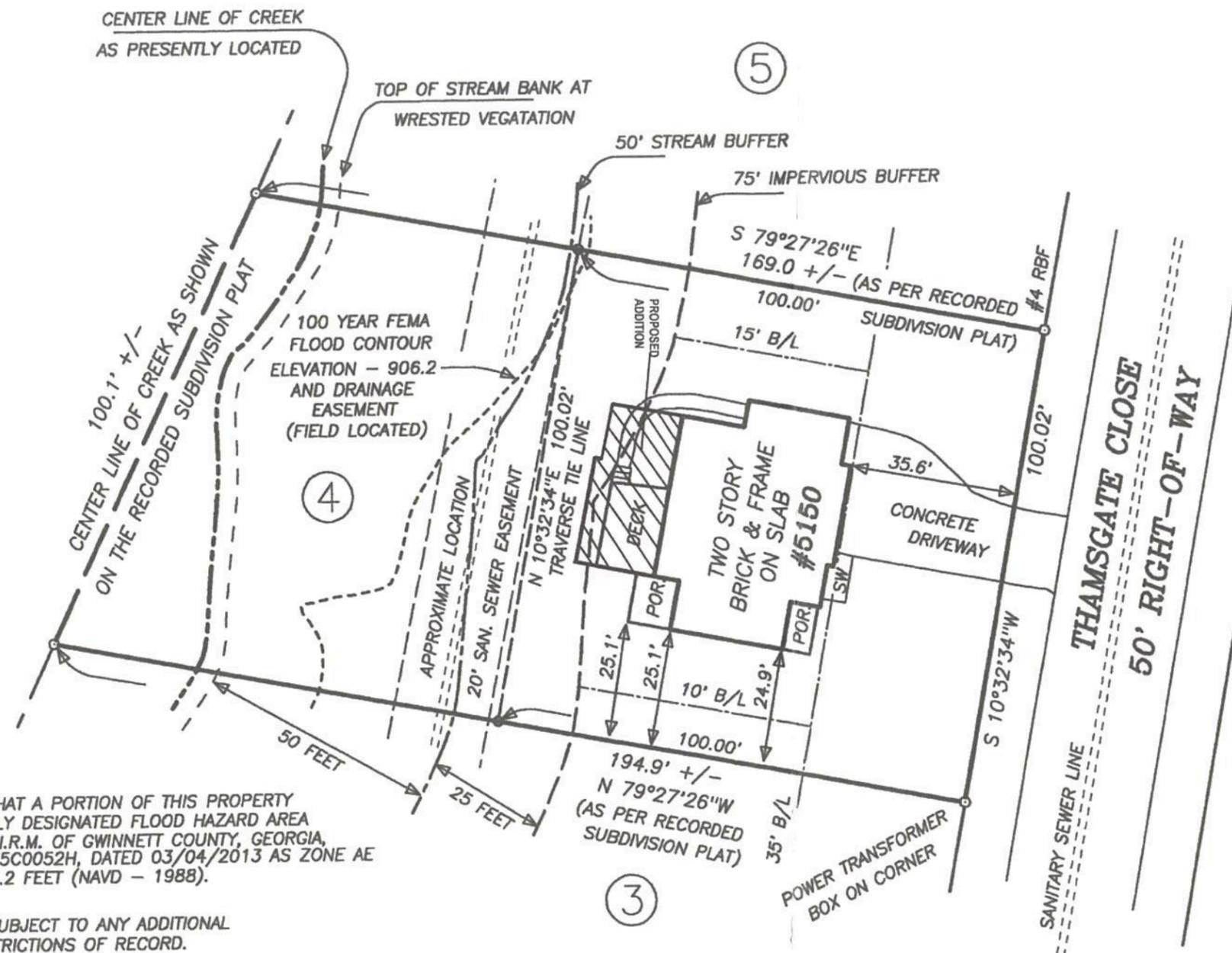
In my opinion, this plat is a correct representation of the land platted and has been prepared within the minimum standards and requirements of law.



JAMES H. CARTER
LAND SURVEYING COMPANY
 P.O. BOX 957982, DULUTH, GEORGIA 30095
 Tel: (404) 213-5706 jcarter@carterlandsurveying.com

EXISTING CONDITIONS

Proposed



PRESENT ZONING: R-100
 35 FEET FRONT SETBACK
 ONE YARD SETBACK - 10 FEET
 TWO YARD SETBACK - 25 FEET
 40 FEET REAR SETBACK

DEED BOOK 47573 ~ PAGE 189
 PLAT BOOK 73 ~ PAGE 16
 AREA: 16,402 SQ.FT. +/-
 0.377 ACRES +/-
 TO CENTER LINE OF CREEK AS PRESENTLY LOCATED

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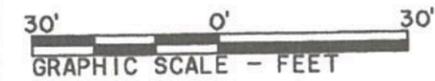
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3



LEGEND

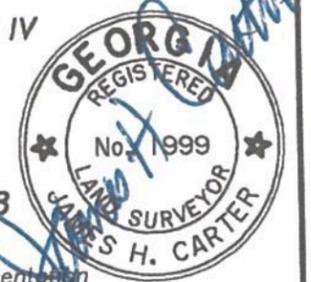
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| RBS | REBAR SET | SSE | SANITARY ESMT. |
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| BL | BUILDING LINE | PAT | PATIO |
| DE | DRAINAGE EASEMENT | S | STOOP |
| UE | UTILITY EASEMENT | -X- | FENCE |

AS-BUILT AND BOUNDARY SITE PLAN FOR:
ROBINSON RESIDENTIAL CONSTRUCTION, LLC
 5150 THAMSGATE CLOSE
 CITY OF PEACHTREE CORNERS, GEORGIA 30092

LOT 4, BLOCK E
 WENTWORTH SUBDIVISION, UNIT IV
 LAND LOT 331, 6TH DISTRICT
 GWINNETT COUNTY, GEORGIA

SCALE: 1" = 30'
 FIELD WORK DATE: 11/15/2018
 PLAT DATE: 11/20/2018

In my opinion, this plat is a correct representation of the land platted and has been prepared within the minimum standards and requirements of law.



PROPOSED

Noah Huffman Addition

Project Information

Project Address:
5150 Thamesgate Close
Peachtree Corners, GA 30092

Building Information:
New Family room Addition
New Covered Deck Addition

Project Information:
Remove Existing 12' x 16' deck
Build 18' x 20' Family Room Addition
Build 14' x 17' Covered Deck

Total Heated: 370 S.F.
Total Unheated: 240 S.F.
Total Building: 610 S.F.



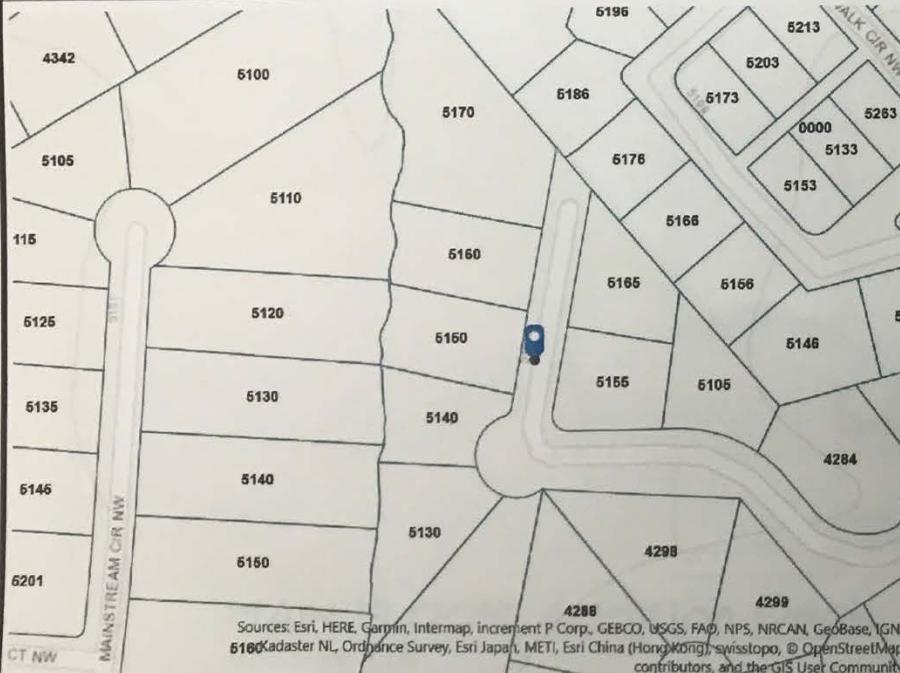
DRAWING SCHEDULE

| | |
|-------------------|---|
| Information Sheet | 1 |
| New Main Floor | 2 |
| 2nd Floor | 3 |
| Elevations | 4 |
| Roof Plan | 5 |
| Electrical | 6 |
| Cross Sections | 7 |
| Detail Page 1 | 8 |
| Detail Page 2 | 9 |

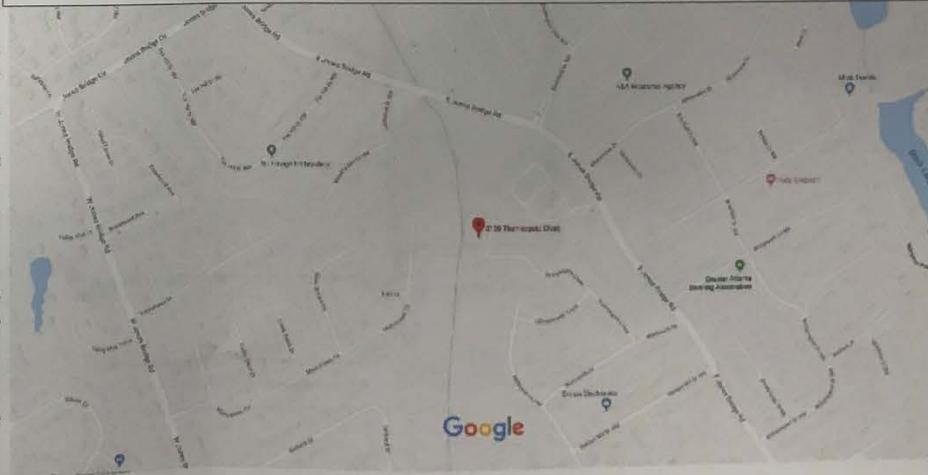
Noah Huffman Addition

5150 Thamesgate Close
Peachtree Corners
Georgia
30092
PHONE: 770-330-3495
FAX: nihuffman@comcast.net

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SCALE: As Noted
DATE: Wednesday, November 21, 2018
PAGE: 1/9
Information Sheet



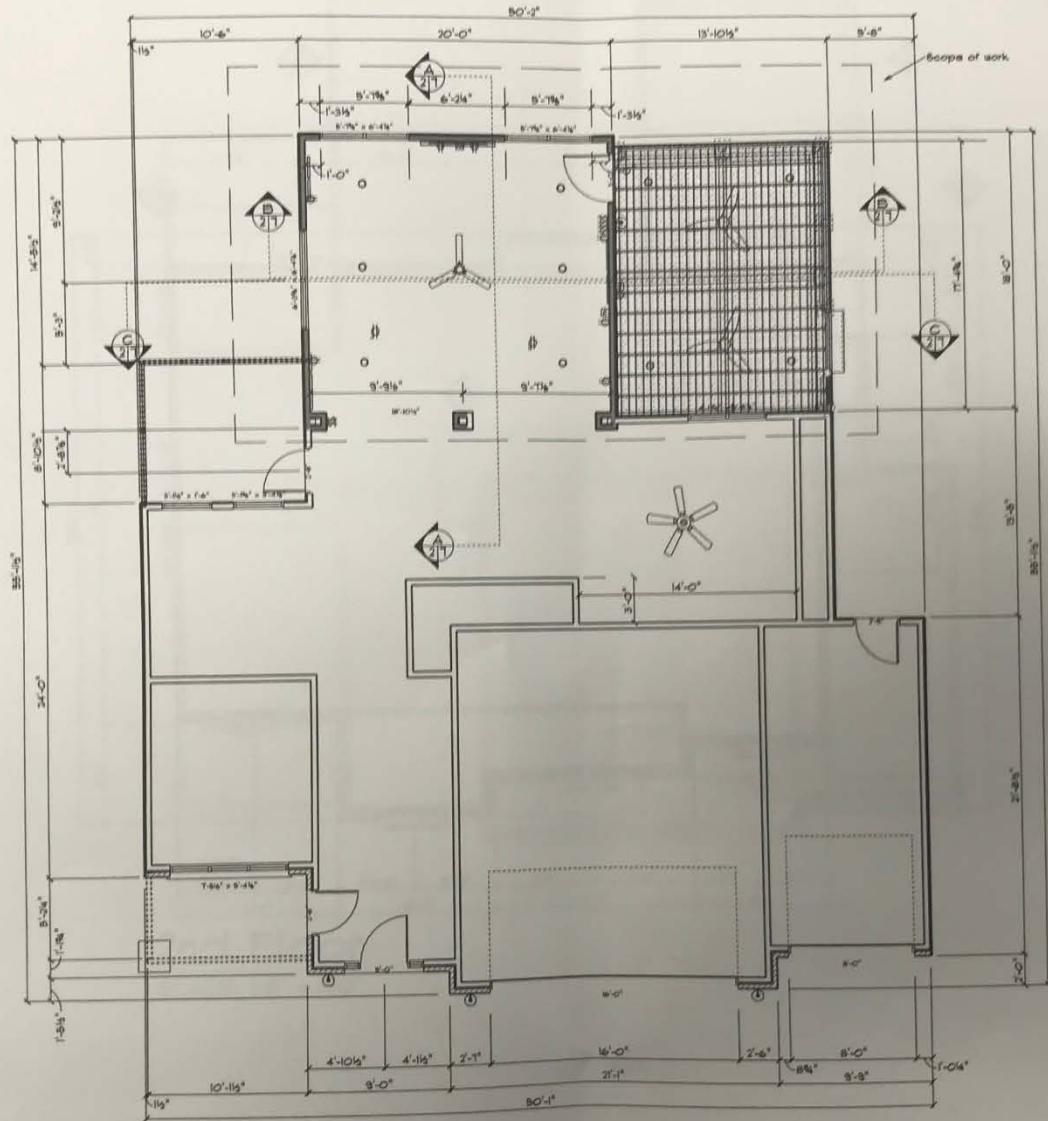
MAP LEDGER



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, OpenStreetMap contributors, and the GIS User Community



@Robinson Residential Construction, LLC
PHONE: @770-845-3343
@PO BOX 1754 @ROSWELL @GA @30077 @BOB@RRR-LLC.NET



MAIN FLOOR Addition Deck

SCALE: 1/8" = 1'-0"

Noah Huffman Addition

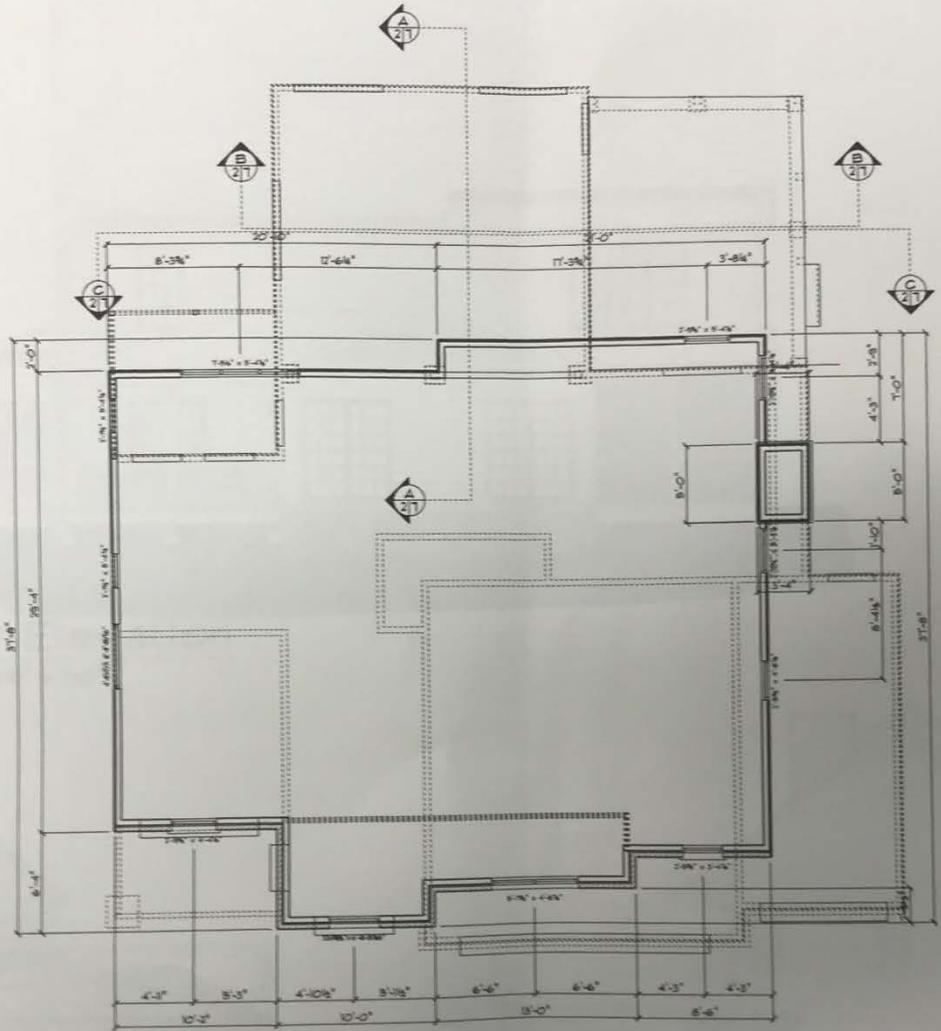
5150 Thamsgate Close
 Peachtree Corners
 Georgia
 30092
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 FAX: nihuffman@comcast.net

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 SCALE: 1/8" = 1'-0"
 DATE: Wednesday, November 21, 2018
 PAGE: **2/9**
 New Main Floor



@Robinson Residential Construction, LLC
 @PO BOX 1754 @Roswell @GA @30077
 PHONE: @770-645-3343 @BOB@RRC-LLC.NET





2nd Floor
SCALE: 1/8" = 1'-0"



@Robinson Residential Construction, LLC
@PO BOX 1754 @POB@RRR-LLC.NET
@Forswell @GA @30077



Noah Huffman Addition

5150 Thamsgate Close PHONE: 770-330-3495
Peachtree Corners FAX:
Georgia nihuffman@comcast.net
30092

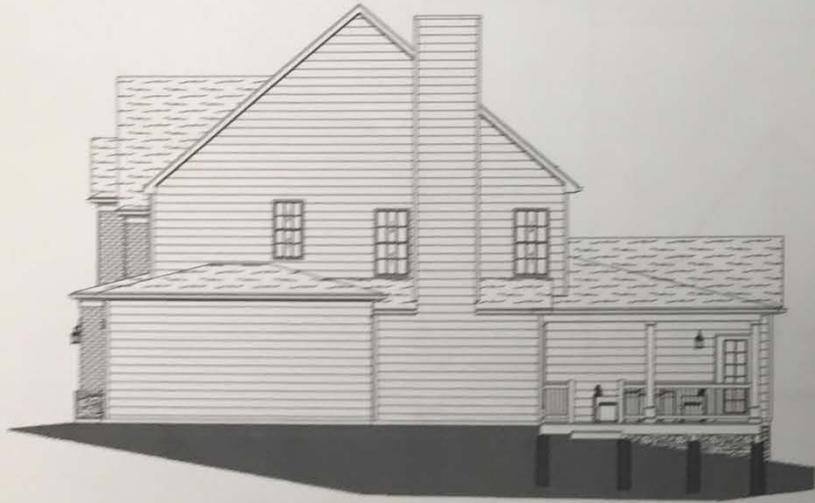
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DATE: Wednesday, November 21, 2018

PAGE: 3/9
2nd Floor



Rear Elevation

SCALE: 1/8" = 1'-0"



Right Elevation

SCALE: 1" = 10'-0"



Left Elevation

SCALE: 1" = 10'-0"

Noah Huffman Addition

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nhuffman@comcast.net

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PAGE:

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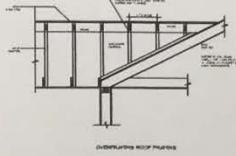
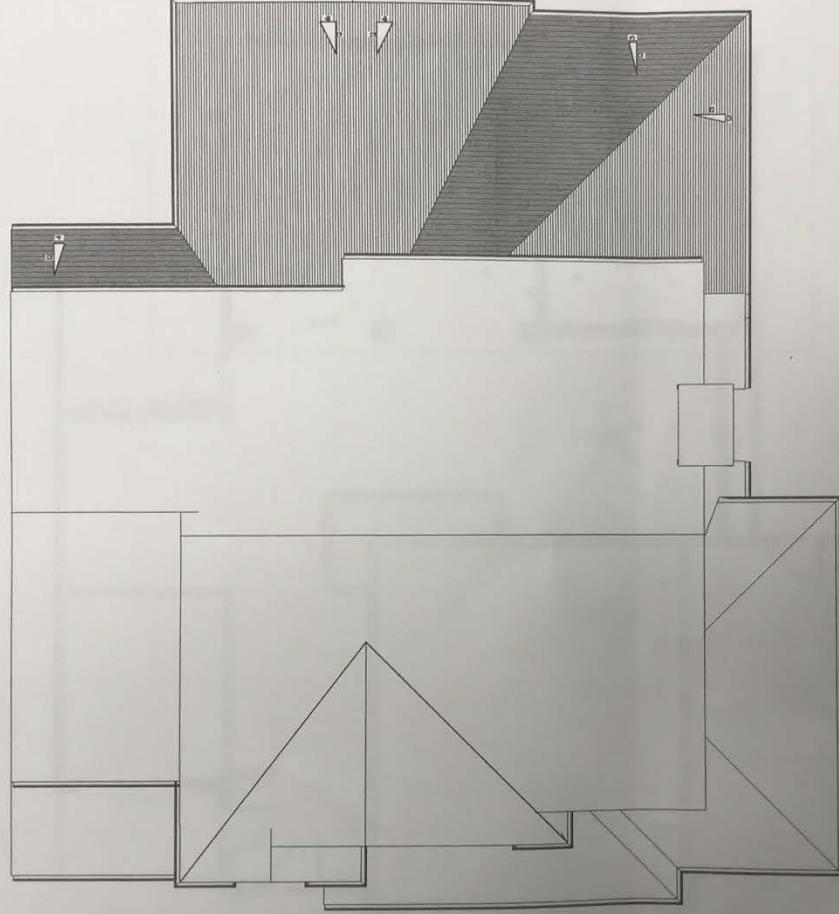
Elevations



@Robinson Residential Construction, LLC

@PO BOX 1754 @Roswell @GA @30077
PHONE: @770-945-3343 @BOB@RRRC-LLC.NET

Roof Plan
SCALE: 1/8" = 1'-0"



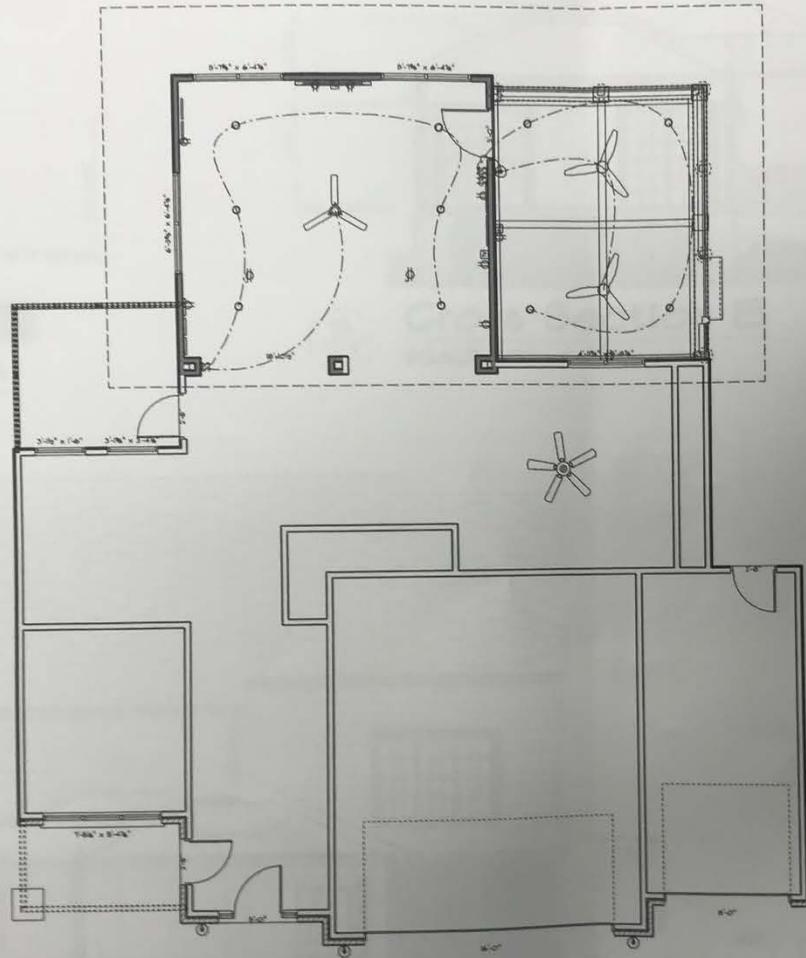
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SCALE: 1/8" = 1'-0"
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PAGE: **5/9**
Roof Plan



MAIN FLOOR Electrical - ELECTRICAL

SCALE: 1/8" = 1'-0"



@Robinson Residential Construction, LLC
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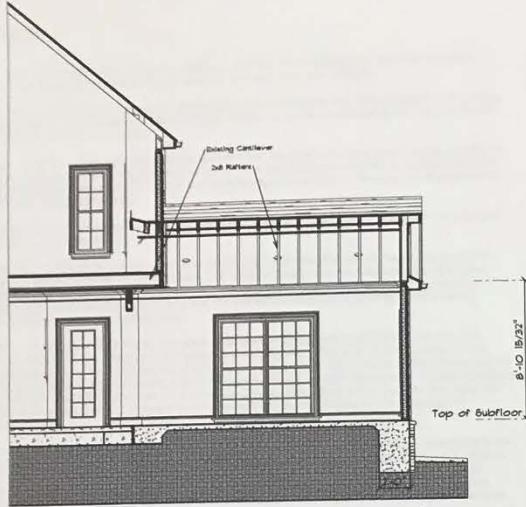
SCALE: 1/8" = 1'-0"

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PAGE:

6/9

Electrical



A
2/7 **Cross Section A**
SCALE: 1/8" = 1'-0"



B
2/7 **Cross Section B**
SCALE: 1/8" = 1'-0"



C
2/7 **Cross Section C**
SCALE: 1/8" = 1'-0"

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30092
PHONE: 770-330-3495
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DRAWN BY: **7/9**
SCALE: 1/8" = 1'-0"
DATE: Wednesday, November 21, 2018
PAGE: **7/9**
Cross Sections



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GENERAL NOTES

- Scale. Do not scale drawings, these are conceptual plans. All shop drawings shall be reviewed by the architect/designer/engineer of record prior to fabrication and erection.
- Codes. All work shall be performed in accordance with these plans and specifications and comply with all applicable national, state and local building codes. It is the responsibility of the contractor to insure compliance with said codes.
- Job Site. Prior to submitting bid contractor shall visit job site and notify owner of any conditions not included in these documents which require corrective or additional actions. No changes to plans to be made without written approval by the architect/designer/engineer. Report any discrepancies to the architect/designer/engineer.
- Dimensions. All dimensions are to face of stud walls or masonry foundation. Contractor to verify all dimensions prior to construction.
- Plan Review. These plans are conceptual in nature and therefore shall be reviewed by structural and mechanical engineers prior to construction. All shop drawings shall be prepared and reviewed by an engineer prior to fabrication and erection. No site inspection has occurred. The owner is responsible for all site conditions, including but not limited to: orientation, drainage, soil bearing, wind loads and other subsurface conditions.
- Changes or Modifications to Plans. Any error or required changes or modifications to this plan do not reduce or void the copyright covering this set of plans in any way. Modifications to this plan for any reason, should be stamped by an architect or engineer only. Architect/Designer/Engineer accepts no responsibility for the quality and completeness of any changes stamped. Please remember that even a simple change to one area of a home can greatly affect many other areas in the home and only a qualified professional is equipped to fully understand the ramifications of any change or modification.
- Installation. All materials, supplies and equipment shall be installed per manufacturers recommendations and per applicable codes and requirements. The architect/designer/engineer shall not have control or charge of and shall not be responsible for construction means, methods, techniques, sequences, or procedures in connection with the work, for the acts or omissions of the contractor, sub-contractor, or any other person performing any of the work, or for the failure of any of them to carry out the work in accordance with the contract documents.
- Material Storage. Materials stored on site shall be protected from damage by moisture, wind, sun, abuse or any other harmful effects.
- Safety. The general contractor is responsible for all safety precautions or safety programs used to provide a safe working environment on the job site. General contractor responsible for all structural shoring and bracing during construction.
- Products used. Manufacturer's names and model number listed in the specifications or on the schedules are for the purpose of establishing a quality of manufacturer or a specific design configuration. Equal products, as approved by the architect/designer/engineer, will be acceptable from other manufacturers.
- Workmanship. All work to be first rate, high quality, and accomplished in a workmanlike manner by skilled craftsmen using accepted practices and methods appropriate to the trade involved.
- Permits. Prior to construction, the contractor/owner shall be responsible to obtain all required permits, approvals and final certificate of occupancy. No construction or fabrication shall begin until the contractor has received and thoroughly reviewed all plans and other documents approved by all the permitting authorities. Prior to construction, contractor/owner to verify service with utility agency and schedule on-site inspection to locate utility.
- Contract Documents. These Contract Documents are the property of the Architect and shall not be used without his or her written consent.

FOUNDATION PLAN NOTES

- Soil Bearing. Foundations design shown here are based on a soil bearing value of 2500 P.S.F. Foundations and slabs are designed to uniformly bear on well-compacted, well-drained non-expansive soils. A certified soils engineer shall review foundation designs and building loads and compare with subsurface soil investigation. Should on-site observations show that foundation designs are not satisfactory, a structural engineer will be contacted immediately to redesign foundations to accommodate conditions.
- Concrete Work. All concrete work shall be in accordance with the building code requirements for reinforced concrete, ACI 318, latest addition and specifications for structural concrete for buildings, ACI 301.
- Minimum Footing Penetration. Extend bottom of all foundations at building perimeter a minimum of 12" below finished grade. Footings shall bear upon undisturbed solid soil or upon soil compacted to a density of at least 95% of standard proctor maximum dry density (ASTM D1557) for a depth of at least three feet (3') below the bottom of the footing.
- Finished Grade. Keep finished grade a minimum of 6 1/2" below finished floor elevation. Slope grade away from building to allow water to drain away from building.
- Concrete Strength. Concrete slabs, patios, and foundations shall be constructed of a minimum 3000 psi after 28 days. Provide 3 test cylinders, and 4'-8" slump test each truck.
- Expansion Joint. Provide 1/2" thick by 4" wide bituminous expansion joint material at all surfaces where slabs abut masonry foundation. Provide 1/2" deep, saw-cut expansion joints, every 15'-0" each way, cut within 4 hours of pour.
- Monolithic Perimeter Foundation/slab. 12" below finished grade by 12" wide perimeter foundation poured monolithically with 3 - #5 steel rebar continuous. Confirm that footer extends below frost line. Provide 10 gauge 6" x 6" welded wire mesh to extend from slab to bottom of monolithic footer. Footings shall bear on undisturbed soil where possible.
- Floor Slab. 4" thick concrete slab reinforced with 10 gauge 6" x 6" welded wire mesh continuous. Place slab over well compacted granular fill and 6 mil vapor barrier. This slab to be square, level and smooth, troweled with hard steel trowel to a smooth finish. No water to be added during finishing work. For patio or porch slab, slope away from building at 1/4" to 1'-0" as shown on plan.
- Welded Wire Mesh. Welded wire mesh shall be 6 x 6 w/4 / w/4 conforming with ASTM A-185. Welded wire mesh to be laid 1/2" above fill with minimum 8" lap each side. Optional fiber-mesh admixture can be used as recommended by local building code requirements.
- Patio Column Footing. Thicken patio slab at column locations to 12". Width shown on plans. Coordinate column anchor as required.
- Slab Finish. Provide steel trowel finish for all interior slab areas and garage. Create broom finish texture for all exterior slabs.
- Stemwall and Poured Concrete Wall Footers. Footers shall be 10" deep by 20" wide minimum. Provide 3 - #5 rebar continuous. Footers shall bear on undisturbed soil where possible.
- Stemwalls. Shall be 8" x 8" x 16" CMU block laid in running bond. Use type "M" mortar and smooth tooled joints. Fill all cells. Provide 3 gauge horizontal, ladder type reinforcing steel at 16" on center (OC) vertical, or as required.
- Concrete Masonry Units (CMU). Shall be in accordance with ASTM C90 or C48, Grade N, Type I, hollow core load bearing CMU and shall have a minimum net compressive strength of 1900 PSI. All concrete masonry work to be in accordance with ACI 531.1.
- Mortar. Shall be type "M" or "S" in accordance with ASTM C270. Grout minimum 28 day strength shall be 2000 psi with a maximum aggregate of 3/8" and a 8" to 11" slump. Masonry to be laid in running bond with smooth tooled joints.
- Grouting. Provide clean-outs at base of all masonry walls containing vertical reinforcing for inspection prior to grouting. Grout shall conform to ASTM C416 for fill call application and shall have a minimum 28 day compressive strength of 3000 psi. Maximum aggregate size of 3/8".
- Anchor Bolts. Provide 1/2" anchor bolts in filled cells at 48" on center maximum and at all window locations and each side of door.
- Vapor Barrier. Provide 6-mil polyethylene vapor barrier in all crawl space areas and under all slabs, between ground and concrete.
- Compressor Condenser Pad. Provide concrete slab for air conditioner compressor as required by equipment manufacturer. Coordinate placement with finish grading and site conditions.
- Corner Bars. Provide #5 rebar corner bars at all corners and intersections of footers, beams and walls. Each side should overlap 2'-0", with a 90 degree bend.
- Crawl Space Access. Provide access door to crawl space. Determine exact location in field.
- Backfill Against Walls. Do not backfill against foundation until home is completely framed and roof structure is in place.

FRAMING PLAN NOTES

- Wood Framing. All wood framing shall be fabricated and installed per AISC and TPI and national design specifications for wood construction. All structural wood members shall have a minimum extreme fiber stress in bending (Fb) = 1000 PSI. Unless noted otherwise the following minimum lumber grades shall be used.
 - Structural light framing size 2" to 4" thick x 2" to 4" wide - no. 2 or better.
 - Stud size 2" to 4" thick x 2" to 6" wide stud grade.
 - Structural joists and planks size 2" to 4" thick x 2" to 4" wide standard or better.
 - Light framing size 2" to 4" thick x 2" to 4" wide standard or better.
- Interior Stud Walls. All main floor walls to be 5'-0", all second floor walls to be 8'-0", unless otherwise noted. Interior walls shall be constructed of #2 S.T.P. minimum 2 x 4 wood studs at 16" on center (OC). Provide single bottom plates and double top plates throughout. Provide solid blocking at mid-height of all walls.
- Exterior Stud Walls. Walls shall be constructed of #2 S.T.P. minimum 2 x 4 wood studs at 16" on center (OC). Provide single bottom plates and double top plates throughout. Provide R-11 3 1/2" batt insulation at all locations shown on plans. Exterior sheathing shall be 1/2" OSB plywood. Exterior finish shall be Textured Hard-Board Siding.
- Plywood Sheathing. Plywood sheathing shall be APA structural I, group 1 size and span rating as shown on the drawings. Nail with 8d nails at 6" on center along panel edges and 12" on center at immediate supports.
- Pressure Treated Lumber. All wood members exposed to weather or in contact with wood masonry, concrete or soil shall be pressure treated.
- Nailing Schedule. Except as noted otherwise, all wood framing components shall be fastened as specified in the southern building code, section 105 and table 105.1 fastening schedule. Contractor shall provide all fastening devices necessary and suited for each application. Fastenings adjacent to estructure shall be hot-dip galvanized to ASTM A-185-80. All metal connections and fabrications shall comply with AISC specifications.
- Headers. Provide 2 x 2 x 10 #2 southern yellow pine with continuous 1/2" plywood fitch plate. Provide double jack supports for openings 6'-0" or greater unless noted otherwise. Provide 2-16d nails at 3" on center at all headers.
- Beam Supports. Provide multiple stud and/or jack supports from bearing points to slab foundation under all wood headers or beams.
- Fur Downs. Provide wood frame fur downs above wall cabinets.
- Columns. Construct structural wood frame columns with 2 x 4 studs and finish surfaces as specified. Finish interior columns according to finish schedule. Finish exterior columns as shown on elevations.
- Cross Bridging. Place one row of cross bridging on all spans over 8'-0" and two rows of cross bridging on all spans over 16'-0".
- Ceiling Joists. Typical 2 x 8 southern yellow pine at 16" on center maximum spacing. If attic is to be used for storage, substitute 2 x 10 at 16" on center.
- Vaulted and Raised Ceilings. Provide ceiling treatment as shown.
- Floor Joists. Use 2 x 10 #2 southern yellow pine floor joists. Provide double floor joists under all partition walls unless otherwise noted.
- Code Compliance. Contractor to verify that size and spacing of all structural framing members meet all applicable codes before construction begins.
- Bracing and Shoring. Contractor to provide adequate bracing and shoring during the construction process.
- Stud and Joist Integrity. Studs and joists shall not be cut to install plumbing and/or wiring without adding metal or wood side members to strengthen member back to original capacity and maintain structural integrity.
- Joist and Rafter Bearing. Joists and rafters shall be cut to have horizontal contact for the full width of the supporting member.
- Subfloor. Use 3/4" tongue and groove plywood subfloor to be installed over 6 mil Poly with Approved HINI Nail in to Slab Floor.
- Connection of Deck. Provide and install joist hangers to connect the 2 x 10 deck joists to the main house. Install every 16" on center (OC).
- Load Data. Confirm prior to construction, live loads, dead loads, snow loads, wind loads, lateral loads, seismic zoning and other special loading requirements so that adjustments can be made to the plans.
- Porch Floor. Porch floor joists to be 2x10 pressure treated at 16" on center (OC) fasten to 2x10 beam with Simpson HB each crossing. For porch decking, install 5/8" thick pressure treated yellow pine (CCA-40) with 12 3" galvanized wood screws each crossing.

Noah Huffman Addition

5150 Thamsgate Close

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Georgia

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DRAWN BY:

SCALE: As Noted

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PAGE:

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Detail Page 1



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ELEVATION NOTES

- 1. Roof Assembly. Provide 30 year Asphalt Dimensional shingles over 1/2" felt over 1/2" APA rated code certified, span rated plywood installed with plywood "H" clips. Color and style of shingles to be selected by owner.
2. Flashing. 20" wide galvanized flashing shall be used on all valleys. Provide metal flashing over all windows and doors in exterior walls throughout. Provide pan flashing under all exterior doors. Provide all wall, base, cap, thru-wall flashing and/or counter flashing, etc. as required to prevent the entrance of water.
3. Fascia and Soffit. Hardi-Board fascia w/ white aluminum drip strip. Hardi-board soffit with vents. Paint color to be selected by owner.
4. Manufactured Stone Finish. Provide exterior Manufactured Stone finish on exterior surfaces as shown on elevations. Manufacturer and color of brick to be selected by owner and contractor. Provide all trim, banding and detailing as weather tight surfaces.
5. Door and Window Trim. Provide brickmold trim as shown on plans. Color to be selected by owner. Above windows and doors, not indicated with brick, install finger joint cedar and paint to match other exterior trim.
6. Windows. Wood, double-hung, clear glazed, LoE insulated windows painted as specified. Confirm that openings are compliant with all applicable codes concerning egress, lighting and ventilation requirements. Temper all glass 7'-0" from door and above whirlpool tubs. Trim windows with casing. Bedroom windows shall comply with BOCA Code requirements for emergency escape. Minimum net clear opening shall be 5.7 sq.ft., minimum net clear width shall be 20", minimum net clear height shall be 24", and all height shall not exceed 34" above floor. Provide manufacturer's egress hardware at bedroom windows in each bedroom without exterior door.
7. Columns. Construct structural wood frame columns with 2 x 4 studs and finish surfaces as specified. Finish interior columns according to finish schedule. Finish exterior columns as shown on elevations.
8. Gutters and Downspouts. Provide optional gutters and downspouts to be selected by owner.
9. Hand Rail. All hand rails shall be constructed so as to prevent passage of a 4" sphere.
10. Deck. Construct porch with pressure treated lumber only. We recommend applying a sealant over all exposed areas.
11. Stairs. Construct stairs of pressure treated wood. Wood type, color and style to be determined by owner.

ROOF FRAMING PLAN NOTES

- 1. Roof Framing. Roof framing shall consist of #2 southern yellow pine 2 x 8 rafters at 16" on center (OC) maximum and 2 x 10 ridges, hips and valleys. When ridge, hip or valley span is greater than 38'-0" use laminated veneer lumber for strength.
2. Roof Assembly. Provide 30 year Asphalt Dimensional shingles over 1/2" felt over 1/2" APA rated, code certified, span rated plywood installed with plywood "H" clips.
3. Roof Decking. Roof decking 1/2" exp. 1 OBB plywood with edge clips 4 galvanized 8d nails at 6" on center (OC) on edge, and 12" on center (OC) in field, stagger sheathing. At gable ends, nail sheathing at 4" on center (OC) on edge and 6" on center (OC) in field, 48" into roof decking.
4. Nailing Schedule. Except as noted otherwise, all wood framing components shall be fastened as specified in the SBCCI, section 110B and Table 110B.1 fastening schedule.
5. Headers. Provide 2 - 2 x 10 #2 southern yellow pine with continuous 1/2" plywood fitch plate. Provide double jack supports for openings 4'-0" or greater unless noted otherwise.
6. Ceiling Joists. Typical 2 x 8 S.Y.P., at 16" on center (OC) maximum spacing. If attic is to be used for storage, substitute 2 x 10 at 16" on center (OC).
7. Fascia and Soffit. Hardi-Board fascia with white aluminum drip strip. Hardi-board soffit with vents.
8. Vaulted and Raised Ceilings. Provide ceiling treatment as shown.
9. Code Compliance. Contractor to verify that size and spacing of all structural framing members meet all applicable codes before construction begins.
10. Attic Ventilators. Provide continuous ridge vent to be Con-a-vent or equivalent, allowing for air circulation in attic space.
11. Flashing. 20" wide galvanized flashing shall be used on all valleys. Provide metal flashing over all windows and doors in exterior walls throughout. Provide pan flashing under all exterior doors. Provide all wall, base, cap, thru-wall flashing and/or counter flashing, etc. as required to prevent the entrance of water.
12. Bracing and Shoring. Contractor to provide adequate bracing and shoring during the construction process.
13. Stud and Joist Integrity. Studs and joists shall not be cut to install plumbing and/or wiring without adding metal or wood side pieces to strengthen member back to original capacity and maintain structural integrity.
14. Joist and Rafter Barring. Joists and rafters shall be cut to have horizontal contact for the full width of the supporting member.

ELECTRICAL PLAN NOTES

- 1. Codes. This electrical plan is intended to indicate the requirements of the owner. The details of the electrical system shall be determined by an electrical contractor licensed according to (your code) and by the local building department. This design is allowed by chapter 411 for 600 amp or less residential services or 600 amp or less commercial or industrial services. Install all electrical wiring, conduit and panel boxes, co-axial cable, and telephone wiring per local codes. All electrical work to be in accordance with N.E.C. Review drawings and provide all work for a complete and operable system, including all incidentals, required by code agencies and local governing bodies.
2. Verify all Dimensions. Prior to start of construction, contractor shall verify and coordinate all dimensions in field. These are conceptual drawings. Report any discrepancies to the architect/engineer. All changes shall be made in writing.
3. Smoke Detector. Provide surface mounted, direct wired smoke detectors located on ceilings or walls in conformance with Fire Marshal's requirements.
4. Conditioning Units. Provide and install a split HVAC system for each side of duplex. Pad and unit shall be located as required by engineer. Locate air handler in attic area.
5. Electrical Layout. All electrical service shall comply with national electrical code, standard building code, N.E.P.A. and all other applicable state and local codes. Locations are suggested only. Consult your engineers and subcontractors for exact locations, specifications, sizes and code compliance.
6. Cover Plates. Install white cover plates throughout interior of home. At the exterior, install silver cover plates.
7. Receptacles. Install all receptacles at 18" on center (OC) Above finished floor. At counters, locate receptacles at 44" on center (OC) Above finished floor.
8. Switches. Install switches 48" on center (OC) Above finished floor, unless otherwise noted. Locate light switch cover plates 6" from frame of door or corner of wall.

MECHANICAL NOTES

- 1. Codes. This mechanical plan is intended to indicate the requirements of the owner. The details of the mechanical system shall be determined by a mechanical contractor licensed according local building department. This design is allowed by Chapter 411 for systems not to exceed 15 tons or 100 persons or less.
2. Verify Dimensions. Prior to start of construction, contractor shall verify and coordinate all dimensions in field. These are conceptual drawings. Report any discrepancies to the architect/engineer. All changes shall be made in writing.
3. Ductwork. All A/C ductwork to have a minimum R-6 insulation value with 1 1/2" rigid fiberglass. All duct sizes shown are inside clear dimensions. All work shall be coordinated with all trades involved. Offsets in ducts and piping, divided ducts, and transitions around obstructions shall be provided at no additional cost to the owner.
4. Review Drawings. Review drawings and provide all work for a complete and operable system, including all incidentals, required by code agencies and local governing bodies.
5. Copper Piping. All drain, condensate and refrigerant copper piping above grade to be insulated with 1" wall Armaflex to eliminate condensate dripping from piping. Provide 3/4" PVC condensate line to exterior planting bed.
6. Thermostats. Locate thermostats 5'-0" or as directed, above finished floor elevation. Thermostats shall be standard electric subbase type for manual selection of heating or cooling and manual fan-off/auto selector switch. Locate thermostat near return air duct.
7. Ductwork and Diffuser Locations. Ductwork and diffuser locations and clearances shall be coordinated with architectural, plumbing, electrical and systems trades to fit spaces provided. Ductwork cross sectional areas may not be reduced.
8. Support of Ductwork. All equipment, ductwork, etc. shall be supported from structural members as required to provide a vibration free rigid installation.
9. Manufacturer's Name. Manufacturer's names and model number listed in the specifications or on the schedules are for the purpose of establishing a quality of manufacturer or a specific design configuration. Equal products, as approved by the architect / engineer, will be acceptable from other manufacturers.
10. Service Panel. Interior electric service panel. Size and make to be determined by Licensed Electrical contractor. All work per national electric code (NEC).
11. Disconnect Panel. Exterior main disconnect panel and meter base. Electric service to be run underground from service pole. Provide lightning Arrester in MDP. Ground meter base as required. All work per national electric code (NEC).
12. HVAC. Air conditioner units to be 9,000 BTU Cool and 10,900 BTU Heat M* MSZ-4M3NA, M* MUZ-4M3NA Mitsubishi Electric Ductless heat pump w/ min. 18 seer rating. Provide 3/4" PVC condensate line to exterior. Insulate all suction lines and condensate PVC with 1" Armaflex. Provide electric disconnect at air handler and compressor. Provide plastic drip pan with water sensor. Details of air-handler system to comply with Standard Building Mechanical code and Energy Efficiency code.

Noah Huffman Addition

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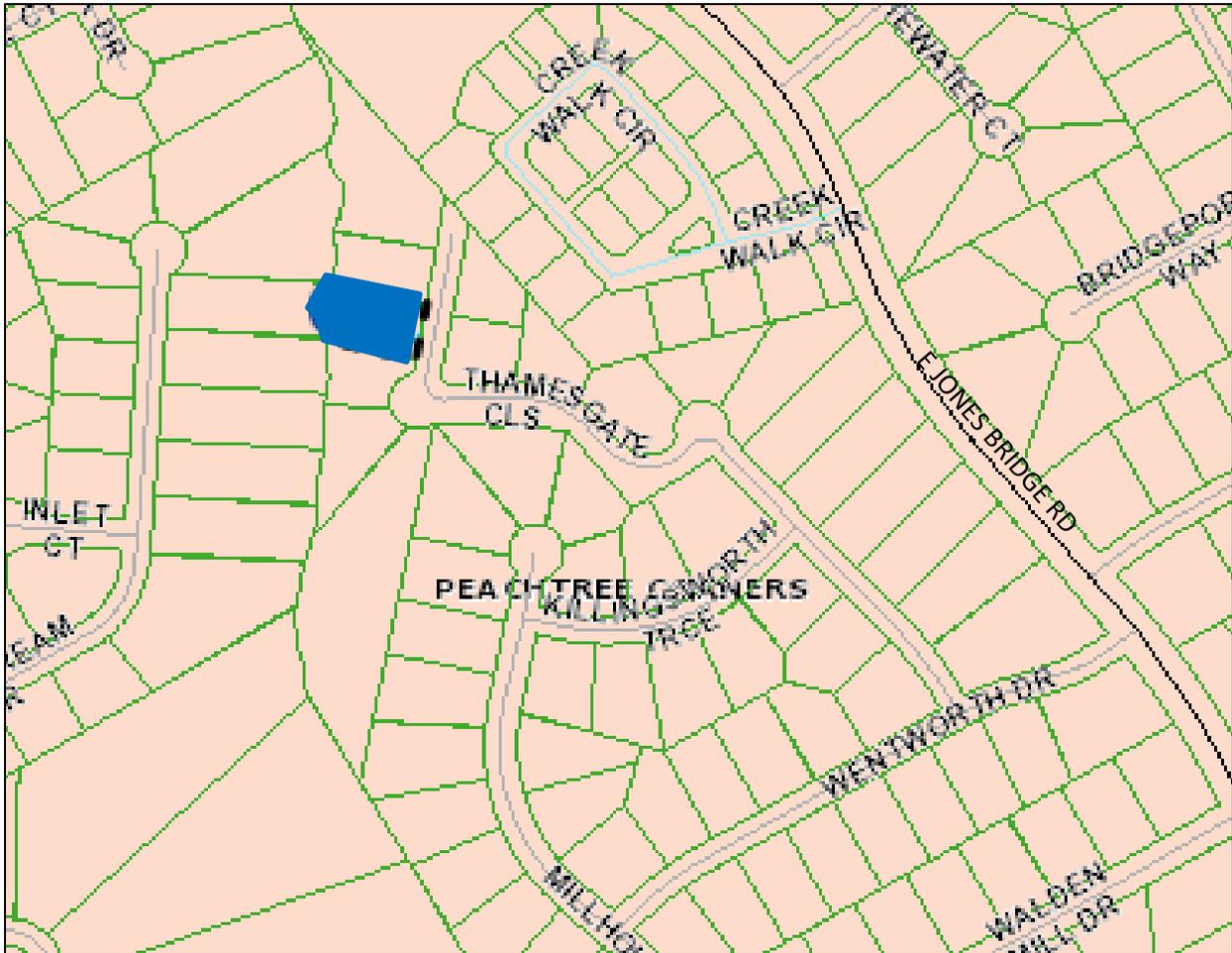
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DRAWN BY: AS NOTED SCALE: AS NOTED DATE: Wednesday, November 21, 2018

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PROPERTY LOCATION MAP

5150 Thamesgate Close



| | |
|-------------------------|-----------------------|
| CASE NUMBER | V2018-007 |
| HEARING DATE | JANUARY 16, 2019 |
| PROPERTY ADDRESS | 5150 THAMESGATE CLOSE |