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COUNCIL MEETING AGENDA

Mike Mason, Mayor

Phil Sadd – Post 1, Council Member
Eric Christ – Post 2, Council Member
Alex Wright – Post 3, Council Member

Jeanne Aulbach – Post 4, Council Member
Lorri Christopher – Post 5, Council Member
Weare Gratwick – Post 6, Council Member

March 26, 2019

COUNCIL AGENDA

7:00 PM

PEACHTREE CORNERS CITY HALL – Council Chambers
310 TECHNOLOGY PARKWAY, PEACHTREE CORNERS, GA 30092

A) CALL TO ORDER

B) ROLL CALL

C) PLEDGE OF ALLEGIANCE

D) MAYOR'S OPENING REMARKS

E) CONSIDERATION OF MINUTES – Consideration of approval of the February 26, 2019 Council Meeting and the March 12, 2019 Work Session.

F) CONSIDERATION OF MEETING AGENDA

G) PUBLIC COMMENTS

H) CONSENT AGENDA

- 1. APH 2019-02-075** Consideration of approval of Alcoholic Beverage License Application for Marlow's Tavern, 5210 Town Center Blvd, Ste. 260, Peachtree Corners GA 30092. The applicant, John Clark Metz is applying for a Consumption on Premises – Distilled Spirits, Malt Beverage and Wine License.
- 2. APH 2019-02-076** Consideration of approval of Alcoholic Beverage License Application for Genesis Taqueria Bar, 7000 Jimmy Carter Blvd, Ste 102, Peachtree Corners, GA 30092. The applicant, Melitona Morales Vasquez is applying for a Consumption on Premises – Distilled Spirits, Malt Beverage and Wine License.
- 3. APH 2019-02-077** Consideration of approval of Alcoholic Beverage License Application for Grbinich Wines, 6679 Peachtree Industrial Blvd, Ste K, Peachtree Corners, GA 30092. The applicant, Margo Gayle Grbinich-Hunt is applying for a Wholesale – Wine License.
- 4. APH 2019-02-078** Consideration of approval of Alcoholic Beverage License Application for Anderby Brewing, 110 Technology Pkwy, Ste 200, Peachtree Corners, GA 30092. The applicant, Michael Smelt is applying for a Manufacturer – Malt Beverage License.

5. **APH 2019-02-079** Consideration of approval of Alcoholic Beverage License Application for Farm Burger Peachtree Corners, 5170 Town Center Blvd, Ste 410, Peachtree Corners, GA 30092. The applicant, George Frangos is applying for a Consumption on Premises – Wine and Malt Beverage License.
6. **APH 2019-02-080** Consideration of approval of Alcoholic Beverage License Application for CMX Peachtree Corners, 5180 Town Center Blvd, Peachtree Corners, GA 30092. The applicant, Isaac Stewart is applying for Consumption on Premises – Wine, Malt Beverage and Distilled Spirits License.
7. **APH 2019-02-81** Consideration of approval of Alcoholic Beverage License Application for Shell Food Mart, 6405 Peachtree Industrial Blvd, Peachtree Corners, GA 30092. The applicant, Farid Abdul Malick is applying for a Retail Package – Wine and Malt Beverage.
8. **APH 2019-02-82** Consideration of approval of Alcoholic Beverage License Application for Taqueria Tsunami, 5160 Town Center Blvd, Peachtree Corners, GA 30092. The applicant, William Scott Kinsey is applying for a Consumption on Premises – Wine, Malt Beverage and Distilled Spirits License.

I) PUBLIC HEARING

1. **O2019-02-142** Second Read and Consideration of SUP2018-009, Wesleyan School, request to approve a special use permit to accommodate a private school use on two residentially-zoned properties at 3625 and 3645 Spalding Terr., Dist. 6, Land Lot 301, Peachtree Corners, GA.
2. **O2019-02-143** Second Read and Consideration of SUP2019-001, Celebremos Su Gloria, request to approve a special use permit to accommodate a religious facility in an existing building at 3120 Medlock Bridge Rd., Dist. 6, Land Lot 271, Peachtree Corners, GA.
3. **O2019-02-144** Second Read and Consideration of Amending the Code of the City of Peachtree Corners, Striking Chapter 6 Article VIII Section 6-234- Happy Hour from the Code of the City of Peachtree Corners.
4. **PH2019-001** MRPA Certificate for residential property at 4288 Riverview Drive.

J) CITY MANAGER UPDATES

K) EXECUTIVE SESSION - One litigation matter

L) ADJOURNMENT

Minutes



CITY OF PEACHTREE CORNERS
COUNCIL MEETING MINUTES
FEBRUARY 26, 2019 @ 7:00PM

The Mayor and Council of the City of Peachtree Corners held a Council Meeting at City Hall, 310 Technology Parkway, Peachtree Corners, GA, 30092. The following were in attendance:

Mayor	Mike Mason
Council Member	Phil Sadd – Post 1
Council Member	Eric Christ – Post 2
Council Member	Alex Wright – Post 3 - Absent
Council Member	Jeanne Aulbach – Post 4
Council Member	Lorri Christopher – Post 5
Council Member	Weare Gratwick – Post 6
City Manager	Brian Johnson
City Clerk	Kym Chereck
Asst. City Manager	Brandon Branham
City Attorney	Bill Riley
Community Dev. Dir.	Diana Wheeler
Public Works Dir.	Greg Ramsey
Zoning Administrator	Jeff Conkle

MAYOR'S OPENING REMARKS: Mayor Mason welcomed Major Spellman, Gwinnett County Police Commander of the West Precinct. Major Spellman informed the Mayor, Council and public that he is changing jobs and will be replaced by Lieutenant Amanda Cain. Major Spellman introduced Lieutenant Cain. Lieutenant Cain accepted the friendly welcome and stated that she is looking forward to working with everyone in the City of Peachtree Corners. Mayor Mason informed the public of the following dated and events: March 4, 2019, at 7:00 PM, Town Hall Meeting with Council Member Phil Sadd at the Winters Chapel United Methodist Church; March 25, 2019 at 7:00 PM, UPCCA COPS meeting at City Hall; and, April 27, 2019, Town Center Ribbon Cutting.

CONSIDERATION OF MINUTES:

MOTION TO APPROVE THE MINUTES FROM THE JANUARY 22, 2019 COUNCIL MEETING.

By: Council Member Sadd

Seconded by: Council Member Christopher

Vote: (6-0) (Sadd, Christopher, Mason, Christ, Aulbach, Gratwick)

MOTION TO APPROVE THE MINUTES FROM THE FEBRUARY 12, 2019 WORK SESSION.

By: Council Member Gratwick

Seconded by: Council Member Sadd

Vote: (6-0) (Gratwick, Sadd, Mason, Christ, Aulbach, Christopher)

CONSIDERATION OF MEETING AGENDA:

MOTION TO ADD R2019-02-117 AND R2019-02-119 TO THE END OF ITEMS FOR CONSIDERATION.

By: Council Member Christ

Seconded by: Council Member Aulbach

Vote: (6-0) (Christ, Aulbach, Mason, Sadd, Christopher, Gratwick)

PUBLIC COMMENT: There were two public comments. One public comment was from Ms. Roxie Thomas who expressed concern with the health effects of 5G broadband cellular network technology. Ms. Thomas presented the Mayor and Council with a handout. The handout is on file and available at the City Clerk's office. Mayor Mason informed Ms. Thomas to get in touch with the City Manager, Brian Johnson, and he will be able to help her with her concerns. The second public comment was from a gentleman who owns a business located at 4931 Buford Highway. This gentleman stated that businesses around his location have left and been replaced with car lots. The car lots have chain link fencing and sandbags. Mayor Mason informed the gentleman that he would send Code Enforcement out to the area see if it is in our jurisdiction and if so, what can be done.

CONSENT AGENDA:

ACTION ITEM

Authorization on a construction contract for Curiosity Lab at Peachtree Corners.

MOTION TO APPROVE A CONSTRUCTION CONTRACT FOR CURIOSITY LAB AT PEACHTREE CORNERS TO ARCHIMETRIC DESIGN & CONSTRUCTION FOR A TOTAL AGREEMENT AMOUNT OF \$1,937,903.80.

By: Council Member Christopher

Seconded by: Council Member Gratwick

Vote: (6-0) (Christopher, Gratwick, Mason, Sadd, Christ, Aulbach)

ACTION ITEM

Authorization for additional construction items, Peachtree Corners Circle at Medlock Bridge Road.

MOTION TO AUTHORIZE THE CITY MANAGER TO EXECUTE AGREEMENTS FOR PAYMENT OF THE GEORGIA POWER RELOCATION AND THE CONTRACTOR'S RELOCATION COSTS FOR THE WATER METERS.

By: Council Member Christopher

Seconded by: Council Member Gratwick

Vote: (6-0) (Christopher, Gratwick, Mason, Sadd, Christ, Aulbach)

ACTION ITEM

Acceptance of GDOT Concept Report, Innovative District Trails Study.

MOTION TO ACCEPT THE CONCEPT REPORT PROVIDED IN THE COUNCIL PACKET DATED FEBRUARY 26, 2019.

By: Council Member Christopher

Seconded by: Council Member Gratwick

Vote: (6-0) (Christopher, Gratwick, Mason, Sadd, Christ, Aulbach)

PUBLIC HEARING:

O2019-01-139

Second Read and Consideration of SUP2018-008, City of David, request to approve a special use permit to accommodate a religious facility in an existing building at 3100 Avalon Ridge Pl., Dist. 6, Land Lot 270, Peachtree Corners, GA.

Mayor Mason opened the floor to anyone wanting to speak in favor or opposition of the application. There were no public comments.

MOTION TO APPROVE O2019-01-139.

By: Council Member Sadd

Seconded by: Council Member Gratwick

Vote: (6-0) (Sadd, Gratwick, Mason, Christ, Aulbach, Christopher)

O2019-01-140

Second Read and Consideration of PH2018-018, Medical Uses, amendments to the Zoning Ordinance to define specific medical uses and to amend the regulations pertaining to such uses.

Mayor Mason opened the floor to anyone wanting to speak in favor or opposition of the application. Mr. Jim Gaffney inquired as to what type of rehabilitation centers will be permitted in Peachtree Corners.

MOTION TO APPROVE O2019-01-140.

By: Council Member Christ

Seconded by: Council Member Gratwick

Vote: (6-0) (Christ, Gratwick, Mason, Sadd, Aulbach, Christopher)

O2019-01-141

Second Read and Consideration of Amending the Code of the City of Peachtree Corners Chapter 42, Nuisances, Sec. 42-3 Discharge of Weapons.

Mayor Mason opened the floor to anyone wanting to speak in favor or opposition of the application. There were no public comments.

MOTION TO APPROVE O2019-01-141

By: Council Member Sadd

Seconded by: Council Member Christopher

Vote: (6-0) (Sadd, Christopher, Mason, Christ, Aulbach, Gratwick)

O2019-02-142

First Read and Consideration of SUP2018-009, Wesleyan School, request to approve a special use permit to accommodate a private school use on two residentially-zoned properties at 3625 and 3645 Spalding Terr., Dist. 6, Land Lot 301, Peachtree Corners, GA. (Second Read and Public Hearing March 26, 2019)

O2019-02-143

First Read and Consideration of SUP2019-001, Celebremos Su Gloria, request to approve a special use permit to accommodate a religious facility in an existing building at 3120 Medlock Bridge Rd., Dist. 6, Land Lot 271, Peachtree Corners, GA. (Second Read and Public Hearing March 26, 2019)

O2019-02-144

First Read and Consideration of Amending the Code of the City of Peachtree Corners, Striking Chapter 6 Article VIII Section 6-234- Happy Hour from the Code of the City of Peachtree Corners. (Second Read and Public Hearing March 26, 2019)

ITEMS FOR CONSIDERATION:

R2019-02-115

Consideration of appointing regular and alternate members to the Planning Commission.

MOTION TO APPROVE R2019-02-115.

By: Council Member Gratwick

Seconded by: Council Member Christopher

Vote: (6-0) (Gratwick, Christopher, Mason, Sadd, Christ, Aulbach)

R2019-02-116

Consideration of appointing regular and alternate members to the Zoning Board of Appeals.

MOTION TO APPROVE R2019-02-116.

By: Council Member Christ

Seconded by: Council Member Gratwick

Vote: (6-0) (Christ, Gratwick, Mason, Sadd, Aulbach, Christopher)

CITY MANAGER UPDATES: Brian Johnson, City Manager, informed the public that the city received a 1.8 million dollar grant from the U.S. Department of Commerce in order to purchase the office building housing Prototype Prime, the city's startup incubator.

EXECUTIVE SESSION: There was no executive session.

ADJOURNMENT:

MOTION TO ADJOURN AT 8:12 PM.

By: Council Member Gratwick

Seconded by: Council Member Aulbach

Vote: (6-0) (Gratwick, Aulbach, Mason, Sadd, Christ, Christopher)

Approved,

Attest:

Mike Mason, Mayor

Kymberly Chereck, City Clerk
(Seal)



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Mike Mason, Mayor

Phil Sadd – Post 1, Council Member
Eric Christ – Post 2, Council Member
Alex Wright – Post 3, Council Member

Jeanne Aulbach – Post 4, Council Member
Lorri Christopher – Post 5, Council Member
Weare Gratwick – Post 6, Council Member

March 12, 2019

WORK SESSION MINUTES

7:00 PM

PEACHTREE CORNERS CITY HALL – Boardwalk
310 TECHNOLOGY PARKWAY, PEACHTREE CORNERS, GA 30092

1. Roll Call

Mayor	Mike Mason
Council Member	Phil Sadd – Post 1
Council Member	Eric Christ – Post 2
Council Member	Alex Wright – Post 3
Council Member	Jeanne Aulbach – Post 4
Council Member	Lorri Christopher – Post 5
Council Member	Weare Gratwick – Post 6
City Manager	Brian Johnson
Asst. City Manager	Brandon Branham
City Clerk	Kym Chereck
City Attorney	Bill Riley
Community Dev. Dir.	Diana Wheeler
Public Works Dir.	Greg Ramsey
Communications Dir.	Judy Putnam
Plan. & Dev. Mgr.	David Chastant
Economic Dev. Spec.	Jennifer Howard

- 2. Town Green Update, Events Calendar, and Grand Opening Program** – Diana Wheeler, Community Development Director, provided an update on the events calendar, grand opening and rules for the Town Green. The events calendar will include various community engagements such as yoga on the green, movies on the green and concerts on the green. A complete calendar of events will be available at a later date.
- 3. Census – Complete Count Committee** – Brian Johnson, City Manager, informed the Mayor and Council that the 2020 census is quickly approaching, and the city will need to form a Census committee to include various “Census Ambassadors” with different affiliations around the community.

- 4. **MRPA Certificate PH2019-001 4288 Riverview Drive** – Greg Ramsey, Public Works Director, informed the Mayor and Council of an upcoming MRPA (Metropolitan Protection Act Certificate) application to be heard at the next Council Meeting. Mr. Ramsey stated that the application has approval by Staff.
- 5. **City Manager Update** – Council Member Wright informed the Mayor and Council that Waze is partnering with the ARC (Atlanta Regional Commission) to form a carpool app. After discussion it was determined that the Mayor and Council would be in support of this app.
- 6. **Executive Session** – There was no executive session.
- 7. **Adjournment** – 8:42 PM

Approved,

Attest:

Mike Mason, Mayor

Kymberly Chereck, City Clerk
(Seal)

Consent Agenda



Mayor
Mike Mason

Phil Sadd | Post 1
Eric Christ | Post 2

Alex Wright | Post 3
Jeanne Aulbach | Post 4

Lorri Christopher | Post 5
Weare Gratwick | Post 6

To: Mayor and City Council

Cc: Brian Johnson, City Manager

From: Brandon Branham, Administrative Services Director

Date: March 26, 2019, City Council Meeting

Agenda Item: APH 2019-02-75 Approval of Alcoholic Beverage License Application for **Marlow's Tavern**, 5210 Town Center Blvd, Ste 260, Peachtree Corners, GA 30092

Applicant **John Clark Metz** is applying for a Consumption on Premises – Distilled Spirits, Malt Beverage and Wine License

Staff Recommendation:

Approve the application for Consumption on Premises – Distilled Spirits, Malt Beverage, Wine License and BYOB
for **Marlow's Tavern**, 5210 Town Blvd, Ste 22660, Peachtree Corners, GA 30092

Background:

Applicant submitted a completed application on February 28th, 2019. Required advertising for the application was published in the Gwinnett Daily Post on March 12th, and March 19th, 2019. Applicant has passed the background investigation and meets all requirements.

Discussion:

New
Staff has reviewed this application and recommends approval.

Alternatives:

None



Mayor
Mike Mason

Phil Sadd | Post 1
Eric Christ | Post 2

Alex Wright | Post 3
Jeanne Aulbach | Post 4

Lorri Christopher | Post 5
Weare Gratwick | Post 6

To: Mayor and City Council

Cc: Brian Johnson, City Manager

From: Brandon Branham, Administrative Services Director

Date: March 26, 2019, City Council Meeting

Agenda Item: APH 2019-02-76 Approval of Alcoholic Beverage License Application for **Genesis Taqueria Bar**, 7000 Jimmy Carter Blvd, Ste 102, Peachtree Corners, GA 30092

Applicant **Melitona Morales Vasquez** is applying for a Consumption on Premises – Distilled Spirits, Malt Beverage and Wine License

Staff Recommendation:

Approve the application for Consumption on Premises – Distilled Spirits, Malt Beverage, and Wine License for **Genesis Taqueria Bar**, 7000 Jimmy Carter Blvd, Ste 102, Peachtree Corners, GA 30092

Background:

Applicant submitted a completed application on February 25th, 2019. Required advertising for the application was published in the Gwinnett Daily Post on March 12th, and March 19th, 2019. Applicant has passed the background investigation and meets all requirements.

Discussion:

New
Staff has reviewed this application and recommends approval.

Alternatives:

None



Mayor
Mike Mason

Phil Sadd | Post 1
Eric Christ | Post 2

Alex Wright | Post 3
Jeanne Aulbach | Post 4

Lorri Christopher | Post 5
Weare Gratwick | Post 6

To: Mayor and City Council

Cc: Brian Johnson, City Manager

From: Brandon Branham, Administrative Services Director

Date: March 26, 2019, City Council Meeting

Agenda Item: APH 2019-02-77 Approval of Alcoholic Beverage License Application for **Grbinich Wines**, 6679 Peachtree Industrial Blvd, Ste K, Peachtree Corners, GA 30092

Applicant **Margo Gayle Grbinich-Hunt** is applying for a Wholesale – Wine License

Staff Recommendation:

Approve the application for Wholesale – Wine License for **Grbinich Wines**, 6679 Peachtree Industrial Blvd, Ste K, Peachtree Corners, GA 30092

Background:

Applicant submitted a completed application on February 25th, 2019. Required advertising for the application was published in the Gwinnett Daily Post on March 12th, and March 19th, 2019. Applicant has passed the background investigation and meets all requirements.

Discussion:

New

Staff has reviewed this application and recommends approval.

Alternatives:

None



Mayor
Mike Mason

Phil Sadd | Post 1
Eric Christ | Post 2

Alex Wright | Post 3
Jeanne Aulbach | Post 4

Lorri Christopher | Post 5
Weare Gratwick | Post 6

To: Mayor and City Council

Cc: Brian Johnson, City Manager

From: Brandon Branham, Administrative Services Director

Date: March 26, 2019, City Council Meeting

Agenda Item: APH 2019-02-78 Approval of Alcoholic Beverage License Application for **Anderby Brewing**, 110 Technology Pkwy, Ste 200, Peachtree Corners, GA 30092

Applicant **Michael Smelt** is applying for a Manufacturer – Malt Beverage License

Staff Recommendation:

Approve the application for Wholesale – Wine License for **Anderby Brewing**, 110 Technology Pkwy, Ste 200, Peachtree Corners, GA 30092

Background:

Applicant submitted a completed application on March 5th, 2019. Required advertising for the application was published in the Gwinnett Daily Post on March 12th, and March 19th, 2019. Applicant has passed the background investigation and meets all requirements.

Discussion:

New
Staff has reviewed this application and recommends approval.

Alternatives:

None



Mayor
Mike Mason

Phil Sadd | Post 1
Eric Christ | Post 2

Alex Wright | Post 3
Jeanne Aulbach | Post 4

Lorri Christopher | Post 5
Weare Gratwick | Post 6

To: Mayor and City Council

Cc: Brian Johnson, City Manager

From: Brandon Branham, Assistant City Manager

Date: March 26, 2019, City Council Meeting

Agenda Item: APH 2019-02-79 Approval of Alcoholic Beverage License Application for **Farm Burger Peachtree Corners**, 5170 Town Center Blvd, Ste 410, Peachtree Corners, GA 30092

Applicant **George Frangos** is applying for a Consumption on Premises – Wine and Malt Beverage License.

Staff Recommendation:

Approve the application for Consumption on Premises – Wine and Malt Beverage License for **Farm Burger Peachtree Corners**, 5170 Town Center Blvd, Ste 410, Peachtree Corners, GA 30092

Background:

Applicant submitted a completed application on February 19th, 2019. Required advertising for the application was published in the Gwinnett Daily Post on March 12th, and March 19th, 2019. Applicant has passed the background investigation and meets all requirements.

Discussion:

New
Staff has reviewed this application and recommends approval.

Alternatives:

None



Mayor
Mike Mason

Phil Sadd | Post 1
Eric Christ | Post 2

Alex Wright | Post 3
Jeanne Aulbach | Post 4

Lorri Christopher | Post 5
Weare Gratwick | Post 6

To: Mayor and City Council

Cc: Brian Johnson, City Manager

From: Brandon Branham, Assistant City Manager

Date: March 26, 2019, City Council Meeting

Agenda Item: APH 2019-02-80 Approval of Alcoholic Beverage License Application for **CMX Peachtree Corners**, 5180 Town Center Blvd, Peachtree Corners, GA 30092

Applicant **Isaac Stewart** is applying for a Consumption on Premises – Wine, Malt Beverage and Distilled Spirits License.

Staff Recommendation:

Approve the application for Consumption on Premises – Wine, Malt Beverage and Distilled Spirits License. **CMX Peachtree Corners**, 5180 Town Center Blvd, Peachtree Corners, GA 30092

Background:

Applicant submitted a completed application on February 13th, 2019. Required advertising for the application was published in the Gwinnett Daily Post on March 12th, and March 19th, 2019. Applicant has passed the background investigation and meets all requirements.

Discussion:

New
Staff has reviewed this application and recommends approval.

Alternatives:

None



Mayor
Mike Mason

Phil Sadd | Post 1
Eric Christ | Post 2

Alex Wright | Post 3
Jeanne Aulbach | Post 4

Lorri Christopher | Post 5
Weare Gratwick | Post 6

To: Mayor and City Council

Cc: Brian Johnson, City Manager

From: Brandon Branham, Assistant City Manager

Date: March 26, 2019, City Council Meeting

Agenda Item: APH 2019-02-81 Approval of Alcoholic Beverage License Application for **Shell Food Mart**, 6405 Peachtree Industrial Blvd, Peachtree Corners, GA 30092

Applicant **Farid Abdul Malick** is applying for a Retail Package – Wine and Malt Beverage.

Staff Recommendation:

Approve the application for Retail Package – Wine and Malt Beverage.
Shell Food Mart, 6405 Peachtree Industrial Blvd, Peachtree Corners, GA 30092

Background:

Applicant submitted a completed application on February 28, 2019. Required advertising for the application was published in the Gwinnett Daily Post on March 19th, 2019. Applicant has passed the background investigation and meets all requirements.

Discussion:

New
Staff has reviewed this application and recommends approval.

Alternatives:

None



Mayor
Mike Mason

Phil Sadd | Post 1
Eric Christ | Post 2

Alex Wright | Post 3
Jeanne Aulbach | Post 4

Lorri Christopher | Post 5
Weare Gratwick | Post 6

To: Mayor and City Council

Cc: Brian Johnson, City Manager

From: Brandon Branham, Assistant City Manager

Date: March 26, 2019, City Council Meeting

Agenda Item: APH 2019-02-82 Approval of Alcoholic Beverage License Application for **Taqueria Tsunami**, 5160 Town Center Blvd, Peachtree Corners, GA 30092

Applicant **William Scott Kinsey** is applying for a Consumption on Premises – Wine, Malt Beverage and Distilled Spirits License.

Staff Recommendation:

Approve the application for Consumption on Premises – Wine, Malt Beverage and Distilled Spirits. **Taqueria Tsunami**, 5160 Town Center Blvd, Peachtree Corners, GA 30092

Background:

Applicant submitted a completed application on March 8th, 2019. Required advertising for the application was published in the Gwinnett Daily Post on March 19th, 2019. Applicant has passed the background investigation and meets all requirements.

Discussion:

New
Staff has reviewed this application and recommends approval.

Alternatives:

None

02019-02-142

AN ORDINANCE TO AMEND THE CITY OF PEACHTREE CORNERS ZONING MAP PURSUANT TO SUP2018-009, WESLEYAN SCHOOL, REQUEST TO APPROVE A SPECIAL USE PERMIT TO ACCOMMODATE A PRIVATE SCHOOL USE ON TWO RESIDENTIALY-ZONED PROPERTIES AT 3625 AND 3645 SPALDING TERRACE, DIST. 6, LAND LOT 301, PEACHTREE CORNERS, GA.

WHEREAS: Notice to the public regarding said public hearing has been duly published in The Gwinnett Daily Post, the Official News Organ of Peachtree Corners; and

WHEREAS: Public Hearings were held by the Mayor and City Council of Peachtree Corners on February 26, 2019 and March 26, 2019;

NOW THEREFORE, IT IS HEREBY ORDAINED by the governing authority of the City of Peachtree Corners, Georgia while in Regular Session on March 26, 2019 that Zoning Case SUP2018-009, Wesleyan School, is hereby approved for the above referenced property with the following enumerated conditions:

1. The special use permit for Wesleyan School shall be limited to the properties at 3625 Spalding Terrace (AKA 3635 Spalding Terrace) and 3645 Spalding Terrace as shown on the submitted survey;
2. Condition D of O2012-12-72 and O2012-12-73 shall be waived in order to allow the development of athletic fields on the subject properties.
3. Athletic fields shall be the only permitted use on the subject properties;
4. Required inspections and permits shall be obtained before use begins;
5. There shall be no lighting of the athletic fields at this location;
6. There shall be no vehicular or pedestrian access to the facilities via Spalding Terrace; all access shall be through the existing school campus;
7. There shall be no construction access to the property from Spalding Terrace except to demolish existing homes and remove debris.
8. Landscaping and fencing shall be provided which matches or exceeds that along Spalding Terrace adjacent to the existing soccer fields. A landscape plan shall be submitted to Staff for approval.

Effective this 26th day of March, 2019.

So Signed and Witnessed

Approved :

this _____ day of _____, 2019

Attest:

Kymberly Chereck, City Clerk

Mike Mason, Mayor

**CITY OF PEACHTREE CORNERS
COMMUNITY DEVELOPMENT DEPARTMENT**

SPECIAL USE PERMIT ANALYSIS

PLANNING COMMISSION DATE: FEBRUARY 19, 2019

CITY COUNCIL DATE: MARCH 26, 2019

CASE NUMBER: SUP2018-009

APPLICATION REQUEST: Private school use

LOCATION: 3625 (AKA 3635) and 3645 Spalding Terrace

PROPERTY SIZE: 2.91 acres and 1.63 acres (total 4.54 acres)

ZONING: R-100

FUTURE DEVELOPMENT MAP: Chattahoochee River Area

APPLICANT: Wesleyan School
5405 Spalding Drive
Peachtree Corners, GA 30092

CONTACT: Jeff Pettit
678-223-2143

OWNER: Wesleyan School
5405 Spalding Drive
Peachtree Corners, GA 30092

RECOMMENDATION: Approval with Conditions

PROJECT UPDATE:

At the Planning Commission meeting, questions were asked about the project and the school's overall plans for the site. There were no speakers at the public hearing.

The Commission voted unanimously 3-0 (with 2 absent) to recommend approval of the special use permit with staff conditions as amended.

PROJECT DATA:

The Wesleyan School requests a Special Use Permit on two adjoining parcels to expand its campus sports facilities. The school's campus extends from Spalding Drive to Peachtree Parkway, just northeast of the intersection of these two roadways. The subject properties are comprised of two residential lots of the Spalding Estates subdivision, zoned R-100 (Single Family Residence District). The lots are currently owned by Wesleyan and are developed with two

single-family homes. The parcels are located adjacent to the existing school campus property and also have access to Spalding Terrace, which serves the Spalding Estates subdivision.

The site plan indicates that Wesleyan School proposes to expand their athletic facilities by removing the two existing residences on the two properties. The site would be developed with lacrosse and volleyball fields / courts. The applicant's letter of intent states that access to both new facilities would be from the main campus and existing driveway access from Spalding Terrace would be removed.

The need for the expansion is a result of the school's planned STEM building in the central part of its campus. This building will displace the softball field. In turn, the softball field will be reconstructed on the site of the existing lacrosse field. To replace the loss of the lacrosse field, the school is requesting expansion through this Special Use Permit.

The site plan indicates that a generous landscape buffer and privacy fencing would match the existing landscaping and fencing adjacent to Spalding Terrace.

The applicants held a community meeting with Spalding Terrace neighbors in December 2018. Concerns raised by neighbors at that meeting included screening buffers, timeframe of construction, and access from Spalding Terrace. Details of the community meeting, neighbor comments, and the school's response are included in the application packet.

ZONING HISTORY:

The property has been zoned R-100 (Single-Family Residence District) since 1970. The Wesleyan School was granted a Special Use Permit (SUP-04-091) to allow a tennis facility on a portion of the southern property in December of 2004 by Gwinnett County. In 2012, Peachtree Corners granted two Special Use Permits (SUP2012-001 and SUP2012-002) to allow for expansion of the school athletics use onto formerly-residential properties along Spalding Terrace. Those approvals included conditions, including the following (on both Ordinance O2012-12-72 and O2012-12-73):

D. The remaining school-owned, residential properties along Spalding Terrace shall be maintained with single-family homes in order to preserve the residential character of the street. Further, the landscaping along the street fronts for all those properties shall be preserved substantially as it exists and nothing in the use of those properties shall suggest any activity on the premises other than single-family residential.

In order to proceed with the current plans, the applicant needs a waiver from this condition.

ZONING STANDARDS:

Zoning Code Section 1702 identifies specific criteria that should be evaluated when considering a zoning decision. These criteria are enumerated as 'A' through 'F', below. Following each item is the applicant's response followed by Staff's comment.

A. Will this proposed rezoning, special use permit, or change in conditions permit a use that is suitable in view of the use and development of adjacent and nearby property?

Applicant's Response: Yes. Where the school removes existing staff housing and associated driveways to accommodate new facilities, landscape buffers and fencing will be used in the areas developed to provide an upgrade to the current streetscape/view to adjacent property.

Staff's Comment: While the subject property is located within the Chattahoochee River Area, which mainly supports residential uses, private school uses are permitted in the current zoning district with an approved Special Use Permit. Athletic fields are suitable in the way that they are sited adjacent to the existing school campus and athletic facilities and will not require access on residential Spalding Terrace.

B. Will this proposed rezoning, special use permit, or change in conditions adversely affect the existing use or usability of adjacent or nearby property?

Applicant's Response: No. The proposed Special Use Permit will not adversely affect the existing use or usability of adjacent or nearby property.

Staff's Comment: With the proposed conditions limiting access to the facilities, impact on Spalding Terrace will be minimal. With the proposed conditions related to fencing and landscaping, the effect on adjacent residences will be mitigated.

C. Does the property to be affected by a proposed rezoning, special use permit, or change in conditions have reasonable economic use as currently zoned?

Applicant's Response: The property affected by the proposed SUP currently houses staff for the Wesleyan School. In that respect, it has reasonable economic use as currently zoned. The work to be performed under the SUP will make Wesleyan a more desirable school for students to attend increasing the school property's impact in the City of Peachtree Corners.

Staff's Comment: The property has a reasonable economic use as currently zoned.

D. Will the proposed rezoning, special use permit, or change in conditions result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools?

Applicant's Response: No. The proposed changes will eliminate two driveways along Spalding Terrace and will cause less of an impact or burden on the existing streets and infrastructure.

Staff's Comment: Given the limitation of access to the site via the existing campus road network, the impact on streets, transportation facilities, or utilities are unlikely to be excessive or burdensome. There will be no impact on public schools.

E. Is the proposed rezoning, special use permit, or change in conditions in conformity with the policy and intent of the land use plan?

Applicant's Response: The use of the property will be similar to the school zoned use of properties in the surrounding area.

Staff's Comment: See Comprehensive Plan heading, next page.

F. Are there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed rezoning, special use permit, or change in conditions?

Applicant's Response: Yes, there are other factors which support approval of the proposed SUP including that the development of the property under the SUP will allow Wesleyan to pursue the eventual construction of a new facility on its campus. The school's goal is to relocate existing ballfields in order to free up land to allow the school to construct a proposed STEM building.

Staff's Comment: The Comprehensive Plan supports institutional uses such as schools and religious facilities in the Suburban Neighborhood Character Area when accessed from primary streets.

COMPREHENSIVE PLAN:

The 2040 City of Peachtree Corners Character Area Map indicates that the property is located within the Suburban Neighborhood Character Area. Policies for this area encourage single-family residential uses, but also institutional uses such as school and religious facilities when accessed from primary streets. In this case, access will be limited to Peachtree Parkway and Spalding Drive—the existing points of access to the school campus. No access to the facilities will be created on Spalding Terrace.

The surrounding area is characterized by a mixture of residential and non-residential uses. West of the subject property are athletic facilities and classroom buildings associated with the Wesleyan School, zoned O-I. Further to the south across Spalding Drive is Norcross High School and similar accessory uses. To the east and north are properties in the Spalding Estates subdivision, zoned R-100. However, the close proximity to the remaining single-family residences creates the potential for conflicts through lighting, traffic and spectator areas. Conditions should be incorporated to address these issues to mitigate any potential negative impacts for remaining residents of Spalding Estates.

DEPARTMENT ANALYSIS:

The subject property is a 4.5-acre site comprised of two residential lots on Spalding Terrace. The property adjoins R-100 zoning (residential) zoning on the south and east with O-I (Office-Institutional) zoning to the west and OBP (Office-Business Park) zoning to the north.

The 2040 Comprehensive Plan indicates that the parcel lies within the Suburban Neighborhood Character Area. This character area encourages single-family residential uses, but also institutional uses such as school and religious facilities when accessed from primary streets. The proposed use conforms to this development guideline.

RECOMMENDATION:

After review of the applicant's proposal and other relevant information, it is recommended that SUP2018-009 be approved with the following conditions:

- 1. The special use permit for Wesleyan School shall be limited to the properties at 3625 Spalding Terrace (AKA 3635 Spalding Terrace) and 3645 Spalding Terrace as shown on the submitted survey;**
- 2. Condition D of O2012-12-72 and O2012-12-73 shall be waived in order to allow the development of athletic fields on the subject properties.**
- 3. Athletic fields shall be the only permitted use on the subject properties;**
- 4. Required inspections and permits shall be obtained before use begins;**
- 5. There shall be no lighting of the athletic fields at this location;**
- 6. There shall be no vehicular or pedestrian access to the facilities via Spalding Terrace; all access shall be through the existing school campus;**
- 7. There shall be no construction access to the property from Spalding Terrace except to demolish existing homes and remove debris.**
- 8. Fencing shall be provided which matches or exceeds that along Spalding Terrace adjacent to the existing soccer fields and tennis courts to be approved by staff.**
- 9. Applicant shall install a landscape screening buffer consisting of double staggered rows of evergreens that are no less than 6 feet in height at time of planting so to fully screen the fields from view from Spalding Terrace and to screen from adjoining properties be submitted to Staff for approval.**
- 10. Applicant shall install same landscaping plan as in condition No. 9 to screen from view the soccer fields and tennis courts identified on SUP2012-001 and SUP2012-002 to be approved by staff.**
- 11. No public address sound system, outdoor speaker or electronic score board shall be allowed at the athletic fields at this location.**



PUBLIC HEARING APPLICATION

REZONING, SPECIAL USE PERMIT, OR CHANGE IN CONDITIONS

A properly completed application and fees are due at the time of submittal. **An incomplete application will not be accepted.** Original signatures are required for the Application.

REQUIRED ITEMS	NUMBER OF COPIES	REQUIRED	PROVIDED
Completed Application Form	• 1 original	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Boundary Survey with Legal Description	• 1 full size copy • 1- 8-1/2" x 11" or 11" x 17" reduction	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Site Plan	• 1 full size Copy • 1- 8-1/2" x 11" or 11" x 17" reduction	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Letter of Intent	• 1 copy	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Applicant Certification with Notarized Signature	• 1 copy	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Property Owner Certification with Notarized Signature	• 1 copy	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Standards Governing Exercise of the Zoning Power	• 1 copy	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Disclosure Report Form (Conflict of Interest Certification/Campaign Contributions)	• 1 copy	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Verification of Paid Property Taxes (most recent year)	• One (1) Copy (per tax parcel)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Electronic copy of complete package	• One (1) copy	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Application Fee	• Make checks payable to the City of Peachtree Corners	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
ADDITIONAL EXHIBITS (IF REQUIRED)			
Additional site plan requirements for R-TH, R-ZT, Modified, CSO, OBP, MUD or MUO rezoning requests	• 1 copy	<input type="checkbox"/>	<input type="checkbox"/>
Traffic Study	• 1 copy	<input type="checkbox"/>	<input type="checkbox"/>
Development of Regional Impact Review Form	• 1 copy	<input type="checkbox"/>	<input type="checkbox"/>
Community Information Meeting Certification	• 1 copy	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

REZONING, SPECIAL USE PERMIT, OR CHANGE IN CONDITIONS APPLICATION

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF PEACHTREE CORNERS, GEORGIA

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION
NAME: <u>Jeff Pettit</u>	NAME: <u>Chris Cleveland</u>
ADDRESS: <u>5405 Spalding Drive</u>	ADDRESS: <u>5405 Spalding Drive</u>
CITY: <u>Peachtree Corners</u>	CITY: <u>Peachtree Corners</u>
STATE: <u>GA</u> ZIP: <u>30092</u>	STATE: <u>GA</u> ZIP: <u>30092</u>
PHONE: <u>(678) 223-2143</u>	PHONE: <u>(678)223-2206</u>
E-MAIL: <u>jpettit@wesleyanschool.org</u>	E-MAIL: <u>ccleveland@wesleyanschool.org</u>
APPLICANT CONTACT, IF DIFFERENT THAN ABOVE	
CONTACT PERSON: _____ PHONE: _____	
CONTACT'S E-MAIL: _____	

APPLICANT IS THE:

OWNER'S AGENT PROPERTY OWNER CONTRACT PURCHASER

PRESENT ZONING DISTRICTS(S): R-100 REQUESTED ZONING DISTRICT: R-100

LAND DISTRICT(S): 6th LAND LOT(S): LL 301 ACREAGE: 4.541 (2.908 + 1.633)

ADDRESS OF PROPERTY: 3635 & 3645 Spalding Terrace, Peachtree Corners, GA 30092

PROPOSED DEVELOPMENT: Educational / School Athletic Field

Staff Use Only This Section

Case Number: SUP 2018-009 Hearing Date: P/C _____ C/C _____ Received Date: 12/21/18

Fees Paid: _____ By: [Signature]

Related Cases & Applicable Conditions:

Description:

RESIDENTIAL DEVELOPMENT

No. of Lots/Dwelling Units N/A

Dwelling Unit Size (Sq. Ft.): N/A

NON-RESIDENTIAL DEVELOPMENT

No. of Buildings/Lots: Two (2) Lots

Total Bldg. Sq. Ft.: N/A

Gross Density: N/A

FEE SCHEDULE

1. Rezoning, Change-in-Conditions and Special Use Permit Fees – Residential Zoning Districts

(note: a Special Use Permit related to a rezoning case shall not incur an additional fee)

A. For the following single-family residential zoning districts: RA-200, R-140, R-LL, R-100, R-75, RL, MHS.

- 0 - 5 Acres = \$ 500
- > 5 - 10 Acres = \$ 1,000
- > 10 - 20 Acres = \$ 1,500
- > 20 - 100 Acres = \$ 2,000
- > 100 - Acres = \$ 2,500 plus \$40 for each additional acre over 100
- Maximum Fee: \$10,000

B. For the following single and multifamily residential zoning districts: R-TH, RMD, RM-6, RM-8, RM-10, RM-13, R-SR, MH, R-60, R-ZT, R-75 MODIFIED or CSO, and R-100 MODIFIED or CSO.

- 0 - 5 Acres = \$ 850
- > 5 - 10 Acres = \$1,600
- > 10 - 20 Acres = \$2,100
- > 20 - 100 Acres = \$2,600
- > 100 - Acres = \$3,200 plus \$40 for each additional acre over 100

2. Rezoning, Change-in-Conditions and Special Use Permit Fees - Non-Residential Zoning Districts

(note: a Special Use Permit related to a rezoning case shall not incur an additional fee)

For the following office, commercial and industrial zoning districts: C-1, C-2, C-3, O-1, OBP, M-1, M-2, HS, NS.

- 0 - 5 Acres = \$ 850
- > 5 - 10 Acres = \$1,600
- > 10 - 20 Acres = \$2,100
- > 20 - 100 Acres = \$2,600
- > 100 - Acres = \$3,200 plus \$50 for each additional acre over 100

3. Mixed-Use (MUD and MUO) or High Rise Residential (HRR)

Application Fee – \$1,200 plus \$75 per acre (maximum fee - \$10,000)

- 4. Chattahoochee Corridor Review (involving a public hearing) - \$150.
- 5. Buffer Reduction (Greater than 50%) Application Fee - \$500.
- 6. Zoning Certification Letter - \$100 (per non-contiguous parcel).

WESLEYAN SCHOOL

December 19, 2018

Jeff Conkle
City of Peachtree Corners
310 Technology Parkway,
Peachtree Corners, GA 30092

Subject: **Wesleyan School - Letter of Intent**
Special Use Permit Application

Dear Mr. Conkle:

Wesleyan intends to construct a new STEM Building on its campus. STEM stands for Science, Technology, Engineering and Math, all fields becoming increasingly more important in the education of today's students. The STEM building needs to be centrally located among Wesleyan's other academic buildings, ideally, placing it west of a large lawn in the center of the campus called the "quad". The quad is hemmed in on three sides by middle and high school buildings, gymnasiums, a Fine Arts Building and the school's Administration Building. This central location optimizes middle and high school student access to the STEM facility and will be convenient to lower school students. Two ballfields must to be relocated to optimally position the STEM building, and the location of one of those fields facilitates the need for a Special Use Permit (SUP).

The project will need to relocate Wesleyan's softball field in order to place the STEM Building west of the quad. The best location for a relocated softball field is on an existing field currently used for lacrosse practices. The new location for the softball field will be closer to the center of Wesleyan's property in this location but requires that Wesleyan build a new practice lacrosse field in order to not compromise their lacrosse program. There is not enough room on the existing campus property to add a new practice lacrosse field. Wesleyan therefore needs to use school-owned residential properties to build such a field. As the lacrosse practice field will be used less than the softball field and the practice field will not require lights, the school believes the proposed solution will be less intrusive to the school's neighbors.

This SUP Application therefore, requests that Wesleyan School be allowed to use two of its residential properties (3635 Spalding Terrace and 3645 Spalding Terrace) in conjunction with a portion of the school's campus to construct a new lacrosse practice field.

Wesleyan believes the STEM Building and the resources it will provide to its students, will greatly benefit the school, as well as, Peachtree Corners, long-time home to Technology Park. Without the ability to use the two residences, the school cannot add the STEM Building in the location that best benefits the school. If Wesleyan builds the building and does not replace the athletic fields displaced by the STEM Building Project, the school will lose facilities that currently support its athletic program.

In 2017 and 2018 Wesleyan's Girls Softball Team won back-to-back State Championships. If the softball field cannot be replaced in a timely manner, the girls' softball program and other programs which provide student athletes with the ability to earn college scholarships, would be compromised. One of a number of reasons parents elect to pay private school tuition at Wesleyan is because of the opportunities its excellent facilities and athletic programs provide their children.

5405 Spalding Drive • Peachtree Corners, GA 30092 • (770) 448-7640 • Fax (770) 448-3699
www.wesleyanschool.org

WESLEYAN SCHOOL

Letter of Intent - PTC SUP
December 20, 2018
Page 2 of 2

The successful Girls softball program could be negatively impacted if this project does not move forward in a timely manner. Wesleyan's project team estimates that the requested SUP needs to be approved by City Council in March 2019 or the school's softball seasons will be impacted. The design phase must begin by March for contractors to begin work on the new fields between the school's sports programs. If contractors cannot begin work at the right time of the year, they will not have time to install the field in time to allow it to germinate in the right season and grass will not be able to mature enough to play on by the time softball season begins. If the school's facilities are compromised, current student athletes will be affected as will the school's ability to recruit certain new students interested in athletics.

The two Wesleyan-owned residential properties that are needed to provide room for a relocated practice lacrosse field are zoned R-100, Residential. Wesleyan therefore, met with the City of Peachtree Corners to better understand the process of acquiring a Special Use Permit. As directed, Wesleyan followed up on December 6, 2018 by meeting with school's neighbors. At the meeting, Wesleyan presented neighbors with information about the schools STEM Building project as well as the related ballfield relocation projects. The school's administration and project team leaders answered questions and listened to the concerns of the neighbors who attended. The detailed Meeting Notes from that meeting are enclosed in this application.

Wesleyan also has hired Pond and Company, to provide Civil Engineering and a Landscape Architectural services. Pond, a local Peachtree Corners Engineering firm is under contract to design the field and the appropriate landscape buffers to enhance the neighborhood's view along Spalding Terrace. Members of Wesleyan and Pond have met with neighbors both formally and informally to be able to provide a design that benefits the school and addresses legitimate concerns of Wesleyan's neighbors.

If the City of Peachtree Corners grants this SUP, Wesleyan will use and maintain the specified properties with the same level excellence the school exhibits on the remainder of its campus. The proposed landscape buffers will be maintained with care. Traffic along Spalding Terrace will be reduced as two driveways will be removed and no additional entrances to the property are planned under this project. Nicely landscaped buffers with privacy fencing will be created along Spalding Terrace's street front where Wesleyan's current two residences exist. In the big picture, Wesleyan will attract students who have an aptitude for STEM related subjects providing a benefit the children of citizens who live in and work Peachtree Corners. Wesleyan's emphasis on the STEM program will be attractive and beneficial to companies who work in Peachtree Corners' Technology Park.

Sincerely,

Jeff Pettit

Jeff Pettit, CCM
Wesleyan Construction Program Manager

Cc: Chris Cleveland, Wesleyan Head of School
Spencer Cornett, Wesleyan Facilities Dir.
Mike Mascheri, CCCA Architect

Kevin Hendrix, Pond Civil Eng.
File: WCP STEM Project - a8.2 (SUP)

APPLICANT'S CERTIFICATION

The undersigned below states under oath that they are authorized to make this application. The undersigned is aware that no application or reapplication affecting the same land shall be acted upon within 12 months from the date of last action by the city council unless waived by the city council. In no case shall an application or reapplication be acted upon in less than six (6) months from the date of last action by the city council.

Jeffrey S Pettit

12/19/18

Signature of Applicant

Date

Jeffrey S. Pettit, Wesleyan Construction Program Manager

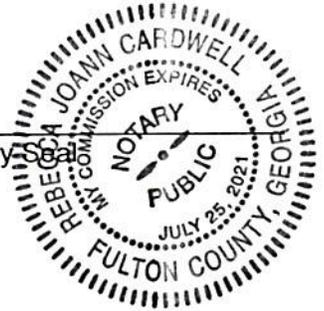
Type or Print Name and Title

Rebecca Joann Cardwell 12/19/18

Signature of Notary Public

Date

Notary Seal



PROPERTY OWNER'S CERTIFICATION

The undersigned below states under oath that they are authorized to make this application. The undersigned is aware that no application or reapplication affecting the same land shall be acted upon within 12 months from the date of last action by the city council unless waived by the city council. In no case shall an application or reapplication be acted upon in less than six (6) months from the date of last action by the city council. As the property owner, I authorize the above noted applicant to act on my behalf with regard to this application.

Chris Cleveland

12/19/2018

Signature of Property Owner

Date

Chris Cleveland, Wesleyan Head of Schools

Type or Print Name and Title

Rebecca Joann Cardwell 12/19/18

Signature of Notary Public

Date

Notary Seal



APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

Pursuant to section 1702 of the 2012 zoning resolution, the city council finds that the following standards are relevant in balancing the interest in promoting the public health, safety, morality or general welfare against the right to the unrestricted use of property and shall govern the exercise of the zoning power.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- A. Will this proposed rezoning, special use permit, or change in conditions permit a use that is suitable in view of the use and development of adjacent and nearby property?

Yes. Where the school removes existing staff housing and associated driveways to accommodate new facilities, landscape buffers and fencing will be used in the areas developed to provide and upgrade to the current street-scape / view to adjacent and nearby property.

- B. Will this proposed rezoning, special use permit, or change in conditions will adversely affect the existing use or usability of adjacent or nearby property?

No. The proposed Special Use Permit will not adversely affect the existing use or usability of adjacent or nearby property.

- C. Does the property to be affected by a proposed rezoning, special use permit, or change in conditions have reasonable economic use as currently zoned?

The property affected by the proposed SUP currently houses staff for the Wesleyan School. In that respect it has reasonable economic use as currently zoned. The work to be performed under the SUP will make Wesleyan a more desirable school for students to attend increasing the school property's impact in the City of Peachtree Corners. +

- D. Will the proposed rezoning, special use permit, or change in conditions will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools?

No. The proposed changes will eliminate two driveways along Spalding Terrace and will cause less of an impact or burden on the existing streets and infrastructure.

- E. Will the proposed rezoning, special use permit, or change in conditions is in conformity with the policy and intent of the land use plan?

The use of the property will be similar to the school zoned use of properties in the surrounding area.

- F. Are there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed rezoning, special use permit, or change in conditions?

Yes, there are other factors which support approval of the proposed SUP including that the development of the property under the SUP will allow Wesleyan to pursue the eventual construction of a new facility on its campus. The school's goal is to relocate existing ballfields in order to free up land to allow the school to construct a proposed STEM Building. +

DISCLOSURE REPORT FORM
CONFLICT OF INTEREST CERTIFICATION/CAMPAIGN CONTRIBUTIONS

WITHIN THE (2) YEARS IMMEDIATELY PRECEDING THE FILING OF THIS ZONING PETITION HAVE YOU, AS THE APPLICANT FOR THE REZONING, SPECIAL USE PERMIT, OR CHANGE IN CONDITIONS PETITION, OR AN ATTORNEY OR AGENT OF THE APPLICANT FOR THE REZONING, SPECIAL USE PERMIT, OR CHANGE IN CONDITIONS PETITION, MADE ANY CAMPAIGN CONTRIBUTIONS AGGREGATING \$250.00 OR MORE OR MADE GIFTS HAVING AN AGGREGATE VALUE OF \$250.00 TO THE MAYOR OR ANY MEMBER OF THE CITY COUNCIL?

CHECK ONE: YES NO
 (If yes, please complete the "Campaign Contributions" section below)

Jeff Pettit

 Print Name

1. CAMPAIGN CONTRIBUTIONS

Name of Government Official	Total Dollar Amount	Date of Contribution	Enumeration and Description of Gift Valued at \$250.00 or more

2. THE UNDERSIGNED ACKNOWLEDGES THAT THIS DISCLOSURE IS MADE IN ACCORDANCE WITH THE OFFICIAL CODE OF GEORGIA, SECTION 36-67A-1 ET. SEQ. CONFLICT OF INTEREST IN ZONING ACTIONS, AND THAT THE INFORMATION SET FORTH HEREIN IS TRUE TO THE UNDERSIGNED'S BEST KNOWLEDGE, INFORMATION AND BELIEF.

Jeff Pettit 12/19/18 Jeff Pettit, Const. Program Manager
 Signature of Applicant Date Type or Print Name and Title

 Signature of Applicant's Attorney or Representative Date Type or Print Name and Title

Rebecca Joann Cardwell 12/19/18 Notary Seal
 Signature of Notary Date

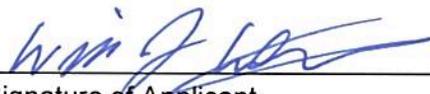


VERIFICATION OF CURRENT PAID PROPERTY TAXES FOR REZONING

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED CERTIFIES THAT ALL CITY OF PEACHTREE CORNERS PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE TAX COMMISSIONER OF GWINNETT COUNTY, GEORGIA. IN NO CASE SHALL A PUBLIC HEARING APPLICATION BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE REZONING REQUEST.

PARCEL I.D. NUMBER: 6th - LL 301 - R6301 013
(Map Reference Number) District Land Lot Parcel

 12/19/2018
Signature of Applicant Date

Billy Coxhead, Wesleyan Director of Finance
Type or Print Name and Title

Tax Commissioners Use Only

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

NAME TITLE

DATE



ACCOUNT DETAIL

[View/Pay Your Taxes / Account Detail](#)

Tax Account

Mailing Address:
WESLEYAN SCHOOL INC
5405 SPALDING DR
PEACHTREE CORNERS , GA 30092-2614

SITUS:
3625 SPALDING TER

Tax District:
PEACHTREE CORNERS

[Change Mailing Address](#)

Parcel ID
R6301 013

Property Type
Real Property

Last Update
12/20/2018 11:02:00 AM

Legal Description
L10 BB SPALDING ESTATES

Tax Bills

Note: Four years of tax information is available online. Email tax@gwinnettcountry.com to request other years.

Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Due Date	Amount Due
2018	\$132.84	\$132.84	\$0.00	\$0.00	10/15/2018	\$0.00
Total						\$0.00

VERIFICATION OF CURRENT PAID PROPERTY TAXES FOR REZONING

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED CERTIFIES THAT ALL CITY OF PEACHTREE CORNERS PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE TAX COMMISSIONER OF GWINNETT COUNTY, GEORGIA. IN NO CASE SHALL A PUBLIC HEARING APPLICATION BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

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PARCEL I.D. NUMBER: 6th - LL 301 - R6301 014
(Map Reference Number) District Land Lot Parcel

 12/19/2018
Signature of Applicant Date

Billy Coxhead, Wesleyan Director of Finance

Type or Print Name and Title

Tax Commissioners Use Only

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

NAME TITLE

DATE



ACCOUNT DETAIL

[View/Pay Your Taxes / Account Detail](#)

Tax Account

Mailing Address:
WESLEYAN SCHOOL INC
5405 SPALDING DR
PEACHTREE CORNERS, GA 30092-2614

SITUS:
3645 SPALDING TER

Tax District:
PEACHTREE CORNERS

[Change Mailing Address](#)

Parcel ID
R6301 014

Property Type
Real Property

Last Update
12/20/2018 11:05:28 AM

Legal Description
L11 BB SPALDING ESTATES

Tax Bills

Note: Four years of tax information is available online. Email tax@gwinnettcountry.com to request other years.

Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Due Date	Amount Due
2018	\$162.36	\$162.36	\$0.00	\$0.00	10/15/2018	\$0.00
Total						\$0.00



WESLEYAN SCHOOL

Meeting Notes

NOTE: THESE MEETING NOTES ARE AMMENDED TO DENOTE WESLEYAN'S RESPONSE AND ACTIONS TAKEN ATER WESLEYAN'S DECEMBER 6, 2018 MEETING TO ADDRESS QUESTIONS AND CONCERNS VOICED BY PARTIES WHO ATTENDED THE MEETING. SUCH AMMENDMENTS TO THE MEETING NOTES ARE DELINIATED BY TEXT IN ALL CAPITAL LETTERS WITH BOLDED AND UNDERLINED FONT.

Meeting: Community Presentation of the Wesleyan School Campus Master Plan

Location: Brammer-Wilkinson, Warren Hall

Date: December 6, 2018 (7:00 - 8:15 pm)

Attendees: Chris Cleveland, Jeff Pettit, Mike Mascheri (CCCA), Spencer Cornett, Elizabeth Johnson, Ramona Blankenship, Jeff Plunk, Brian Morgan, John Marshall, Kevin Hendrix (Pond), Kevin Adams, Robert Ash, Jeanie Ash, Barry Caudill, Dean Hayes, Judy Hayes, Lynda Hurdsmith, Shirley Spivey, Robin Spivey, Carol Waller

Copy: Jeff Conkle, City of Peachtree Corners Billy Milam, WS Bldg. Committee Chairman
Rob Binion, WS Board of Trustees Chairman Lee Tucker, MPT, LLC
File: WSBP-a8.1 (SUP Mtg. Mins.)

The above listed attendees met at Wesleyan in the Lower School's Brammer-Wilkinson Conference Room on the above referenced date. The purpose of the meeting was to allow Wesleyan to communicate to its neighbors the details of an upcoming building program to solicit questions and comments prior to applying for a Special Use Permit from the City of Peachtree Corners.

A. Introduction

1. Wesleyan's Head of School, Chris Cleveland welcomed everyone and introduced specific Wesleyan employees in attendance, most of whom live on Spalding Terrace. He also introduced Wesleyan's Facilities Director, Spencer Cornett and the project team who will oversee the upcoming construction project. Jeff Pettit is Wesleyan's Construction Program Manager and Mike Mascheri is the project's Architect. Chris then opened the meeting with prayer.
2. Chris explained the purpose of this meeting is to present the details of Wesleyan's upcoming building program and for the school to do its best to answer questions. Wesleyan also intends on being a good neighbor and listening to any concerns its neighbors might have.

B. Presentation:

1. Chris presented a summary of Wesleyan's history and expressed the school's desire to maintain its present enrollment. He stated that the school's goal is not to grow in size, nor in number of students. He said that the goal of the new building program is to enhance the school's ability to provide quality education, not to add more students.
2. He stated that the main limiting factor for most schools is "land" as the property a school owns greatly affects its ability to grow and to change when necessary. He said that Wesleyan benefits greatly by owning homes adjacent to its campus because faculty and essential staff are close by if

they are needed on campus. He said that staff living in these homes understands that at some point in time Wesleyan may need that property for the benefit of the school as a whole. Therefore, though Wesleyan may not currently have plans to change the use of a property they own, that may not always be the case. Wesleyan's Board of Trustees is therefore typically interested in any reasonable opportunity to pursue available land adjacent to the campus.

3. Chris referenced two presentation boards. The first consisting of a site plan of Wesleyan's existing campus and the second of the school's proposed master plan. He then referenced a PowerPoint presentation to illustrate the following:
 - a. The main focus of Wesleyan's new capital campaign is a STEM building located in the interior of campus. STEM stands for Science, Technology, Engineering and Math and will shore up an area Wesleyan would like to focus on with its students. The STEM Building's central location makes it close to Lower, Middle and High School buildings.
 - b. The central location will require the relocation of Wesleyan's Softball Field to the lower tier of what the school calls its Lake Fields. Chris said speakers at the softball field and lacrosse fields will be directed towards bleachers / grandstand and not towards Spalding Terrace.
 - c. The softball field will displace one of Wesleyan's practice fields and will require adding a new practice field. The practice field will be added in the location of two of Wesleyan's residences and will be approximately 18 feet lower than Spalding Terrace. To make such a field less intrusive for the school's neighbors, Wesleyan has decided not to install lights, a permanent score board, or a sound system at this field. Once construction is underway Wesleyan has directed the contractor to access the project from the interior of Wesleyan's campus. The design team believes the landscape buffer at the NE property line is required to be 25' minimum. As the field is a practice field it will typically be used during school hours or afterschool from 3-6 pm and on Saturdays.
 - d. The first step in the process will be to demolish two Wesleyan owned homes on Spalding Terrace. They will need to be demolished to make room for the new practice field. Depending on the weather, the contractor believes demolition of the houses will take approximately one week. The only time Wesleyan believes the contractor will need to access Spalding Terrace will be during this process. Trucks will deliver demolition equipment and dumpsters to the properties via Spalding Terrace and will be stored in driveways or lawns, not in the street. The houses will be demolished, and trucks will again use Spalding Terrace to haul the dumpsters away and demobilize. Existing large caliper trees will be preserved as much as possible, and additional dense landscaping will be added along with a wind screen fence to provide a buffer between traffic on Spalding Terrace and the campus.

C. Question/Answer Session:

1. Carol Waller: What is the project's timeframe?

Answer: We anticipate January 2020. Until then, Wesleyan will be raising funds and working with our contractor and architect. Historically, Wesleyan has not incurred debt for construction projects and it is important to us to maintain that fiscal responsibility. We anticipate the STEM building will open for students Fall 2021.

THIS QUESTION WAS ANSWERED IN THE 12/6/18 MEETING.

2. Kevin Adams: Will Wesleyan consider a berm to build up buffer to the Ash property?

Answer: The Civil Engineer believes the site is balanced where there should not be excess dirt for a berm. Jeff Pettit said the team had considered the possibility of adding a berm however, he did not believe a berm could be added in the City's Right of Way and if we went further back into our property we could not add to much of a berm without impacting a number of large mature trees that would likely need to remain. He noted that adding dirt above a tree's existing base could kill a tree. Jeff said that Wesleyan would consider adding a berm where they could if it made sense. Chris pointed out that the field is up to 18 feet below the street and that with the appropriate landscape buffer and the 6' high fence the field would not be visible from the street.

WESLEYAN AND ITS LANDSCAPE ARCHITECT (LSA) MET WITH ROBERT AND JEAN ASH ON 12/17/18 TO REVIEW THE CONDITIONS AT THE PROPOSED BUFFER AREA BETWEEN THEIR PROPERTY AND THE PROPOSED LACROSSE' FIELD. THERE ARE A NUMBER OF MATURE TREES IN THE BUFFER ZONE THAT WOULD HAVE TO BE TAKEN DOWN IN ORDER TO ADD A BERM. A MORE REALISTIC SOLUTION IS TO ADD DENSE LANDSCAPING AND A TALLER FENCE WITH A WINDSCREEN. THE DESIGNER WILL RESEARCH THE OPTIMAL FENCE LOCATION (IE.: CLOSER TO THE FIELD OR CLOSER TO THE ASH PROPERTY) AND WESLEYAN HAS COMMITTED TO CONTINUE TO WORK WITH THE ASHES AS TO WHAT WORKS BEST ONCE THE LSA AND ARBORIST MEET AND DETERMINE WHICH TREES MUST STAY AND WHICH SHOULD COME DOWN. THE LSA SAID THAT MANY TIMES THE LANDSCAPE COMPANY HIRED BY WESLEYAN'S CONTRACTOR WILL HAVE GOOD SUGGESTIONS FOR THE PLANT MATERIALS THAT WILL BOTH SERVE AS A GOOD BUFFER AND WILL BE THE MOST TOLLERANT. THE LSA SAID HE WILL SPECIFY MATERIALS BUT WOULD LIKE TO CONSIDER THE LS SUB'S SUGGESTIONS. THE LS SUB WILL NOT BE KNOWN UNTIL LATER IN 2019. AT THE TIME OF THE SUP APPLICATION, WESLEYAN HAS MET TWICE WITH THE ASHES AND HAS CORRESPONDED MULTIPLE TIMES SINCE THE 12/6/18 COMMUNITY MEETING AND ARE WORKING TOWARDS A MUTUALLY ACCEPTABLE SOLUTION.

3. Kevin Adams: When will the fields be under construction?

Answer: It will take approximately 2-3 months but as the work is all outside, the schedule is weather dependent. Workers will be working on site Monday-Friday. Typically, they will likely work from 8 am - 5:30 pm but could work whatever time local ordinances allow.

THIS QUESTION WAS ANSWERED IN THE 12/6/18 MEETING.

4. Carol Waller: Construction noise is a problem. I know it may not be possible but could landscaping be installed early in the project to offer a buffer for construction?

Answer: We will be conscious of the concern and will consider it if it makes sense as there are factors with landscaping like planting plants at the right time of the year and making sure they are in locations where they won't be destroyed by the construction process. However, we will consider it if it makes sense.

WESLEYAN MET WITH BOTH LSA AND CONSTRUCTION CONTRACTOR AND THEY BELIEVE THAT THIS REQUEST FOR LANDSCAPING ALONG THE STREET WITH A FENCE INSTALLED IN THE EARLY PHASE OF CONSTRUCTION CAN HONORED DEPENDENT ON THE TIME OF YEAR CONSTRUCTION BEGINS. BOTH STATED THE ONLY CAVEAT WOULD BE THAT THE PLANTING DATE FOR THE SPECIFIC PLANT MATERIAL MUST BE CONSIDERED. WESLEYAN WOULD NOT WANT TO PLANT

MOST TYPES OF PLANT MATERIALS IN DURING COLD JANUARY WEATHER NOR IN HOT JULY WEATHER. AS LONG AS IT WOULD NOT BE DETRIMENTAL TO THE PLANT MATERIALS THIS REQUEST CAN BE MET.

5. **Kevin Adams: What is elevation in comparison to Ash property?**

Answer: From the street we think its an 18' drop to the field's level. As the property line runs westward the two properties eventually will be at the same plane and will stager in elevation as the field stays relatively flat but the Ash property runs down-hill. The buffer is 25' at the NW corner of the field and grows wider as the property nears Spalding Terrace.

THIS QUESTION WAS ANSWERED IN THE 12/6/18 MEETING. HOWEVER, WESLEYAN MET WITH ROBERT AND JEAN ASH ON 12/10/18 AND 12/17/18 TO REVIEW CONDITIONS AT THE PROPOSED BUFFER AREA BETWEEN THEIR PROPERTY AND THE PROPOSED LACROSSE' FIELD. THE BUFFER IS 25' AT THE NW CORNER OF THE FIELD AND THEIR PROPERTY WILL BE A FEW FEET LOWER THAN THE FIELD THERE. MOVING EASTWARD, AS THE PROPERTY NEARS SPALDING TERRACE, THE BUFFER INCREASES TO APPROXIMATELY 50' AND THEIR PROPERTY IS CLOSER TO 18 ABOVE THE SCHOOL'S FIELD.

6. **Unidentified Neighbor: Will there be an entrance to the fields from Spalding Terrace?**

Answer: No new entrances are being added. The two driveways for Wesleyan's current residences will go away. However, we will need to keep its current access drive that has been there for years for maintenance access and for emergency vehicular access.

THIS QUESTION WAS ANSWERED IN THE 12/6/18 MEETING.

D. Further Comments and Discussion

1. Several people expressed concern about cars that have been parked on the street recently. Chris Cleveland thanked neighbors for letting him know as he explained that at no time should cars be parking on the street. If people have Bible Studies or other gatherings at Wesleyan-owned homes, they should typically have guests park in driveway or on campus and they should walk to the home. Spencer Cornett distributed his business card and asked that neighbors contact him should they see this happen in the future. He stated that as Director of Facilities he is in a better position to correct the problem than if neighbors call an administrative assistant at the school.

AFTER THE 12/6/18 MEETING, WESLEYAN'S ADMINISTRATION DISTRIBUTED CORESPONDENCE TO ALL WESLEYAN RESIDENTS WHO RESIDE ON SPALDING TERRACE EMPHASIZING WESLEYAN'S POLICIY THAT VISITORS ARE NOT ALLOWED TO PARK ON SPALDING TERRACE. WESLEYAN'S CONSTRUCTION MANAGER ALSO NOTIFIED EXISTING CONTRACTORS THAT THEIR CREWS ARE NOT ALLOWED TO PARK ON SPALDING TERRACE. THERE ARE ALSO ALREADY NO PARKING SIGNS ALONG SPALDING TERRACE IN FRONT OF LANDSCAPED BUFFER NEAR THE PROPOSED NEW PRACTICE FIELD. THOSE SIGNS WILL REMAIN IN PLACE AND IF A FEW MORE ARE NEEDED IN FRONT OF THE NEW FIELD'S FRONTAGE THE PROJECT WILL ADD THEM.

2. Carol Waller stated that she is considering selling her house and feels that construction at the new Oglethorpe development and construction at the school at the same time could hurt her chances of selling house and wants Wesleyan to investigate timing of both projects.

WESLEYAN HAS IDENTIFIED THE DEVELOPMENT COMPANY CONSTRUCTING THE NEW DEVELOPMENT AT THE CORNER OF SPALDING DRIVE AND SPALDING TERRACE. AS OF THE DATE OF THE SUP APPLICATION, WESLEYAN'S CONSTRUCTION PROGRAM MANAGER HAS LEFT A MESSAGE ASKING THEIR PROJECT MANAGER TO CALL HIM BACK TO DISCUSS THE END DATE FOR THEIR PROJECT. WESLEYAN'S WORK IS CURRENTLY NOT SCHEDULED TO BEGIN UNTIL 2020 SO WE DO NOT ANTICIPATE THAT BOTH PROJECTS WILL BE UNDER CONSTRUCTION AT THE SAME TIME. WESLEYAN DOES NOT TAKE ISSUE WITH INVESTIGATING THE OTHER PROJECT'S END DATE HOWEVER ANY REQUEST TO COORDINATE SCHEDULES WITH A PROJECT THAT IS NOT RELATED TO OURS IS NOT REASONABLE. WESLEYAN'S CONSTRUCTION MUST BEGIN AT A SPECIFIC TIME OF THE YEAR TO NOT IMPACT ITS STUDENTS ACADEMIC SCHEDULES, SPORTS SEASONS AND OTHER INTERNAL FUNCTIONS THAT WILL BE DISRUPTIVE AND COSTLY TO THE SCHOOL.

3. Kevin Adams suggested Wesleyan pave several spots for parking to keep students or guests from parking on street.

WESLEYAN DOES NOT INTEND TO ADD PARKING SPACES ALONG SPALDING TERRACE.

4. Lynda Hurdsmitth asked if the landscaping near the tennis courts be addressed. She felt like the landscaping in that area is dying out. Chris Cleveland said he would look into it with Wesleyan's Facilities Director, Spencer Cornett and Wesleyan's Director of Grounds, David Carr. If something needs to be done in that area Wesleyan will address it.

ON 12/7/18 WESLEYAN FACILITIES REVIEWED THE CONDITION VOICED BY MS. HURDSMITH IN THE DAYS AFTER THE 12/6/18 MEETING. MUCH OF THE AREA 'DYING OUT' CONSISTED OF DECIDUOUS PLANTINGS THAT LOSE THEIR FOLIAGE IN THE FALL AND WINTER MONTHS. WESLEYAN'S LANDSCAPE CREW WORKED TO CLEAN UP AND SPRUCE UP THE AREA THE SAME DAY. LATER WESLEYAN MET WITH A LANDSCAPE ARCHITECT (LSA) TO REVIEW THE AREA TO SEE IF HE SAW ANY OPPORTUNITIES TO IMPROVE THE AREA. AS OF THE WRITING OF THE SUP APPLICATION THE LSA IS SENDING WESLEYAN A PROPOSAL TO PROVIDE A DESIGN THAT COULD INCORPORATE SOME ADDITIONAL PLANTINGS TO IMPROVE THE AREA.

5. Kevin Adams suggested noise is an issue at times and that a berm would help block the sound from the fields.

SAME ANSWER AS REPONSE ABOVE TO "C. QUESTION/ANSWER SESSION" (SEE RESPONSE TO QUESTION NO. 2).

6. Carol Waller said she thought construction hours are restricted to 8:30 am - 5 pm Monday through Friday. Jeff said Wesleyan's contractor will comply with city ordinances.

WESLEYAN CONTRACTORS WILL COMPLY WITH LOCAL ORDINANCES.

Carol Waller expressed concern about the lake or stream getting silted from construction; architect mentioned that monitoring is required by code/state now and run-off and silt fencing will be maintained.

WESLEYAN CONTRACTORS WILL COMPLY WITH REGULATIONS REGARDING EROSION CONTROL AND RUNNOFF.

7. Several neighbors asked why they had been seeing surveyors working around the homes owned by Wesleyan. Jeff Pettit explained that Wesleyan did not have an extensive campus-wide survey that included all of its properties. Therefore, Wesleyan had commissioned a survey company to produce a survey that included all property lines, underground utilities, etc. Once they are done this will greatly aid his team as they embark on any future construction projects.

THIS QUESTION WAS ANSWERED IN THE 12/6/18 MEETING.

8. Many neighbors thanked Wesleyan's administration for including them in the process by sharing Wesleyan's plans and asking about their concerns.

E. Closing Comments

1. Chris Cleveland further explained Peachtree Corner's Special Use Permit (SUP) process. He stated that Wesleyan would prepare an SUP Application to be reviewed by the City. After that a presentation will be made to the Zoning committee in January. Pending the results of Peachtree Corners' Zoning meeting, our understanding is that there will be a meeting for approval with the City Council on March 26, 2019.
2. Chris asked if anyone had anymore questions and when no one responded he thanked them for participating in the meeting which concluded at 8:15 pm.

The above meeting notes represent the author's recollection of the referenced meeting. Should there be any corrections or items that you believe should be added please notify me in writing within the next five workdays. Otherwise, these meeting notes will stand as written.

Sincerely,

Jeff Pettit

Wesleyan School
Construction Program Manager



**WESLEYAN
SCHOOL**

Attendance Sheet

Capital Improvement / Building Program

Meeting SUP Neighbor Meeting

Date: 2018-12-6

Initials	Name	Organization	Role	Phone No.	email address
✓	Chris Cleveland	Weslyan School	Head Master	678-223-2206	CCleveland@wesleyanschool.org
✓	Ramona Blankenship	Weslyan School	Assoc. Head of School	678-223-2218	RBlankenship@wesleyanschool.org
✓	Jeff Pettit	Weslyan School	Const. Mgr./Owner Rep	678-315-0631	JPetit@wesleyanschool.org
✓	Spencer Cornett	Weslyan School	Director of Facilities	678-223-2167	SCornett@wesleyanschool.org
✓	Mike Maschen	CCCA	Architect	678-569-7712	Maschenm@cccarchitects.com
	Greg Oneal	CCCA	Architect	678-569-7713	
	Anthony Hutto		6050 Peachtree Pkwy Suite 240-194		Jeff Plunk - W
✓	Kevin and Martha Adams		3626 Spalding Terrace		Brian Moran - W
✓	Dean and Judy Hayes		3526 Spalding Terrace		Elizabeth Johnson - W
	William Stoman		2975 Slaton Drive		Robin Spivey - daughter - Spivey
	Nathaniel Cooper		3675 Spalding Terrace		Jeanne Ash
	Peachtree Corners Parkway LLC		PO Box 40509		David Carr - W
✓	Lynda Hurdsmith		3596 Spalding Terrace		Kevin Hendrix (Hond)
✓	Carol Waller 1st person here		3546 Spalding Terrace		John Marshall - W
	Joe Brand		3586 Spalding Terrace		
✓	Barry and Rose Lynn Caudill his contact		3509 Spalding Terrace		
	Thomas Brand		3690 Spalding Terrace		
	Chad Powell		2421 Bagley Road		
	Joyce Houser		5401 Whitaker Street		
	Robert Hume		5241 N Hampton Ridge		
	Wade and Shelia Grogan		3581 Medlock Bridge Road		
✓	Harvey and Shirley Spivey		3575 Spalding Terrace		
	Christopher Jackson		3676 Spalding Terrace		
	Peachtree Residential		7380 McGinnis Ferry Road		
	Paul and Jan Reynolds		3566 Spalding Terrace		
	Greg Vizzini		5277 Spalding Drive		
	Portofino Management Corp		7380 McGinnis Ferry Road		
	Susan Teft		3665 Spalding Terrace		
✓	Robert Ash		PO Box 920173		
	Danny Dudley		3666 Spalding Terrace		
	Da Vinci Court Associates LLC		1 Independent Drive Suite 1850		
	William Grogan		3005 Medlock Bridge Road		
	Peachtree Corners Parkway LLC		450 N Roxbury Drive Suite 1050		

Meeting Notes
Wesleyan School Capital Program
Presentation to Community to begin SUP Application

December 6, 2018



View of the two homes under consideration for Special Use Permit



02019-02-143

AN ORDINANCE TO AMEND THE CITY OF PEACHTREE CORNERS ZONING MAP PURSUANT TO SUP2019-001, CELEBREMOS SU GLORIA, REQUEST TO APPROVE A SPECIAL USE PERMIT TO ACCOMMODATE A RELIGIOUS FACILITY IN AN EXISTING BUILDING AT 3120 MEDLOCK BRIDGE RD., BUILDING A, DIST. 6, LAND LOT 271, PEACHTREE CORNERS, GA.

WHEREAS: Notice to the public regarding said public hearing has been duly published in The Gwinnett Daily Post, the Official News Organ of Peachtree Corners; and

WHEREAS: Public Hearings were held by the Mayor and City Council of Peachtree Corners on February 26, 2019 and March 26, 2019;

NOW THEREFORE, IT IS HEREBY ORDAINED by the governing authority of the City of Peachtree Corners, Georgia while in Regular Session on February 26, 2019 that Zoning Case SUP2019-001, Celebremos Su Gloria, is hereby approved for the above referenced property with the following enumerated conditions:

1. The special use permit for Celebremos Su Gloria shall be limited to the property at 3120 Medlock Bridge Road, Building A as shown on the submitted survey.
2. A shared parking agreement shall be established for the office park property.
3. Required inspections and interior finish permits shall be obtained before occupancy;
4. If the City determines that church activities sufficiently impact existing traffic, the City shall notify the church and the church shall provide an off-duty police officer during those times when church related traffic needs to be managed;
5. Any expansion of the use beyond the worship service and specific other services noted in the application which may increase traffic flow to the site or cause vehicular circulation or parking issues on or to the site shall require an amendment to the Special Use Permit.
6. Church use of the property may not begin until all permitted construction has been completed, a certificate of occupancy has been issued, and a business license has been granted.
7. If the church use has not commenced within twelve months, or if it becomes inactive for more than sixty days after it becomes operational, then the Special Use approval shall become void.

Effective this 26th day of March, 2019.

So Signed and Witnessed

Approved :

this _____ day of _____, 2019

Attest:

Kymberly Chereck, City Clerk

Mike Mason, Mayor

**CITY OF PEACHTREE CORNERS
COMMUNITY DEVELOPMENT DEPARTMENT**

SPECIAL USE PERMIT ANALYSIS

PLANNING COMMISSION DATE: FEBRUARY 19, 2019

CITY COUNCIL DATE: MARCH 26, 2019

CASE NUMBER: SUP2019-001

APPLICATION REQUEST: Religious Facility

LOCATION: 3120 Medlock Bridge Rd., Bldg. A

PROPERTY SIZE: 10,000 Sq. Ft. Office Condominium (Building A)
9.3 Acres Entire Business Park

ZONING: M-1

FUTURE DEVELOPMENT MAP: Preferred Office

APPLICANT: Celebremos Su Gloria Church
89 Jones St.
Norcross, GA 30071

CONTACT: Rafael Fernandez
678-773-8026

OWNER: Wilvestco LLC
3120 Medlock Bridge Rd., Bldg. A
Peachtree Corners, GA 30071

RECOMMENDATION: Defer

PROJECT UPDATE:

At the Planning Commission meeting, questions were asked about the project and the church's overall plans for the site. There was one speaker at the public hearing who relayed her nearby neighborhood's concerns about potential increase in traffic on Medlock Bridge Road and Langford Road.

The Commission voted unanimously 3-0 (with 2 absent) to recommend approval of the special use permit with staff conditions.

PROJECT DATA:

The applicant requests a Special Use Permit for a condominium office building on a larger 9.3-acre business park zoned M-1 (Light Industry District) to permit a facility for the conduct of

religious services and ceremonies in an existing building. The office building is part of the Medlock Commons Business Park, which includes ten buildings. The applicant's letter of intent states that Celebremos Su Gloria intends to occupy the 10,000-square-foot building to serve approximately 100 congregants. No additions or alterations to the exterior of the buildings or site are being requested.

The site is located within a business park area that is along Medlock Bridge Road south of Peachtree Industrial Boulevard. The property is located behind the Medlock Oaks Business Park and abuts residential property to the rear. Adjacent business park properties are zoned M-I while the residential area is zoned R-ZT.

The applicant has provided a survey of the site. It includes a one-story, stucco, masonry and glass storefront building with parking in the front. The applicant will need at least 20 parking spaces based on their estimated capacity; the previous use of Building A as office space also required 20 spaces. The entire business park shares the parking lot which currently has approximately 175 spaces. From a zoning requirement perspective, there should not be a parking issue. However, Staff reached out to the property owners association for comments about this use. They, in turn, asked the tenants and some concerns were raised about the church use and the potential impact to the available parking spaces. Two property owners that are also tenants in adjacent buildings indicated that they don't believe there will be sufficient parking on the property for the church to operate within that business park on Sunday. One tenant offers language classes to students and another often has weekend office activity. Both tenants feel that parking will be an issue and they don't want to compete with the proposed church for spaces. For that reason, neither tenant supports the church use at this location.

ZONING HISTORY:

The property is zoned M-I (Light Industry District) and is occupied by ten business park buildings over 9.3 acres. The property was rezoned to allow the business park in 1985. It was previously undeveloped land zoned R-75 and R-TH. There is no other zoning history on the property.

ZONING STANDARDS:

The City's Zoning Resolution requires that a facility for the conduct of religious services and ceremonies obtain a Special Use Permit to operate in the M-I zoning district. The purpose of the Special Use Permit review is to ensure that any detrimental aspects of the proposed land use are mitigated through site-specific conditions.

Zoning Code Section 1702 identifies specific criteria that should be evaluated when considering a zoning decision. These criteria are enumerated as 'A' through 'F', below. Following each item is the applicant's response followed by Staff's comment.

A. Will this proposed rezoning, special use permit, or change in conditions permit a use that is suitable in view of the use and development of adjacent and nearby property?

Applicant's Response: Yes.

Staff's Comment: While the subject property is located within the Employment Corridor, which mainly supports office uses, the property is near some residential neighborhoods. A church would be suitable in view of the use and development of adjacent and nearby property as it will mainly operate outside normal business hours of the office park and will serve the nearby community.

B. Will this proposed rezoning, special use permit, or change in conditions adversely affect the existing use or usability of adjacent or nearby property?

Applicant's Response: No.

Staff's Comment: The proposed use should not adversely affect the existing use or usability of adjacent or nearby property as it will be located within an existing office park and should have sufficient parking.

C. Does the property to be affected by a proposed rezoning, special use permit, or change in conditions have reasonable economic use as currently zoned?

Applicant's Response: No.

Staff's Comment: The property has a reasonable economic use as currently zoned.

D. Will the proposed rezoning, special use permit, or change in conditions result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools?

Applicant's Response: No.

Staff's Comment: The impacts of a church on streets, transportation facilities, or utilities are unlikely to be excessive or burdensome. There will be no impact on schools.

E. Is the proposed rezoning, special use permit, or change in conditions in conformity with the policy and intent of the land use plan?

Applicant's Response: No response.

Staff's Comment: See Comprehensive Plan heading, next page.

F. Are there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed rezoning, special use permit, or change in conditions?

Applicant's Response: No.

Staff's Comment: The Comprehensive Plan's support for adaptive reuse of underutilized structures in the Employment Corridor gives supporting grounds for approval of the Special Use Permit.

COMPREHENSIVE PLAN:

The 2040 City of Peachtree Corners Character Area Map indicates that the property is located within the Employment Corridor Character Area. Policies for this area encourage office, light industrial, and small-scale retail (where existing or at major nodes). While institutional uses are not explicitly stated, the Employment Corridor does encourage adaptive reuse of existing underutilized structures. In addition, the subject parcel is nearby properties located in the Suburban Neighborhood Character Area, which lists institutional uses such as schools and churches as appropriate.

A Special Use Permit for a church in this location would meet the goals and policies of the Comprehensive Plan and would serve the surrounding residential community.

DEPARTMENT ANALYSIS:

The subject property is a 10,000 square-foot condominium office building located within a larger 9.3-acres business park site located at 3120 Medlock Bridge Road. The property is surrounded by M-1 (Light Industry) and R-ZT (Single-Family Residence) zoning.

The 2040 Comprehensive Plan indicates that the parcel lies within the Employment Corridor Character Area. This character area encourages the adaptive reuse of existing underutilized structures. The proposed use conforms to this development guideline. The request to permit church uses in this existing structure would be consistent with the policies of the Character area and would put a vacant building suite back into productive use. However, some of the tenants in nearby buildings are concerned that the proposed use may have a negative impact on available parking. Unfortunately, those concerns were not relayed until Friday, February 8th, the day that the Planning Commission packets are normally distributed. As a result of this late information, packets were delayed so that the most current neighbor input could be provided to the Commission.

RECOMMENDATION:

After review of the applicant's proposal and other relevant information, it is recommended that SUP2019-001 be approved subject to the following conditions:

1. The special use permit for Celebremos Su Gloria shall be limited to the property at 3120 Medlock Bridge Road, Building A as shown on the submitted survey.
2. A shared parking agreement shall be established for the office park property.
3. Required inspections and interior finish permits shall be obtained before occupancy;
4. If the City determines that church activities sufficiently impact existing traffic, the City shall notify the church and the church shall provide an off-duty police officer during those times when church related traffic needs to be managed;
5. Any expansion of the use beyond the worship service and specific other services noted in the application which may increase traffic flow to the site or cause vehicular circulation or parking issues on or to the site shall require an amendment to the Special Use Permit.

6. Church use of the property may not begin until all permitted construction has been completed, a certificate of occupancy has been issued, and a business license has been granted.
7. If the church use has not commenced within twelve months, or if it becomes inactive for more than sixty days after it becomes operational, then the Special Use approval shall become void.

Wesleyan Hispanic Church_Medlock Bridge_PSA.pdf

Doug Burggraaf

Tue 1/15/2019 4:37 PM

To: Mike Boone <mboone@kingindustrial.com>;

1 attachments (6 MB)

Contract - WilvestCO-Wesleyan Hispanic Church - 01152015.pdf;

Hey Mike,

Here is the contract. He will do the price, but not crazy about holding out until the end of April for special use permit (I talked to the City, and that's how long it will take). So he wants 30 day inspection, \$5k goes hard at the end so he has something for his time. Buyers then deposit another \$5k, which would be refundable if the application is denied.

Doug Burggraaf
King Industrial Realty
404.942.2014

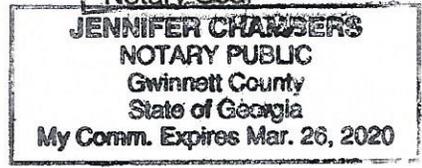
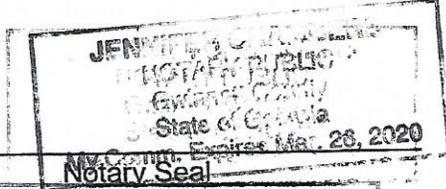
APPLICANT'S CERTIFICATION

The undersigned below states under oath that they are authorized to make this application. The undersigned is aware that no application or reapplication affecting the same land shall be acted upon within 12 months from the date of last action by the city council unless waived by the city council. In no case shall an application or reapplication be acted upon in less than six (6) months from the date of last action by the city council.

[Signature] [Signature] 1/31/2019
Signature of Applicant Date

Daniel Chauista, Iglesia Wesleyana Celebremos su Gloria.
Type or Print Name and Title

[Signature] 1-31-19
Signature of Notary Public Date



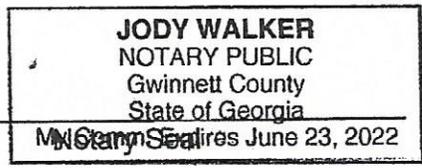
PROPERTY OWNER'S CERTIFICATION

The undersigned below states under oath that they are authorized to make this application. The undersigned is aware that no application or reapplication affecting the same land shall be acted upon within 12 months from the date of last action by the city council unless waived by the city council. In no case shall an application or reapplication be acted upon in less than six (6) months from the date of last action by the city council. As the property owner, I authorize the above noted applicant to act on my behalf with regard to this application.

[Signature] 1/26/2019
Signature of Property Owner Date

Marcus Wilson, Wilvestco LLC
Type or Print Name and Title

[Signature] 1/26/19
Signature of Notary Public Date



DISCLOSURE REPORT FORM
CONFLICT OF INTEREST CERTIFICATION/CAMPAIGN CONTRIBUTIONS

WITHIN THE (2) YEARS IMMEDIATELY PRECEDING THE FILING OF THIS ZONING PETITION HAVE YOU, AS THE APPLICANT FOR THE REZONING, SPECIAL USE PERMIT, OR CHANGE IN CONDITIONS PETITION, OR AN ATTORNEY OR AGENT OF THE APPLICANT FOR THE REZONING, SPECIAL USE PERMIT, OR CHANGE IN CONDITIONS PETITION, MADE ANY CAMPAIGN CONTRIBUTIONS AGGREGATING \$250.00 OR MORE OR MADE GIFTS HAVING AN AGGREGATE VALUE OF \$250.00 TO THE MAYOR OR ANY MEMBER OF THE CITY COUNCIL?

CHECK ONE: YES NO
 (If yes, please complete the "Campaign Contributions" section below)

Daniel Chavista
 Print Name

1. CAMPAIGN CONTRIBUTIONS

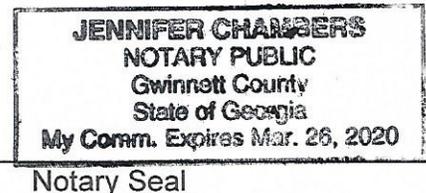
Name of Government Official	Total Dollar Amount	Date of Contribution	Enumeration and Description of Gift Valued at \$250.00 or more

2. THE UNDERSIGNED ACKNOWLEDGES THAT THIS DISCLOSURE IS MADE IN ACCORDANCE WITH THE OFFICIAL CODE OF GEORGIA, SECTION 36-67A-1 ET. SEQ. CONFLICT OF INTEREST IN ZONING ACTIONS, AND THAT THE INFORMATION SET FORTH HEREIN IS TRUE TO THE UNDERSIGNED'S BEST KNOWLEDGE, INFORMATION AND BELIEF.

[Signature] 01/31/19 Daniel Chavista
 Signature of Applicant Date Type or Print Name and Title

 Signature of Applicant's Attorney or Representative Date Type or Print Name and Title

Jennifer Chambers 01-31-19
 Signature of Notary Date





PUBLIC HEARING APPLICATION

REZONING, SPECIAL USE PERMIT, OR CHANGE IN CONDITIONS

A properly completed application and fees are due at the time of submittal. **An incomplete application will not be accepted.** Original signatures are required for the Application.

REQUIRED ITEMS	NUMBER OF COPIES	REQUIRED	PROVIDED
Completed Application Form	• 1 original	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Boundary Survey with Legal Description	• 1 full size copy • 1- 8-1/2" x 11" or 11" x 17" reduction	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Site Plan	• 1 full size Copy • 1- 8-1/2" x 11" or 11" x 17" reduction	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Letter of Intent	• 1 copy	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Applicant Certification with Notarized Signature	• 1 copy	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Property Owner Certification with Notarized Signature	• 1 copy	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Standards Governing Exercise of the Zoning Power	• 1 copy	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Disclosure Report Form (Conflict of Interest Certification/Campaign Contributions)	• 1 copy	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Verification of Paid Property Taxes (most recent year)	• One (1) Copy (per tax parcel)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Electronic copy of complete package	• One (1) copy	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Application Fee	• Make checks payable to the City of Peachtree Corners	<input type="checkbox"/>	<input checked="" type="checkbox"/>
ADDITIONAL EXHIBITS (IF REQUIRED)			
Additional site plan requirements for R-TH, R-ZT, Modified, CSO, OBP, MUD or MUO rezoning requests	• 1 copy	<input type="checkbox"/>	<input type="checkbox"/>
Traffic Study	• 1 copy	<input type="checkbox"/>	<input type="checkbox"/>
Development of Regional Impact Review Form	• 1 copy	<input type="checkbox"/>	<input type="checkbox"/>
Community Information Meeting Certification	• 1 copy	<input type="checkbox"/>	<input type="checkbox"/>

REZONING, SPECIAL USE PERMIT, OR CHANGE IN CONDITIONS APPLICATION

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF PEACHTREE CORNERS, GEORGIA

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION
NAME: <u>Iglesia Wesleyana</u> <u>Celebremos Su Gloria</u>	NAME: <u>Marcus Wilson</u>
ADDRESS: <u>89 Jones St. Norcross</u>	ADDRESS: <u>3120 Medlock Bridge Rd. Building A.</u>
CITY: <u>Norcross</u>	CITY: <u>Peachtree Corners</u>
STATE: <u>GA</u> ZIP: <u>30071</u>	STATE: <u>GA</u> ZIP: <u>30071</u>
PHONE: <u>678-598-1454</u>	PHONE: <u>770-498-6777</u>
E-MAIL: <u>danielchavista@hotmail.com</u>	E-MAIL: <u>mlwilson@intelligis.com</u>
APPLICANT CONTACT, IF DIFFERENT THAN ABOVE	
CONTACT PERSON: <u>D</u>	PHONE: _____
CONTACT'S E-MAIL: _____	

APPLICANT IS THE:

OWNER'S AGENT PROPERTY OWNER CONTRACT PURCHASER

PRESENT ZONING DISTRICTS(S): _____ REQUESTED ZONING DISTRICT: _____

LAND DISTRICT(S): _____ LAND LOT(S): BLDG A ACREAGE: _____

ADDRESS OF PROPERTY: 3120 Medlock Bridge Rd. Bldg A.

PROPOSED DEVELOPMENT: Church

Staff Use Only This Section

Case Number: _____ Hearing Date: P/C _____ C/C _____ Received Date: _____

Fees Paid: _____ By: _____

Related Cases & Applicable Conditions:

Description:

RESIDENTIAL DEVELOPMENT

No. of Lots/Dwelling Units _____

Dwelling Unit Size (Sq. Ft.): _____

NON-RESIDENTIAL DEVELOPMENT

No. of Buildings/Lots: 1 _____

Total Bldg. Sq. Ft.: _____

Gross Density: _____

FEE SCHEDULE

1. Rezoning, Change-in-Conditions and Special Use Permit Fees – Residential Zoning Districts
(note: a Special Use Permit related to a rezoning case shall not incur an additional fee)

A. For the following single-family residential zoning districts: RA-200, R-140, R-LL, R-100, R-75, RL, MHS.

- 0 - 5 Acres = \$ 500
- > 5 - 10 Acres = \$ 1,000
- > 10 - 20 Acres = \$ 1,500
- > 20 - 100 Acres = \$ 2,000
- > 100 - Acres = \$ 2,500 plus \$40 for each additional acre over 100
- Maximum Fee: \$10,000

B. For the following single and multifamily residential zoning districts: R-TH, RMD, RM-6, RM-8, RM-10, RM-13, R-SR, MH, R-60, R-ZT, R-75 MODIFIED or CSO, and R-100 MODIFIED or CSO.

- 0 - 5 Acres = \$ 850
- > 5 - 10 Acres = \$1,600
- > 10 - 20 Acres = \$2,100
- > 20 - 100 Acres = \$2,600
- > 100 - Acres = \$3,200 plus \$40 for each additional acre over 100

2. Rezoning, Change-in-Conditions and Special Use Permit Fees - Non-Residential Zoning Districts
(note: a Special Use Permit related to a rezoning case shall not incur an additional fee)

For the following office, commercial and industrial zoning districts: C-1, C-2, C-3, O-1, OBP, M-1, M-2, HS, NS.

- 0 - 5 Acres = \$ 850
- > 5 - 10 Acres = \$1,600
- > 10 - 20 Acres = \$2,100
- > 20 - 100 Acres = \$2,600
- > 100 - Acres = \$3,200 plus \$50 for each additional acre over 100

3. Mixed-Use (MUD and MUO) or High Rise Residential (HRR)

Application Fee – \$1,200 plus \$75 per acre (maximum fee - \$10,000)

- 4. Chattahoochee Corridor Review (involving a public hearing) - \$150.
- 5. Buffer Reduction (Greater than 50%) Application Fee - \$500.
- 6. Zoning Certification Letter - \$100 (per non-contiguous parcel).



IGLESIA WESLEYANA CELEBREMOS SU GLORIA
89 Jones St, Norcorss, GA 30071 - Mobile phone: 678-598-1454
Pastor: Daniel Chavistá

January 28th, 2019

Peachtree Corners City Hall
310 Technology Pkwy NW, Peachtree corners
Georgia, 30092

We are the Hispanic Wesleyan Church, Celebremos su Gloria, located at 89 Jones Street Norcross, GA. We have been there last 10 years working for Lord and community. Recently sold our property to Norcross City and we have not been able to find any building in Norcross area to fit our needs.

We finally found a Building located at 3120 Medlock Bridge Road, and now we are asking for your help guiding us with the process that we need to complete, in order to obtain the special use permit to move in our congregation to this new facility.

The Norcross City has been generous enough allowing us stay in their facility until March 1st, 2019. After this date, we would start to pay a monthly rent to Norcross City, while we get move out.

Our desire is keeping serving community and growing, knowing and considering our neighbor's needs. Working with them in order to create and keeping good relations between us.

If you need more information, please contact us or visit the web page www.wesleyan.org. Or you can contact our South Coastal District Superintendent Steve Lane through email: office@southcoastal.org.

Thanks in advance for your help,

Sincerely,

Pastor Daniel Chavistá
678-598-1454
danielchavista@hotmail.com

APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

Pursuant to section 1702 of the 2012 zoning resolution, the city council finds that the following standards are relevant in balancing the interest in promoting the public health, safety, morality or general welfare against the right to the unrestricted use of property and shall govern the exercise of the zoning power.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- A. Will this proposed rezoning, special use permit, or change in conditions permit a use that is suitable in view of the use and development of adjacent and nearby property?

Yes

- B. Will this proposed rezoning, special use permit, or change in conditions will adversely affect the existing use or usability of adjacent or nearby property?

No

- C. Does the property to be affected by a proposed rezoning, special use permit, or change in conditions have reasonable economic use as currently zoned?

No

- D. Will the proposed rezoning, special use permit, or change in conditions will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools?

No

- E. Will the proposed rezoning, special use permit, or change in conditions is in conformity with the policy and intent of the land use plan?

- F. Are there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the proposed rezoning, special use permit, or change in conditions?

No

VERIFICATION OF CURRENT PAID PROPERTY TAXES FOR REZONING

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED CERTIFIES THAT ALL CITY OF PEACHTREE CORNERS PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE TAX COMMISSIONER OF GWINNETT COUNTY, GEORGIA. IN NO CASE SHALL A PUBLIC HEARING APPLICATION BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE REZONING REQUEST.

PARCEL I.D. NUMBER: Peachtree Corners - BLDG-A - R6271E001
(Map Reference Number) District Land Lot Parcel

 01/31/2019
Signature of Applicant Date

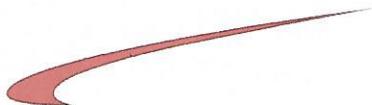
Daniel Chavista
Type or Print Name and Title

Tax Commissioners Use Only

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

_____	_____
NAME	TITLE

DATE	



ACCOUNT DETAIL

[View/Pay Your Taxes / Account Detail](#)

Tax Account

Mailing Address:

WILVESTCO LLC
3120 MEDLOCK BRIDGE RD BLDG A
PEACHTREE CORNERS , GA 30071-1460

[Change Mailing Address](#)

SITUS:

3120 MEDLOCK BRIDGE RD BLDG A

Tax District:

PEACHTREE CORNERS

Parcel ID	Property Type	Last Update
R6271E001	Real Property	1/23/2019 9:40:29 AM

Legal Description

BLDG A MEDLOCK COMMONS BUS PK

Tax Bills

Note: Four years of tax information is available online. Email tax@gwinnettcountry.com to request other years.

Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Due Date	Amount Due
2018	\$9,834.59	\$9,834.59	\$0.00	\$0.00	10/15/2018	\$0.00
Total						\$0.00



Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Due Date	Amount Due
2017	\$9,911.76	\$9,911.76	\$0.00	\$0.00	10/15/2017	\$0.00
2016	\$6,037.66	\$6,037.66	\$0.00	\$0.00	10/15/2016	\$0.00
2015	\$7,292.53	\$7,292.53	\$0.00	\$0.00	10/15/2015	\$0.00
Total						\$0.00

Print Tax Bill

Click to view and print your Aug 2018 tax bill.

* This bill is good through Oct 15, 2018 only.

Pay Online

No payment due for this account.



Click [here](#) to cancel your Paperless Billing enrollment

Schedule Payments



Peachtree Corners City Hall
310 Technology Pkwy NW, Peachtree corners
Georgia, 30092

We are the Hispanic Wesleyan Church, Celebremos su Gloria, our congregation belongs to the Wesleyan South Coastal District and it have been working more than 10 years at Norcross City, serving to Lord and community. Our church has grown up, planting two new churches in Conyers and Winder cities.

We keep up working with our fellowship, supporting the family unit, given counseling and encouraging small enterprises to keep faith in God. Our purpose is to reach out the Great Commission preaching the Jesus Gospel and inspiring the community to serve another people that need God and need help.

So far, we congregate almost one hundred people and our main Worship Service is Sundays at 11 am. Our Sunday school for Adults and Kids is at 10 am. Leaders Meeting takes place every Wednesday at 7:30 pm. Saturdays we have different activities according our schedule. For 2019 we are working with Plus One, a strategy to grow up the congregation, with a vision to impact more families and the community.

Recently we sold our property to Norcross City because we don't have enough space in our facilities. We needed more classrooms and a bigger auditorium for adults and kids. We found a Building located at 3120 Medlock Bridge Road, it fits to our needs, we think it's a good place because it has more classrooms, offices and bigger space to make our auditorium.

The Norcross City has been generous enough allowing us stay in their facility until March 1st, 2019. After this date, we would start to pay a monthly rent to Norcross City, while we get move out.

If you need more information, please contact us or visit the web page www.wesleyan.org. Or you can contact our South Coastal District Superintendent Steve Lane through email: office@southcoastal.org.

Thanks in advance for your help,

Sincerely

Pastor Daniel Chavistá
Cel. 678-598-1454
danielchavista@hotmail.com

February 8, 2019

Sent Via E-Mail jconkle@peachtreecornersga.gov

Mr. Jeff Conkle
Planning and Zoning Administrator
City of Peachtree Corners
310 Technology Parkway NW
Peachtree Corners, GA 30092

RE: SUP 2019-001 (Medlock Commons-3120 Medlock Bridge Road)

Dear Mr. Conkle:

As acting manager of the Medlock Commons Business Park Association, I was asked by the applicant (Iglesia Wesleyana Celebremos Su Goría) and the broker representing the seller to contact all the current building owners at Medlock Commons to see if there were any objections or concerns with the use as presented by the applicant. An e-mail was sent on Monday, February 4, 2019 to the 10 current building owners and I have received feedback from the following owners and have included copies of their response:

Medlock Commons Business Park
3120 Medlock Bridge Road
Peachtree Corners, GA 30071

Building B Mr. Rick Morrison
 President
 MSA Business Technologies
 770-248-1156
 richard.morrison@msadigital.com
 E-Mail received 2/6/19

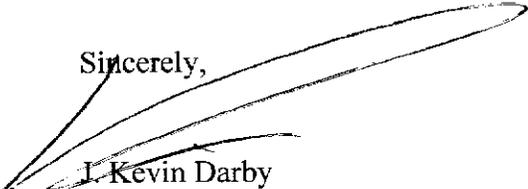
Building E: Mr. Charlie Sun
 Tzu Chi Foundation, Atlanta Branch
 sun30097@gmail.com
 E-Mail received 2/4/19. Mr. Sun contacted the applicant directly and I have included that correspondence as well.

Building G: Mr. William "Bill" Lemann
 wblemann@fastmail.net
 E-Mail received 2/4/19

In addition, we do not believe that there is any language within the covenants or by-laws of the association that provide use restrictions. However, we have not had an attorney take a formal look for their opinion and we would encourage the applicant to review all the covenants and by-laws so that they are duly informed of any provisions that may adversely affect their use and operations.

If you have any questions, please feel free to contact me or any of the owners for which I have supplied their response.

Sincerely,



J. Kevin Darby
Manager
770-447-1029 office
404-358-3110 cell

Kevin Darby

From: William Lemann
Sent: Monday, February 04, 2019 2:51 PM
To: Kevin Darby
Subject: Re: Medlock Commons: Building A Purchase and Owners Meeting

Kevin,

Bldg. H has no objection to the operation of a church. It's odd, but no objection.

Bill

From: Kevin Darby <kdarby@fmdarby.com>
Date: Monday, February 4, 2019 at 1:56 PM
To: Kevin Darby <kdarby@fmdarby.com>
Subject: Medlock Commons: Building A Purchase and Owners Meeting

Medlock Commons Building Owner:

I was contacted Friday by an organization that has Building A under contract. The purchaser of the building is a church and based on the information that I was given they will be holding services on Sunday's only. They are in the process of applying for a special use permit through the city of Peachtree Corners. I do not believe that there is anything written in the covenants or by-laws that would prohibit such a use provided they comply with all zoning requirements. If any of the building owners have a concern to this type of use, please let me know and I will pass on your concerns to the purchaser.

Also, please remember there will be another owners meeting on Tuesday, March 5th @ 10:00 am. For those of you that have already let me know of either your attendance or attendance by a proxy thanks. If you have not replied, please do so at you earliest convenience.

Please contact me with any questions.

Thanks,
J. Kevin Darby
404-358-3110

J. Kevin Darby
President
Frank M. Darby Company
770-447-1029 Office
404-358-3110 Cell
770-449-0896 Fax
kdarby@fmdarby.com

Kevin Darby

From: Charlie Sun
Sent: Monday, February 04, 2019 7:40 PM
To: Kevin Darby
Subject: Re: Medlock Commons: Building A Purchase and Owners Meeting

Kevin,

When we met with the Peachtree Corners officers last August, we were well prepared with detailed renovation plan and blue print. Even that, we were asked a lot of questions about our use as a mixed use charity foundation and a Buddhist church. We promised the city that we will only have a few volunteers M-F, and our activities are primarily on Sunday and sometimes on Saturday. After the meeting, the Peachtree Corners officers sent us a welcome letter as a charity foundation and a Buddhist church and asked us to proceed to submit the building permit for review.

They also said the current church tenant at 260 is probably not legal as no one reported to the Peachtree Corners for the special use in the business park.

They did not expect the parking would be an issue on Sunday as Tzu Chi Foundation is the only building owner needing most of the parking spaces in the business park on Sunday. However, they did say that, given the total number of parking spaces at 72, they doubt if there is room for another church moving in and holding activities at the same time.

Best regards,

Charlie Sun
Tzu Chi Foundation, Atlanta Branch

On Mon, Feb 4, 2019 at 1:56 PM Kevin Darby <kdarby@fmdarby.com> wrote:

Medlock Commons Building Owner:

I was contacted Friday by an organization that has Building A under contract. The purchaser of the building is a church and based on the information that I was given they will be holding services on Sunday's only. They are in the process of applying for a special use permit through the city of Peachtree Corners. I do not believe that there is anything written in the covenants or by-laws that would prohibit such a use provided they comply with all zoning requirements. If any of the building owners have a concern to this type of use, please let me know and I will pass on your concerns to the purchaser.

Also, please remember there will be another owners meeting on Tuesday, March 5th @ 10:00 am. For those of you that have already let me know of either your attendance or attendance by a proxy thanks. If you have not replied, please do so at you earliest convenience.

Please contact me with any questions.

Thanks,

J. Kevin Darby

404-358-3110

J. Kevin Darby

President

Frank M. Darby Company

770-447-1029 Office

404-358-3110 Cell

770-449-0896 Fax

kdarby@fmdarby.com

Kevin Darby

From: Charlie Sun
Sent: Wednesday, February 06, 2019 7:01 PM
To: Kevin Darby
Subject: Fwd: Potential parking space issue on Sunday in Medlock Bridge Business Commons

Kevin,

FYI.

Best regards,

Charlie

----- Forwarded message -----

From: RAFAEL FERNANDEZ <upholsteryhouseplus@gmail.com>
Date: Wed, Feb 6, 2019 at 6:48 PM
Subject: Re: Potential parking space issue on Sunday in Medlock Bridge Business Commons
To: Charlie Sun <sun30097@gmail.com>

Thank you for you understanding we will work with you to make sure we all agree for the best interest of the community thank you have a good night

Sent from my iPhone

On Feb 6, 2019, at 6:00 PM, Charlie Sun <sun30097@gmail.com> wrote:

Dear Rafael,

On Sunday, if you can limit your parking need to no more than 20 parking spaces, then we can manage to work with you. The total number of parking space at Medlock Commons Business Park is 72, beside a few Sundays that we hold major events, we usually need 45 spaces. If you use another 15 spaces, so it will leave 12 spaces for employees in other 8 building, just in case they need to work on Sunday.

We can only speak about the parking space factor as Building E owner. The Medlock Bridge Business Commons Manager, Mr. Kevin Darby might also receive other questions or concerns. The information from us (Building E) and other owners will need to be filed with the Peachtree Corners planning offer as we have been through the process before.

Best regards,

Charlie Sun, Director
Buddhist Tzu Chi Foundation, Atlanta Branch
3120 Medlock Bridge Rd., Building E
Peachtree Corners, GA 30071

On Wed, Feb 6, 2019 at 4:26 PM RAFAEL FERNANDEZ <upholsteryhouseplus@gmail.com> wrote:

our congregation is small and we dont think we will use more then 20 parking spacesand ou services dont last more then two hours 11- 1 every sunday is when we will be a full capacity please lets work toghether and I thing we can make it work for both ends
thank you for your help and understanding
sincerly
rafael fernandez

On Wed, Feb 6, 2019 at 3:50 PM Charlie Sun <sun30097@gmail.com> wrote:
Dear Rafael,

All the building owners were informed by the Medlock Bridge Business Commons Manager, Mr. Kevin Darby, the other day that your organization has Building A under contract recently. Mr. Darby said that your organization is a church, and based on the information that he was given, you will be holding services on Sunday's only.

Mr. Darby reached out to each building owner to see if there would be an issue with your intended use. Since your organization is applying for a SUP and will need approval from the City, it would be up to the individual building owners to raise a concern that would adversely affect your business operations.

Our organization is the owner of Building E, and we thought there might be an issue of parking spaces on Sunday as we have pretty heavy use of the business park parking due to weekly activities of Buddhist church gathering and language/culture school, from 9:00 am morning to 4:00 pm, which usually take about 45 parking spaces on Sunday. My understanding is that the total number of parking spaces at the Medlock Commons Business Park is 72, so if your Sunday activity requires more than 20 parking spaces, there would be a weekly issue. Moreover, our organization holds major volunteer gatherings on Sunday a few times a year, during which as many as 60 parking spaces will be needed.

Our organization hold regular activities on Saturday, but there will be no concern with your organization as your activities will be on Sunday only.

Best regards,

Charlie Sun, Director
Buddhist Tzu Chi Foundation, Atlanta Branch
3120 Medlock Bridge Rd., Building E
Peachtree Corners, GA 30071

Kevin Darby

From: Rick Morrison
Sent: Wednesday, February 06, 2019 11:59 AM
To: Kevin Darby
Cc: Michael Morrison; Bobby Morrison
Subject: RE: Medlock Commons: Building A Purchase and Owners Meeting

Mr. Darby,

We have some concerns about the prospect of a church coming into our office park. We are hardly anti-church as I believe the vast majority of our employees are Christian and churchgoers themselves. Also we understand there is already a Buddhist temple in our development but we have not been made aware of any parking issues caused by them. That said, we believe our office park is no place for a church for many reasons, and we have some objections specific to our own business:

- 1) The objective of all churches is to draw more and more members and to provide more service to their members. Members and church staff all occupy parking spaces, which are at a premium already.
 - 2) The church currently says they intend to only have Sunday services. This was once true of my own church, but now we offer a wide array of services including a preschool (obviously during business hours) and all manner of youth programs and mid-week programs, many of them after business hours but just barely. It is very common for our employees to be still working, or return to work after a break for dinner, when staging big projects.
 - 3) From a personal perspective, the nature of our business is such that when we are awarded large projects, our people spend weekends staging the equipment for installation during business hours. That would put us in competition for parking spaces even on Sundays.
 - 4) My company is looking to expand our space anyway, and we would be willing to purchase the property for a reasonable price so as to prevent the church from moving in and to suit our needs that we have been putting off anyway. My brother Michael will be getting with our realtor this afternoon.
- I would welcome any input from other owners.

Richard Morrison
President, MSA, Inc.
(423) 756-0334 CHA
(770) 248-1156 ATL
(865) 470-4846 KNX
www.MSAdigital.com
<https://www.facebook.com/msadigital>



From: Kevin Darby <kdarby@fmdarby.com>
Sent: Monday, February 4, 2019 1:56 PM
To: Kevin Darby <kdarby@fmdarby.com>
Subject: Medlock Commons: Building A Purchase and Owners Meeting

Medlock Commons Building Owner:

I was contacted Friday by an organization that has Building A under contract. The purchaser of the building is a church and based on the information that I was given they will be holding services on Sunday's only. They

are in the process of applying for a special use permit through the city of Peachtree Corners. I do not believe that there is anything written in the covenants or by-laws that would prohibit such a use provided they comply with all zoning requirements. If any of the building owners have a concern to this type of use, please let me know and I will pass on your concerns to the purchaser.

Also, please remember there will be another owners meeting on Tuesday, March 5th @ 10:00 am. For those of you that have already let me know of either your attendance or attendance by a proxy thanks. If you have not replied, please do so at you earliest convenience.

Please contact me with any questions.

Thanks,
J. Kevin Darby
404-358-3110

J. Kevin Darby
President
Frank M. Darby Company
770-447-1029 Office
404-358-3110 Cell
770-449-0896 Fax
kdarby@fmdarby.com

Jeff Conkle

From: Rick Morrison <richard.morrison@msadigital.com>
Sent: Thursday, February 7, 2019 3:01 PM
To: Jeff Conkle
Cc: Michael Morrison; Bobby Morrison
Subject: 3120 Medlock Bridge Road Building A

Dear Mr. Conkle

My brothers and I own the adjacent property, Building B, from which we operate our businesses. Please see the letter below that I sent to Kevin Darby, who manages our Owner's Association. Obviously we would prefer that a church not go there for reasons stated below. Thank you for your consideration.

Richard Morrison
President, MSA, Inc.
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From: Rick Morrison <richard.morrison@msadigital.com>
Sent: Wednesday, February 06, 2019 11:59 AM
To: Kevin Darby <kdarby@fmdarby.com>
Cc: Michael Morrison <michael.morrison@driventechologies.com>; Bobby Morrison <bobby.morrison@msadigital.com>
Subject: RE: Medlock Commons: Building A Purchase and Owners Meeting

Mr. Darby,

We have some concerns about the prospect of a church coming into our office park. We are hardly anti-church as I believe the vast majority of our employees are Christian and churchgoers themselves. Also we understand there is already a Buddhist temple in our development but we have not been made aware of any parking issues caused by them. That said, we believe our office park is no place for a church for many reasons, and we have some objections specific to our own business:

- 1) The objective of all churches is to draw more and more members and to provide more service to their members. Members and church staff all occupy parking spaces, which are at a premium already.
 - 2) The church currently says they intend to only have Sunday services. This was once true of my own church, but now we offer a wide array of services including a preschool (obviously during business hours) and all manner of youth programs and mid-week programs, many of them after business hours but just barely. It is very common for our employees to be still working, or return to work after a break for dinner, when staging big projects.
 - 3) From a personal perspective, the nature of our business is such that when we are awarded large projects, our people spend weekends staging the equipment for installation during business hours. That would put us in competition for parking spaces even on Sundays.
 - 4) My company is looking to expand our space anyway, and we would be willing to purchase the property for a reasonable price so as to prevent the church from moving in and to suit our needs that we have been putting off anyway. My brother Michael will be getting with our realtor this afternoon.
- I would welcome any input from other owners.

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View of the front of Building A

02019-02-144

**AN ORDINANCE TO AMEND CHAPTER 6 (“ALCOHOLIC BEVERAGES”) OF THE
CODE OF THE CITY OF PEACHTREE CORNERS, GEORGIA, TO STRIKE ALL
LANGUAGE PERTAINING TO HAPPY HOUR**

WHEREAS, the Mayor and Council of the City of Peachtree Corners are charged with the protection of the public health, safety, and welfare of the citizens of Peachtree Corners; and

WHEREAS, Chapter 6 of The Code of the City of Peachtree Corners, Georgia, currently prevents retail establishments licensed to sell alcoholic beverages for promotional rates during any period of the day; and

WHEREAS, the Mayor and Council further desire to allow such licensees the ability to offer for sale alcoholic beverages at promotional rates; and

NOW THEREFORE, the Council of the City of Peachtree Corners hereby ordains, as follows:

Section 1: Chapter 6 (Alcoholic Beverages) of The Code of the City of Peachtree Corners, Georgia, is hereby amended by deleting Article VIII (Happy Hour), Section 6-234 (Promotions and Sales) in its entirety, leaving the entirety of Article VIII of Chapter 6 “Reserved.”

Section 2: This Amendment shall become effective immediately upon its adoption by the City Council, and incorporated into the Code of the City of Peachtree Corners, Georgia. This Amendment hereby repeals any and all conflicting ordinances and amendments.

SO ORDAINED AND EFFECTIVE, this the ___ day of _____, 2019.

APPROVED:

Mike Mason, Mayor

ATTEST:

Kym Chereck, City Clerk (Seal)

PH2019-001

**CITY OF PEACHTREE CORNERS
COMMUNITY DEVELOPMENT DEPARTMENT**

**APPLICATION FOR METROPOLITAN RIVER PROTECTION ACT
CERTIFICATE**

CASE NUMBER : PH2019-001

LOCATION : 4288 RIVERVIEW DRIVE
MAP NUMBERS :
PROPOSED DEVELOPMENT : REDEVELOPMENT OF AN
EXISTING SINGLE FAMILY DETACHED
RESIDENCE

CONTACT: Matt Ferreira : PHONE: 770-271-5772

OWNER: Russ Reynolds
4288 Riverview Drive
Duluth, Georgia

REQUEST SUMMARY:

The property is located in the Riverview Estates subdivision and consists of one single family home on a 1.15-acre lot. The owner wishes to expand its deck, add a pool, garage, and covered porch. This property is within 2,000 feet of the Chattahoochee River. A reanalysis of the property's ARC allowables was recently conducted by Boundary Zone. The applicant requests re-certification of this property in accordance with the Metropolitan River Corridor Protection Act (MRPA).

HISTORY:

In 1973, in response to growing concerns about the Chattahoochee River, the Georgia General Assembly enacted the Metropolitan River Protection Act (Georgia Code 12-5-440 et seq.). It established a 2000-foot Corridor along both banks of the Chattahoochee and its impoundments for the 48 miles between Buford Dam and Peachtree Creek.

The act requires the Atlanta Regional Commission to protect the Chattahoochee River Corridor and to review new development proposals. The act requires local governments along the corridor to implement the ARC plan by issuing permits based on ARC findings, monitoring land-disturbing activity in the corridor and enforcing the act and the plan. Permit submittals for new homes and additions within the Chattahoochee River Corridor must show legal compliance with the plan.

The owner wishes to add a pool, garage, and covered porch using the new ARC allowables Boundary Zone determined in their re-analysis of the property.

The MRPA Application and Construction documents for 4288 Riverview Drive was approved by the Atlanta Regional Commission (ARC) as seen on the ARC Regional Review Finding document dated March 12, 2019.

The applicant is requesting formal city approval, after receiving approval from the ARC's review, of the certification. If approved by the City, it is recommended that the Metropolitan River Protection Act Certificate for 4288 Riverview Drive, be approved with the following conditions:

1. Applicant shall file the certificate in the real estate records of Clerk of Superior Court of Gwinnett County.
2. Applicant shall stake limits of land disturbing activity for city approval prior to issuance of the building permit.
3. Applicant shall provide Affidavit confirming as/built conditions prior to issuance of certificate of occupancy.

**APPLICATION FOR
METROPOLITAN RIVER PROTECTION ACT CERTIFICATE**

1. **Name of Local Government:** The City of Peachtree Corners
2. **Owner(s) of Record of Property to be Reviewed:**
Name(s): Russ Reynolds
Mailing Address: 4288 Riverview Drive
City: Peachtree Corners State: GA Zip: 30097
Contact Phone Numbers (w/Area Code):
Daytime Phone: (678) 372-2646 Fax: _____
Other Numbers: _____
3. **Applicant(s) or Applicant's Agent(s):**
Name(s): Boundary Zone, Inc - Matt Ferreira
Mailing Address: 454 Satellite Boulevard NW, Suite 200
City: Suwanee State: GA Zip: 30024
Contact Phone Numbers (w/Area Code):
Daytime Phone: (770) 271-5772 Fax: 770-271-5753
Other Numbers: _____
4. **Proposed Land or Water Use:**
Name of Development: Riverview Estates
Description of Proposed Use: Single Family Residence
5. **Property Description (Attach Legal Description and Vicinity Map):** Attached
Land Lot(s), District, Section, County: LL 329, 330, 6th, Gwinnett County
Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection:
Riverview Estates, 1, Block C, 4288 Riverview Drive, 365 lf
Size of Development (Use as Applicable):
Acres: Inside Corridor: 1.19 Acres
Outside Corridor: 0
Total: 1.19 Acres
Lots: Inside Corridor: 1
Outside Corridor: 0
Total: 1
Units: Inside Corridor: 1
Outside Corridor: _____
Total: 1
Other Size Descriptor (i.e., Length and Width of Easement):
Inside Corridor: _____
Outside Corridor: _____
Total: _____

6. Related Chattahoochee Corridor Development:

A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? No

If "yes", describe the additional land and any development plans: N/A

B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? No

If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s): N/A

7. How Will Sewage from this Development be Treated?

A. Septic tank Infiltrator System

Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

B. Public sewer system _____

8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land Disturb. (Maximums Shown In Parentheses)	Percent Imperv. Surf. (Maximums Shown In Parentheses)
A	_____	_____	_____	(90)	(75)
B	_____	_____	_____	(80)	(60)
C	51,965 sf	36,376 sf	23,384 sf	(70) 70%	(45) 45%
D	_____	_____	_____	(50)	(30)
E	_____	_____	_____	(30)	(15)
F	_____	_____	_____	(10)	(2)
Total:	51,965 sf	36,376 sf	23,384 sf	N/A	N/A

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? No

If "yes", indicate the 100-year floodplain elevation: _____

NOTE: The 100-year river floodplain is defined as the natural land surface below the one hundred- (100) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.

10. Is any of this land within the 500-year floodplain of the Chattahoochee River? NO

If "yes", indicate the 500-year flood plain elevation: _____

NOTE: The 500-year floodplain is defined as the natural land surface below the five hundred- (500) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).

11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

FOR ALL APPLICATIONS:

X Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).

X Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)

X Written consent of all owners to this application. (Space provided on this form)

X Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)

X Description of proposed use(s). (Space provided on this form)

X Existing vegetation plan.

X Proposed grading plan.

X Certified as-builts of all existing land disturbance and impervious surfaces.

X Approved erosion control plan.

X Detailed table of land-disturbing activities. (Both on this form and on the plans)

Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of-way; 100- and 500-year river floodplains; vulnerability category boundaries; topography; any other information that will clarify the review.

Documentation on adjustments, if any.

Cashier's check or money order (for application fee).

FOR SINGLE-STEP APPLICATIONS (NON-SUBDIVISION):

Site plan.

Land-disturbance plan.

FOR TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY:

Concept plan.

Lot-by-lot and non-lot allocation tables.

12. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary)

Russ Reynolds

Russ Reynolds _____ 02-28-19
Signature(s) of Owner(s) of Record Date

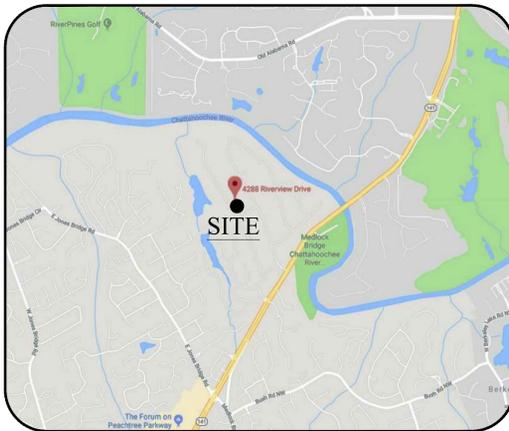
13. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:

Boundary Zone, Inc. - Matt Ferreira

Matt Ferreira _____ 02/28/19
Signature(s) of Applicant(s) or Agent(s) Date

14. The governing authority of The City of Peachtree Corners requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.

Signature of Chief Elected Official or Official's Designee Date



GENERAL NOTES:

- TOTAL AREA: 1.193 ACRES / 51,965 SQUARE FEET
- BOUNDARY REFERENCE: DB 12517, PG 54, PB T, PG 32B
- FIELDWORK PERFORMED ON 3/10/2018
- THIS MAP OR PLAT HAS BEEN CALIBRATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 555,663 FEET
- THIS PLAN HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION
- THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A RELATIVE POSITIONAL ACCURACY OF 0.02 FEET
- FLOOD HAZARD STATEMENT:
THIS IS TO CERTIFY THAT THIS SITE DOES NOT LIE WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE F.I.R.M. MAP OF GWINNETT COUNTY AS SHOWN ON PANEL # 13135C0053H, EFFECTIVE ON 3/4/2013
- PROJECT NARRATIVE:
SITE LOCATION:
4288 RIVERVIEW DRIVE
PEACHTREE CORNERS, GEORGIA 30097
CONSTRUCTION OF A SINGLE FAMILY RESIDENCE
SEE ARCHITECTURAL PLANS FOR MORE DETAIL
- SANITARY SEWER IS PROVIDED BY ON-SITE SEPTIC SYSTEM
- DRAINAGE STRUCTURES DO NOT EXIST ON THIS PROPERTY
- CREEKS OR DRAINAGE SWALES DO NOT EXIST ON THIS PROPERTY
- NO NEW STORM DRAIN PIPES ARE PROPOSED
- THIS PROPERTY DOES LIE WITHIN THE CHATTAHOOCHEE RIVER CORRIDOR
- THIS PROPERTY IS NOT ON OR WITHIN 200 FEET OF WATERS OF THE STATE

ELEVEN SYSTEM NOTES:

- THIS SYSTEM IS DESIGNED FOR THE USE OF A GARBAGE DISPOSAL.
- THIS SYSTEM IS NOT DESIGNED FOR BACKWASH FROM A WATER SOFTENER.
- ORGANIC LOAM LAYER MUST BE REMOVED FROM THE ABSORPTION AREA AND SLOPE EXTENSION RUNOFF FROM THE SOIL TREATMENT AREA SHALL BE BY AUTOMATIC SIPHON OR BY SEWAGE PUMP INSTALLED IN THE DOSING TANK. REFER TO SECTION E OF THE GEORGIA REGULATIONS FOR FURTHER GUIDANCE.
- BENEATH THE SOIL TREATMENT AREAS, TRENCHES MUST BE DOSED. FOR DOSING METHODS, REFER TO THE GEORGIA MANUALS PERTAINING TO PUMPED, SIPHONED OR OTHER FLOW APPLICATIONS DEVICES. CENTER-MANFOLD OR END-MANFOLD DESIGNS ARE ACCEPTABLE.
- PERFORM ROUTINE MAINTENANCE:
• PUMP SEPTIC TANK EVERY 3-5 YEARS OR AS REQUIRED BY LOCAL JURISDICTION
• CLEAN EFFLUENT FILTER
• BLOW OUT LOW PRESSURE PIPE (LPP) LINES EVERY YEAR

SEPTIC SYSTEM NOTES:

- BEDS DESIGNED FOR SYSTEMS WITH PEAK FLOWS GREATER THAN 600 GALS PER DAY MUST USE PRESSURE DISTRIBUTION.
- A DOSING TANK IS REQUIRED WHERE MORE THAN 300 LINEAR FEET OF ABSORPTION TRENCH IS REQUIRED. DOSING SHALL BE BY AUTOMATIC SIPHON OR BY SEWAGE PUMP INSTALLED IN THE DOSING TANK. REFER TO SECTION E OF THE GEORGIA REGULATIONS FOR FURTHER GUIDANCE.
- BENEATH THE SOIL TREATMENT AREAS, TRENCHES MUST BE DOSED. FOR DOSING METHODS, REFER TO THE GEORGIA MANUALS PERTAINING TO PUMPED, SIPHONED OR OTHER FLOW APPLICATIONS DEVICES. CENTER-MANFOLD OR END-MANFOLD DESIGNS ARE ACCEPTABLE.
- PERFORM ROUTINE MAINTENANCE:
• PUMP SEPTIC TANK EVERY 3-5 YEARS OR AS REQUIRED BY LOCAL JURISDICTION
• CLEAN EFFLUENT FILTER
• BLOW OUT LOW PRESSURE PIPE (LPP) LINES EVERY YEAR

CONSTRUCTION LEGEND

(Co)	CONSTRUCTION EXIT
(Cw)	CONCRETE WASHDOWN
(C1)	CONSTRUCTION OF PROPOSED POOL & POOL DECK & POOL EQUIPMENT
(C2)	CONSTRUCTION OF PROPOSED GARAGE
(C3)	CONSTRUCTION OF COVERED PORCH
(SA)	STAGING AREA FOR DUMPSTER, PORTABLE TOILETS, MATERIAL STORAGE AND STOCKPILE AREAS
(Du)	DUST CONTROL AREA AND WASH STATION
(TPA)	TPA PATH, NO MACHINERY ALLOWED IN THIS AREA, 8'-10" OF MULCH AND 3/4" PLYWOOD, NO CONSTRUCTION ACTIVITY WITHIN THE S.R.P. (STRUCTURAL ROOT PLATE)

EROSION & SEDIMENT CONTROL PRACTICES

- DS1** DISTURBED AREA STABILIZATION (WITH MULCH ONLY) ESTABLISH TEMPORARY PROTECTION FOR DISTURBED AREAS WHERE SEEDINGS MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDING COVER.
- DS2** DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING) ESTABLISH A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS.
- DS3** DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION) ESTABLISH PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOD OR LEGUMES ON DISTURBED AREAS.
- DS4** DISTURBED AREA STABILIZATION (WITH CERTIFIED SOD) ESTABLISH PERMANENT VEGETATIVE COVER WITH SOD CUT TO DESIRED SIZE WITHIN ±5% AND PLANTED WITHIN 36 HOURS OF DIGGING. SOD TO BE PLANTED ACCORDING TO COUNTY REQUIREMENTS.

PRE-CONSTRUCTION IMPERVIOUS AREA		POST-CONSTRUCTION IMPERVIOUS AREA	
AREA	Sq. Ft.	AREA	Sq. Ft.
LOT AREA	51,965	LOT AREA	51,965
EXISTING DRIVE	7,902	EXISTING DRIVE	6,685
EXISTING HOUSE	4,444	EXISTING HOUSE	4,444
EXISTING PATIO	558	EXISTING SHED	431
EXISTING SHED	431	EXISTING WALK	137
EXISTING PORCH	274	EXISTING WALLS	45
EXISTING WALK	167	PROPOSED POOL, POOL DECK & EQUIP.	2,583
EXISTING WALLS	76	PROPOSED GARAGE	1,630
		PROPOSED PORCH & COVERED PORCH	1,229
		PROPOSED ADDITION	154
TOTAL COVERAGE	27%	TOTAL COVERAGE	33%

Vicinity Map (NTS)

FIRM Panel Vignette (NTS)

FLOOD HAZARD STATEMENT:
THIS IS TO CERTIFY THAT NO PORTION OF THIS SITE LIES WITHIN A FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD AREA AS SHOWN ON THE F.I.R.M. MAP OF GWINNETT COUNTY, GEORGIA PANEL # 13135C0053H, EFFECTIVE ON 3/4/2013

ZONING: R-100

MINIMUM LOT WIDTH: 100 FT
MINIMUM LOT AREA: 15,000 SF

R-100 SETBACKS AS PER PLAT

FRONT: 35 FT
SIDE: 10 FT
REAR: 40 FT
BUILDING HEIGHT: 35 FT
MINIMUM F.A.R.: 1,400 SF
MINIMUM 2 PARKING SPACES PER DWELLING
MAXIMUM 6 PARKING SPACES PER DWELLING

THE SURVEYOR IN NO WAY INTENDS TO INTERPRET OR MAKE CONCLUSION REGARDING THE ZONING AND SETBACK DESIGNATION SHOWN HEREON. THIS INFORMATION IS REPORTED FROM PUBLIC INFORMATION OBTAINED FROM CITY OR COUNTY PLANNING AND ZONING DEPARTMENTS.

OWNER

RUSS REYNOLDS
4288 RIVERVIEW DRIVE
PEACHTREE CORNERS, GEORGIA 30097

BUILDER / 24 HR. EMERGENCY CONTACT

RUSS REYNOLDS
1518 BROOKHAVEN TRACE NE.
ATLANTA, GEORGIA 30319
678-372-2646

EROSION CONTROL NOTES:

- ALL SILT FENCE SHALL BE TYPE S.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
- EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OF TREAT THE SEDIMENT SOURCE.
- ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON-SITE INSPECTOR.
- ALL LOTS WITH 2" OF FILL OR GREATER WILL REQUIRE A COMPACTION CERTIFICATE BY A PROFESSIONAL REGISTERED ENGINEER PRIOR TO A BUILDING PERMIT AND/OR PRIOR TO FOOTERS BEING POURED.
- LOCATE AND FIELD STAKE ALL UTILITIES, EASEMENTS, PIPES, FLOOD LIMITS, STREAM BUFFERS AND TREE SAVE AREAS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
- A FINAL AS-BUILT LOT SURVEY REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- NO GRADDED SLOPES SHALL EXCEED 2H:1V AND SHALL SLOPE AWAY FROM THE BUILDING.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.
- ANY DISTURBED AREA LEFT EXPOSED FOR 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING; DISTURBED AREAS EXPOSED FOR 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN AND REPAIRED AS NECESSARY.
- SILT FENCE SHALL MEET REQUIREMENTS OF SECTION 171 - TYPE S TEMPORARY SILT FENCE, OF THE GEORGIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, 1993 EDITION.
- WORK HOURS AND CONSTRUCTION DELIVERIES ARE:
MONDAY - FRIDAY: 7:00AM - 7:00PM
SATURDAY: 8:00AM - 5:00PM
- ALL AREAS TO RECEIVE STRUCTURAL FILL TO BE CLEARED, STRIPPED AND FREE OF TOPSOIL, ROOTS, STUMPS, AND ALL OTHER DELETERIOUS MATERIAL. STRUCTURAL FILL TO BE CLEAN FROM ORGANICS AND ALL OTHER DELETERIOUS MATERIAL. FILL TO BE PLACED IN MAXIMUM 8" LIFTS AND COMPACTED TO AT LEAST 95% STANDARD PROCTOR MAXIMUM DENSITY AND TO WITHIN 3% OF THE OPTIMUM MOISTURE CONTENT, UNLESS OTHERWISE SPECIFIED IN THE PROJECT GEOTECHNICAL REPORT OR BY THE PROJECT GEOTECHNICAL ENGINEER. ALL FILL SOILS TO BE PLACED UNDER THE OBSERVATION OF THE PROJECT GEOTECHNICAL ENGINEER. DOCUMENTATION OF COMPACTION TESTING SHALL BE PROVIDED TO LAND DISTURBANCE ACTIVITY INSPECTOR FOR ALL ROADWAY CONSTRUCTION IN RIGHT-OF-WAY (INCLUDING DECELERATION LANE) CONTACT LAND DISTURBANCE ACTIVITY INSPECTOR PRIOR TO CONSTRUCTION FOR FURTHER TESTING REQUIREMENTS.
- FAILURE OF THE CONTRACTOR TO PERFORM THE PRESCRIBED EROSION CONTROL PRACTICES SHALL RESULT IN THE IMMEDIATE ISSUANCE OF A STOP-WORK ORDER FOR THE PROJECT SITE, PURSUANT TO UDC 3.1.1.E.2.D.
- MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE THE RESPONSIBILITY OF THE OWNER.
- ALL DISTURBED AREAS MUST BE VEGETATED WITHIN 14 DAYS OF FINAL GRADE.
- ALL FILL SLOPES SHALL HAVE SILT FENCE AT THE TOE OF THE SLOPE.
- THE CONTRACTOR SHALL REMOVE SEDIMENT ONCE IT HAS ACCUMULATED TO ONE-HALF THE ORIGINAL HEIGHT OF THE SILT FENCE USED FOR EROSION CONTROL.
- MAXIMUM CUT OR FILL SLOPES ARE 2 HORIZONTAL: 1 VERTICAL.
- THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION, WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE, AS CONDITIONS DEMAND. (ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE OR SITE ONTO ROADWAY OR INTO STORM DRAIN SYSTEM MUST BE REMOVED IMMEDIATELY BY SWEEPING).
- THE OWNER WILL MAINTAIN STORM WATER RUNOFF CONTROLS AT ALL TIMES. ADDITIONAL CONTROLS WILL BE INSTALLED IF DETERMINED NECESSARY BY THE ON-SITE INSPECTOR.
- AT LEAST ONE PERSON ON A PROJECT OR SITE MUST HAVE COMPLETED THE LEVEL 1A EROSION EDUCATION & TRAINING COURSE AND BE CERTIFIED BY GSWCC.
- SUBCONTRACTORS MUST COMPLETE EITHER LEVEL 1A EROSION EDUCATION & TRAINING COURSE OR ATTEND SUBCONTRACTOR AWARENESS SEMINAR.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED DAILY, AT LEAST WEEKLY AFTER AND AFTER EACH RAIN, AND REPAIRED BY GENERAL CONTRACTOR AS NECESSARY. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY AFTER ON-SITE INSPECTION BY THE ISSUING AUTHORITY.
- DETAIL DRAWINGS FOR ALL STRUCTURAL PRACTICES, SPECIFICATIONS MUST, AT A MINIMUM, MEET THE STANDARDS SET FORTH IN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
- UNDISTURBED BUFFERS SHALL BE PLANTED TO BUFFER STANDARDS WHERE SPARSELY VEGETATED OR WHERE DISTURBED DUE TO APPROVED UTILITY CROSSINGS. REPLANTING IS SUBJECT TO COUNTY ARBORIST APPROVAL.

SITE NOTES:

- ALL CONSTRUCTION AND MATERIALS TO CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF GWINNETT COUNTY.
- CONSTRUCTION EXIT PAD AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH A.S.T.M. 0448 SIZE #1.
- THIS PLAN WAS PREPARED FOR PERMIT APPROVAL ONLY. ACTUAL CONSTRUCTION SHOULD BE BASED ON FIELD STAKING.
- ALL ELEVATIONS ON SITE NEED TO BE VERIFIED PRIOR TO ANY CONSTRUCTION.
- THIS PLAN WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.
- ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NAVD 1988 DATUM.
- UNDERGROUND UTILITIES ARE SHOWN AS PER PAINT MARKINGS BY OTHERS.
- NO GRADING TO BE CONDUCTED IN THE RIGHT-OF-WAY. NEED QUALIFIED CONTRACTOR PERMIT.
- EXISTING SANITARY SEWER LINE TO REMAIN IN SERVICE. CONTRACTOR TO TAKE REASONABLE MEASURES TO MAINTAIN AND PROTECT EXISTING SANITARY SEWER DURING CONSTRUCTION.
- CONTRACTOR AND OWNER MUST ENSURE UTILITIES ARE DISCONNECTED PRIOR TO ANY DEMOLITION WORK TAKING PLACE.
- DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN STREET, TREE PROTECTION AREA, OR RIGHT OF WAY.
- IRRIGATION SYSTEMS ARE NOT ALLOWED WITHIN THE PUBLIC RIGHT-OF-WAY NOR WITHIN THE STRUCTURAL ROOT PLATE OF EXISTING TREES.

LANDSCAPE NOTES:

- NO HEAVY MACHINERY ALLOWED WITHIN THE C.R.Z.
- DO NOT TRENCH IN THE SILT FENCE WITHIN THE DRIP LINE OF ANY TREES (USE STACKED HAYBALES OR SANDBAGS)
- ANY DEMOLITION OR DEBRIS REMOVAL WITHIN THE CRITICAL ROOT ZONE OF TREES WILL BE DONE BY HAND.
- NO TREES ARE TO BE DESTROYED DURING DEMOLITION. NO CUT OR FILL OF EARTH WITHIN THE CRZ OF AN EXISTING TREE.
- ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
- ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED.
- PROVISIONS FOR TREE PROTECTION ON THE SITE SHALL BE, AS A MINIMUM, IN CONFORMANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE GWINNETT COUNTY TREE PRESERVATION ORDINANCE, ZONING ORDINANCE AND ADMINISTRATIVE GUIDELINES PERTAINING TO TREE PROTECTION.
- ALL LANDSCAPING FOR EACH PHASE OF DEVELOPMENT SHALL BE COMPLETED PRIOR TO THE RECORDING OF THE FINAL PLAT FOR THAT PHASE. PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY FOR THAT PHASE, OR PRIOR TO CONNECTION OF PERMANENT POWER FOR THAT PHASE. CONTACT SITE INSPECTION DEPARTMENT UPON COMPLETION OF LANDSCAPE INSTALLATION.
- NO TREES TO BE PLANTED WITHIN ANY EASEMENT.

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TOTAL AREA: 1.193 ACRES / 51,965 SQUARE FEET
BOUNDARY REFERENCE: DB 12517, PG 54, PB T, PG 32B
FIELDWORK PERFORMED ON 3/10/2018
THIS MAP OR PLAT HAS BEEN CALIBRATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 555,663 FEET
THIS PLAN HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION
THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A RELATIVE POSITIONAL ACCURACY OF 0.02 FEET



LEGEND:

- PROPERTY CORNER FOUND (AS NOTED)
- 1/2" REBAR WITH CAP SET LSF# 839
- R/W MONUMENT
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- POWER POLE
- YARD DRAINS
- SIGN
- POWER METER
- POWER BOX
- AC UNIT
- LIGHT POLE
- GUY WIRE
- MANHOLE
- CLEAN OUT
- GAS METER
- GAS VALVE
- CABLE BOX
- TELEPHONE BOX
- WATER LINE
- OVERHEAD UTILITY LINE
- SEWER LINE
- GAS LINE
- CABLE LINE
- TELEPHONE LINE
- FENCE LINE
- SILT FENCE (TYP.)
- TREE PROTECTION
- HAY BALES
- FLOW WELL LINE
- NOW OR FORMERLY
- RIGHT-OF-WAY
- BSL BUILDING SETBACK LINE
- CANTILEVER
- CRITICAL ROOT ZONE
- S.R.P. STRUCTURAL ROOT PLATE
- (TYP.)
- LAND LOT

DISTURBED AREA: 28,217 SQ. FT. / 0.65 ACRES
ARBORIST'S OFFICE MUST BE NOTIFIED IF ANY NEW UTILITY LINES ARE TO BE INSTALLED
USE EXISTING WATER, SEWER AND GAS CONNECTIONS

PRIOR TO LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE AREA EROSION CONTROL INSPECTOR.

"I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION."

2/20/19
GREGORY L. DEAN, LEVEL II DESIGN PROFESSIONAL # 13699



DATE: 1/8/19, 1/11/19, 2/20/19

REVISION PER COUNTY COMMENTS:

NO.	REVISION
1	CHANGED SILENT SYSTEM TO PERMANENT SEPTIC SYSTEM
2	ADDED SEPTIC SYSTEM
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	

SITE PLAN
PREPARED FOR: RUSS REYNOLDS,
UNIT 1, RIVERVIEW ESTATES SUBDIVISION
LAND LOT 329 & 330, 6TH DISTRICT
4288 RIVERVIEW DRIVE
PEACHTREE CORNERS, GEORGIA 30097
DATE: 1-4-19



FOR THE FIRM
BOUNDARY ZONE, INC.

811
Know what's below.
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SUWANE, GEORGIA 30024
ATLANTA (404) 446-8180
1100 PEACHTREE ST, SUITE 200
ATLANTA, GEORGIA 30309
KENNESAW (678) 330-4993
975 COBB PLACE BLVD, SUITE 101
KENNESAW, GEORGIA 30144

PROJECT
19197.02
SHEET
3 OF 5

NOT VALID WITHOUT ORIGINAL SIGNATURE

CONC. CONCRETE
EOP EDGE OF PAVEMENT
AC UNIT
F.F.E. FINISH FLOOR ELEVATION
B.F.E. BASEMENT FLOOR ELEVATION
G.F.E. GARAGE FLOOR ELEVATION
1106.6 GROUND ELEVATION
1033.6 SURFACE ELEVATION
TW-1009.0 TOP OF WALL ELEVATION
BW-1069.0 BOTTOM OF WALL ELEVATION

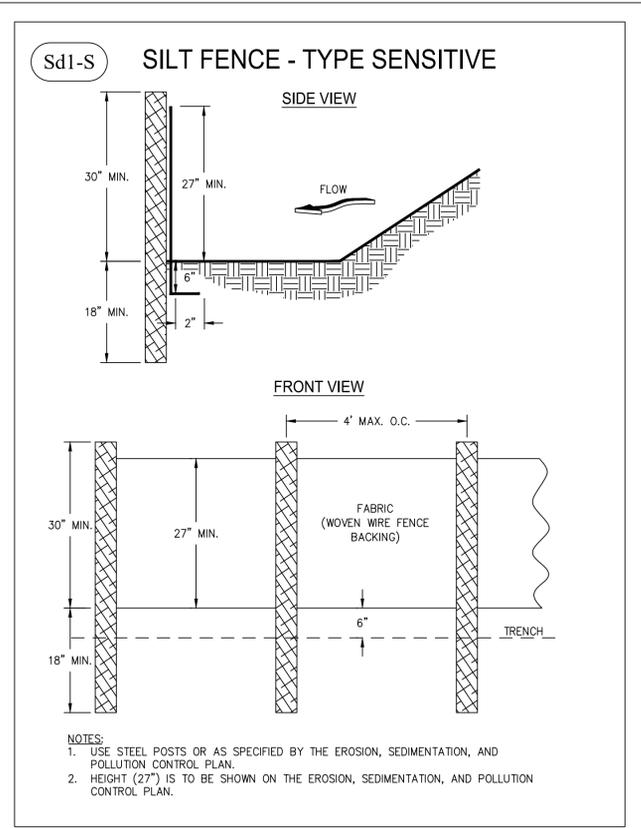
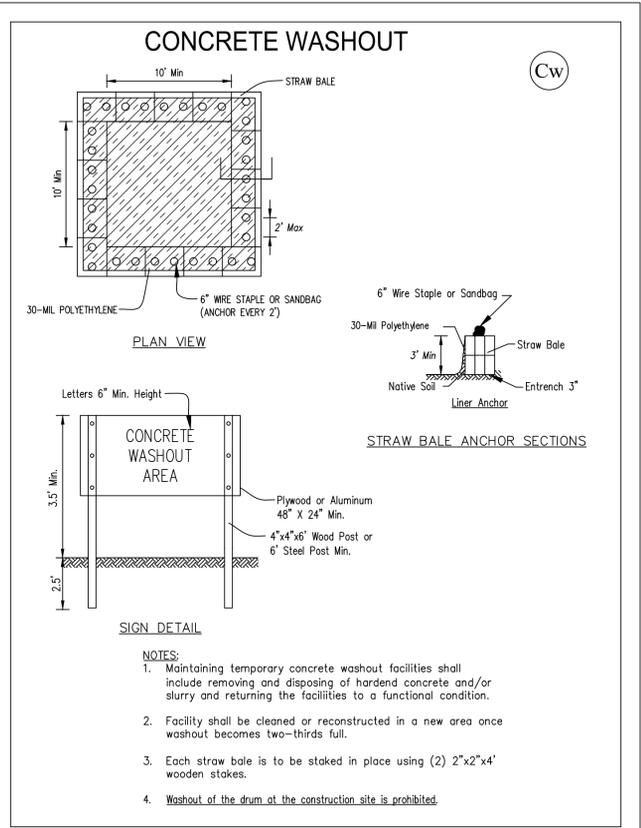
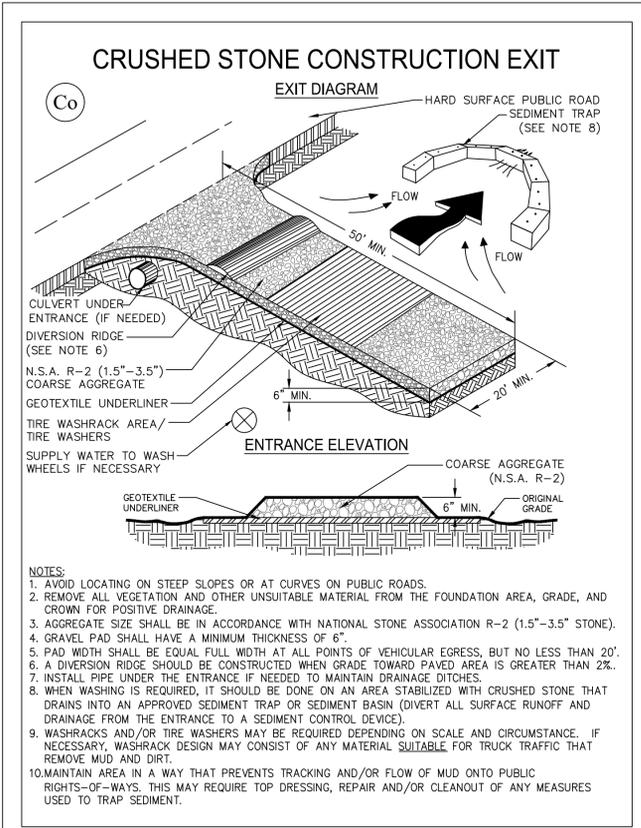
TREE LEGEND
HARDWOOD TREE
PINE TREE
X TO BE REMOVED

TOP OF FOOTER ELEVATION
SILT FENCE
DRAINAGE ARROW

CONCRETE
EOP EDGE OF PAVEMENT
AC UNIT
F.F.E. FINISH FLOOR ELEVATION
B.F.E. BASEMENT FLOOR ELEVATION
G.F.E. GARAGE FLOOR ELEVATION
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GRASSING SCHEDULE

(HYDROSEEDING RATES)

SPECIES	RATE/1000S.F.	DATES	LIME	FERTILIZER (LBS./ACRE)	K20
KY 31	1-1/2 - 2 LBS.	9/1-11/1	1 TON/ACRE	60-90	120-180
FESCUE	1-1/2 - 2 LBS.	9/1-11/1	1 TON/ACRE	60-90	120-180
WINTER RYE	2-3 LBS.	3/1-6/5	1 TON/ACRE	60-90	120-180

*WEEPING LOVEGRASS

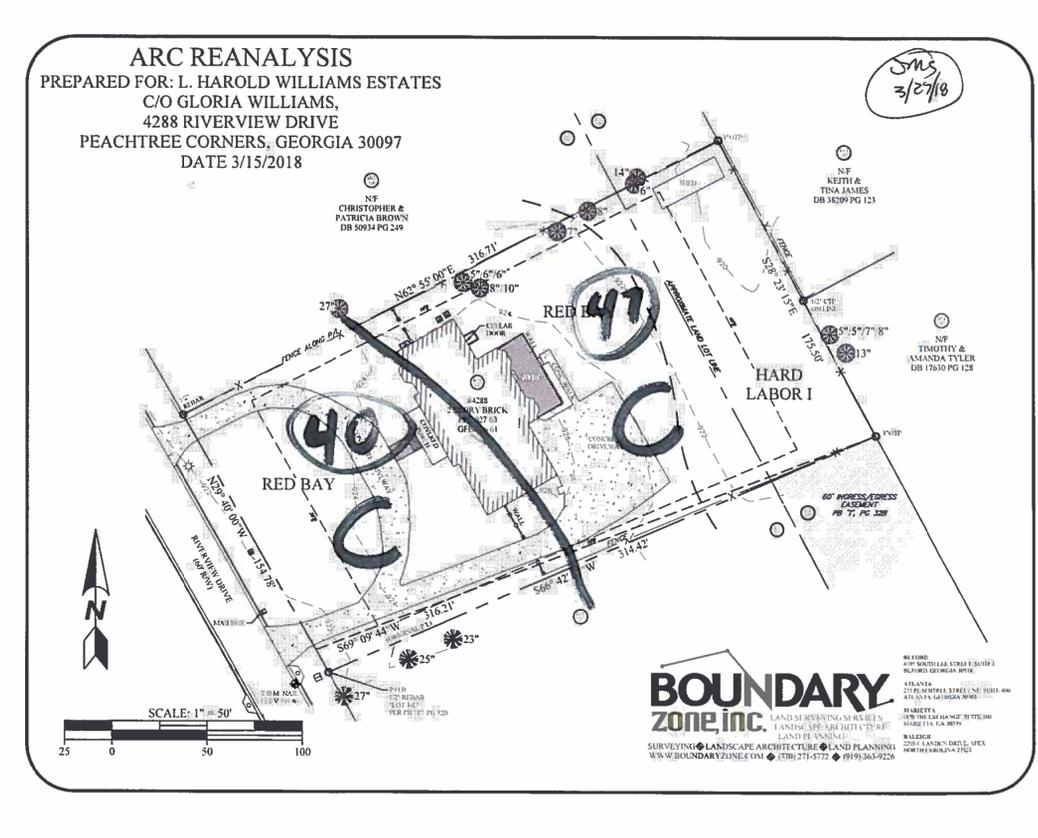
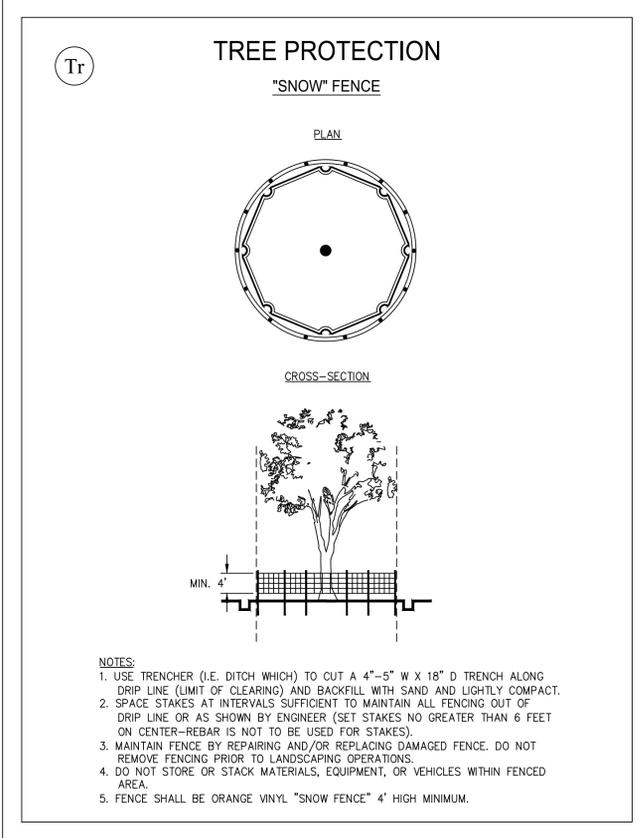
*APPLY (1) ONE TON OF AGRICULTURAL LIME EVERY 4-6 YEARS OR AS BY INDICATED BY SOIL TEST.

*HYDROSEED ON ALL 2:1 SLOPES.

NOTE: TEMPORARY STABILIZATION (MULCHING ONLY) WHEN SEEDING WILL NOT HAVE A SUITABLE GROWING MAY BE ACCOMPLISHED WITH: STRAW OR HAY - 2-1/2 TONS/ACRE. WOOD WASTE, BARK, SAWDUST - 2-3" DEEP (APPROX. 6-9 TONS/ACRE).

ACTIVITY SCHEDULE

NO. OF MONTHS	0	2	4	6	8	10	12	14
HOUSE CONSTRUCTION								
CLEAR AND GRUB								
ROUGH GRADING								
FINISH GRADING								
UTILITIES								
PAVING								
GRASSING/CLEAN UP								
EROSION CONTROL MEASURES								



REVISION

NO.	DATE	REVISION
1	1/8/19	CHANGED SEPTIC SYSTEM TO TRENCH SEPTIC SYSTEM
2	1/11/19	ADDED COMMENTS
3	1/11/19	ADDED COMMENTS
4	1/11/19	ADDED COMMENTS
5	1/11/19	ADDED COMMENTS
6	1/11/19	ADDED COMMENTS
7	1/11/19	ADDED COMMENTS
8	1/11/19	ADDED COMMENTS
9	1/11/19	ADDED COMMENTS
10	1/11/19	ADDED COMMENTS
11	1/11/19	ADDED COMMENTS
12	1/11/19	ADDED COMMENTS

DATE: 1/8/19

REVISION PER COUNTY COMMENTS: CHANGED SEPTIC SYSTEM TO TRENCH SEPTIC SYSTEM

ADDED COMMENTS

DETAILS

PREPARED FOR: RUSS REYNOLDS,
LOT 1-C, BLOCK A, UNIT 1, RIVERVIEW ESTATES SUBDIVISION
LAND LOT 329 & 330, 6TH DISTRICT
4288 RIVERVIEW DRIVE
PEACHTREE CORNERS, GEORGIA 30097
DATE 1-4-19

NOT VALID WITHOUT ORIGINAL SIGNATURE

FOR THE FIRM
BOUNDARY zone inc.

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THIS PLAN HAS BEEN PREPARED USING A TRIMBLE S603 ROBOTIC TOTAL STATION

THE FIELD DATA UPON WHICH THIS MAP OR PLAN IS BASED HAS A RELATIVE POSITIONAL ACCURACY OF 0.02 FEET

LEGEND:

○ PROPERTY CORNER FOUND (AS NOTED)	□ POWER METER	□ TELEPHONE BOX	—WB— WATER LINE	—HW— HAY BALES
□ 1/2" REBAR WITH CAP SET LSF# 839	□ POWER BOX	—U— OVERHEAD UTILITY LINE	—FW— FLOW WELL LINE	—NF— NOW OR FORMERLY
□ R/W MONUMENT	□ FIRE HYDRANT	—S— SEWER LINE	—G— GAS LINE	—RW— RIGHT-OF-WAY
□ WATER METER	□ MANHOLE	—C— CABLE LINE	—BSL— BUILDING SETBACK LINE	—CNTL— CANTILEVER
□ WATER VALVE	□ CLEAN OUT	—T— TELEPHONE LINE	—CR.Z.— CRITICAL ROOF ZONE	—S.R.P.— STRUCTURAL ROOT PLATE (TYP.)
□ POWER POLE	□ GAS METER	—X— FENCE LINE	—SF— SILT FENCE	—L.L.— LAND LOT
□ YARD DRAINS	□ GAS VALVE	—O— TREE PROTECTION	—CONC— CONCRETE	
□ SIGN	□ CABLE BOX		—EOP— EDGE OF PAVEMENT	
			—CL— CONTOUR LINE	
			—F.F.E.— FINISH FLOOR ELEVATION	
			—B.F.E.— BASEMENT FLOOR ELEVATION	
			—G.F.E.— GARAGE FLOOR ELEVATION	
			—100.0— GROUND ELEVATION	
			—103.0— SURFACE ELEVATION	
			—TW-100.0— TOP OF WALL ELEVATION	
			—BW-100.0— BOTTOM OF WALL ELEVATION	

TREE LEGEND

○ HARDWOOD TREE
○ PINE TREE
X TO BE REMOVED



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KENNESAW, GEORGIA 30144

PROJECT
19197.02

SHEET
4 OF 5

LEVEL 3
 GWINNETT COUNTY SOIL INVESTIGATION REPORT
 4288 RIVERVIEW DRIVE PEACHTREE CORNERS, 30097
 LOT 1C-A RIVERVIEW ESTATES, LAND LOT 330, 6TH DISTRICT
 OWNER: BOUNDARY ZONE INC. 770-271-5772 FOR OWNER

RED BAY I, 2-6% SLOPES
 -inclusions of Wickham soil.
 HARD LABOR I, 2-6% SLOPES

ESTIMATED SOIL PROPERTIES BASED ON MEASUREMENTS

SOIL SERIES	DEPTH TO BEDROCK	DEPTH TO SEASONAL WATER TABLE	MIN/INCH PERCOLATION RATE	SLOPE%	DEPTH TO OPTIMUM PERCOLATION	SUITABILITY CODE
RED BAY	72"+	60"	60	3-5	12-36"	AP
HARD LABOR I	72"+	36-48"	75	3-4	12-24"	C

SUITABILITY CODE AP-this soil is generally suitable for a conventional absorption field with proper design, installation and maintenance. However, there are saturation indicators in the lower portion of the profile. Drain lines should be no deeper than 36" here. Be sure gutter drains are piped out past and away from tank and drain field areas and surface water is diverted away from these areas as well.

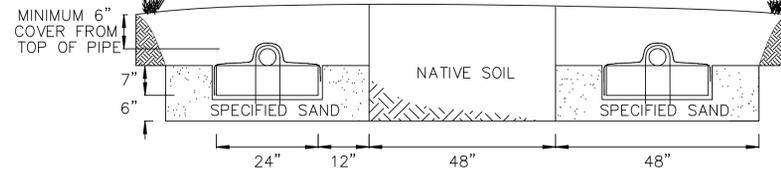
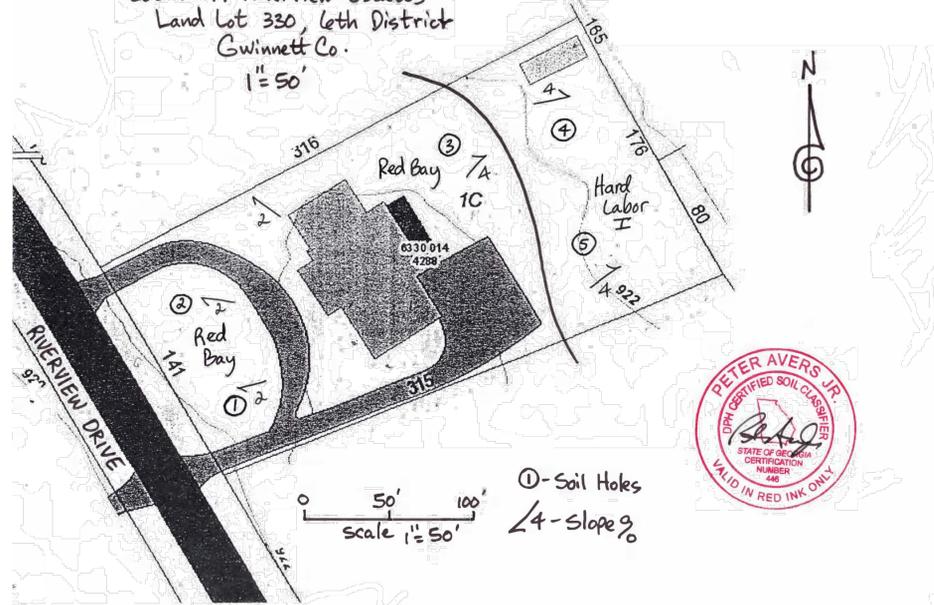
SUITABILITY CODE C-this soil is generally not suitable for a conventional absorption field due to seasonal saturation. This soil is suitable for an alternative system with proper design, installation and maintenance, see Health Dept.

NOTE: This report is null and void if area is cut or filled after time of field study. Measurements and depth's given are from the existing soil surface at time of field work.

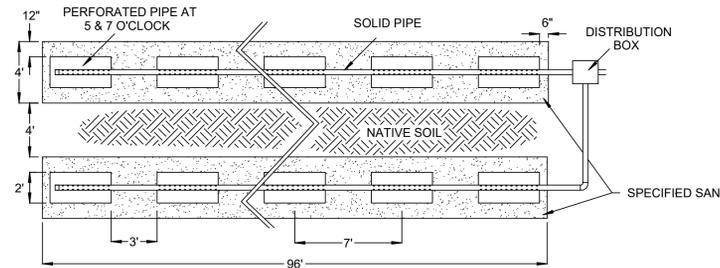
3-13-18
 This is a Level 3 Soil Survey
 Soil Scientist Pete Avers Jr.
 770-972-1079



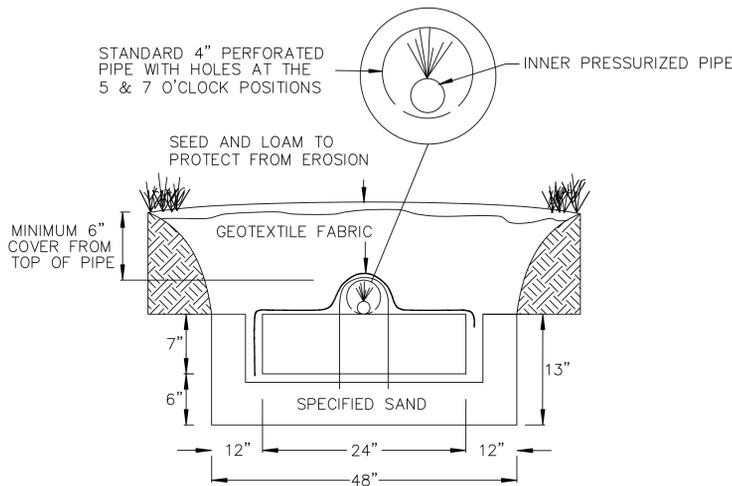
Level 3
 Soil Survey For
 4288 Riverview Drive Duluth
 Lot 1C-A Riverview Estates
 Land Lot 330, 6th District
 Gwinnett Co.
 1"=50'



SECTION VIEW: TRENCH SYSTEM - LEVEL SITE
 NOT TO SCALE



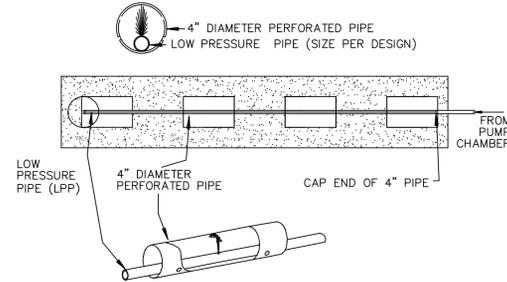
PLAN VIEW: TRENCH SYSTEM - LEVEL SITE
 NOT TO SCALE



ALL SYSTEMS ARE REQUIRED TO HAVE A MINIMUM OF:

- 6 INCHES OF SPECIFIED SAND AT THE EDGES OF THE GSF MODULE.
- 6 INCHES OF SPECIFIED SAND AT THE BEGINNING AND END OF EACH GSF TRENCH.
- 6 INCHES OF SPECIFIED SAND DIRECTLY BELOW THE GSF MODULE.
- MINIMUM 6 INCHES OF NATIVE SOIL FILL OVER THE PIPE.

TYPICAL A42 GSF CROSS SECTION
 NOT TO SCALE



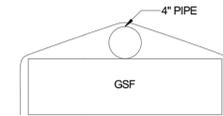
PRESSURE PIPE CROSS SECTION
 (FOR ALL APPLICATIONS)
 NOT TO SCALE

13.0 Instructions for Proper Installation of Cover Fabric

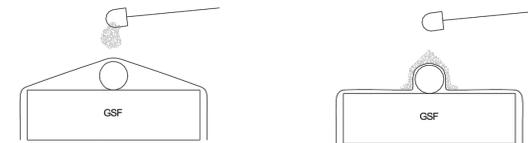
13.1 COVER FABRIC: Geotextile cover fabric is provided by Eljen Corporation for all GSF systems. It is placed over the top and the sides of the module rows to prevent long term siltation and failure. Cover fabric substitution is not allowed.

13.2 COVER FABRIC INSTALLATION TRENCH/BED IN A UNIFORM ROW: Installation is similar for both Trenches and Beds.

Roll the Eljen supplied cover fabric along the length of the module row, leaving a few inches of extra material before the first module and after the last module. Center the fabric over the GSF Modules.



Place small shovelfuls of Specified sand on top of the pipe and along the length of the trench. The sand will overflow naturally and place the GSF fabric correctly around the pipe. The fabric should be almost vertical on the sides of the pipe. Ensure you do not tuck the fabric underneath the pipe.



Fill in sides around GSF module. This will hold the fabric in place and will be ready for inspection.



SPECIFIED SAND SIEVE REQUIREMENTS

ASTM C33 SAND SPECIFICATION		
SIEVE SIZE	SIEVE SQUARE OPENING SIZE	SPECIFICATION PERCENT PASSING (WET SIEVE)
3/8 INCH	9.52 MM	100
NO. 4	4.76 MM	90 - 100
NO. 8	2.38 MM	80 - 100
NO. 30	590 μM	25 - 60
NO. 50	297 μM	5 - 30
NO. 100	149 μM	0 - 10
NO. 200	75 μM	0 - 5

TO ENSURE PROPER SYSTEM OPERATION, THE SYSTEM MUST BE INSTALLED USING ASTM C33 SAND WITH LESS THAN 10% PASSING A #100 SIEVE AND LESS THAN 5% PASSING A #200 SIEVE. LISTED BELOW IS A CHART OUTLINING THE SIEVE REQUIREMENTS FOR THE SPECIFIED SAND. ASK YOUR MATERIAL SUPPLIER FOR A SIEVE ANALYSIS TO VERIFY THAT YOUR MATERIAL MEETS THE REQUIRED SPECIFICATIONS.

PRIMARY

PRIMARY SEPTIC GSF SYSTEM:

HOUSE SIZE	5 BEDROOMS
SOIL PERMEABILITY MIN/IN	75 MIN/IN
SEPARATION DISTANCE TO LIMITING LAYER - 2 FT	
TRENCH WIDTH - 4 FT	
DESIGN FLOW - 150 GPD X 5 BEDROOMS =	750 GPD
ADDITION OF A GARBAGE DISPOSER =	900 GPD
AS PER APPENDIX A AND APPLICATION RATE	
MINIMUM NUMBER OF UNITS REQUIRED	45 A42 MODULES
APPLICATION RATE	0.411 GPD/SQ.FT.
MINIMUM BOTTOM AREA FOR THE TRENCH	
DESIGN FLOW + APPLICATION RATE = 900 GPD ÷ 0.411 GPD/FT2	2190 SQ.FT.
TRENCH WIDTH:	1.2 FT
TRENCH LENGTH:	
MINIMUM BOTTOM AREA + TRENCH WIDTH ÷ NUMBER OF TRENCHES	4 TRENCHES
1004 SQ.FT. ÷ 1.2 FT ÷ 4 TRENCHES = 182.5 LF. ROUNDED TO	456 LF
NUMBER OF MODULES PER ROW:	
45 MODULES ÷ 4 ROWS	11 MODULES
SPACING OF A42S INSIDE THE TRENCH:	
LENGTH - 2 FT (6" SAND AT END + 1 UNIT) ÷ (NUMBER OF UNITS PER ROW - 1)	44.29 FT
EDGE TO EDGE SPACING - CENTER TO CENTER SPACING - 4 =	
7.75 FT - 4 FT =	3.75 FT
EDGE TO EDGE SPACING =	40.29 FT
TRENCH BOTTOM AREA (WIDTH X LENGTH X #TRENCHES):	
4 FT X 110 LF X 3 TRENCHES =	2189 SQ.FT.

RESERVE

RESERVE SEPTIC GSF SYSTEM:

HOUSE SIZE	5 BEDROOMS
SOIL PERMEABILITY MIN/IN	60 MIN/IN
SEPARATION DISTANCE TO LIMITING LAYER - 2 FT	
TRENCH WIDTH - 4 FT	
DESIGN FLOW - 150 GPD X 5 BEDROOMS =	750 GPD
ADDITION OF A GARBAGE DISPOSER =	900 GPD
AS PER APPENDIX A AND APPLICATION RATE	
MINIMUM NUMBER OF UNITS REQUIRED	40 A42 MODULES
APPLICATION RATE	0.896 GPD/SQ.FT.
MINIMUM BOTTOM AREA FOR THE TRENCH:	
DESIGN FLOW + APPLICATION RATE = 900 GPD ÷ 0.896 GPD/FT2	1004 SQ.FT.
TRENCH WIDTH:	4 FT
TRENCH LENGTH:	
MINIMUM BOTTOM AREA + TRENCH WIDTH ÷ NUMBER OF TRENCHES	4 TRENCHES
1004 SQ.FT. ÷ 4 FT ÷ 4 TRENCHES = 62.75 LF. ROUNDED TO	63 LF
NUMBER OF MODULES PER ROW:	
40 MODULES ÷ 4 ROWS	10 MODULES
SPACING OF A42S INSIDE THE TRENCH:	
LENGTH - 2 FT (6" SAND AT END + 1 UNIT) ÷ (NUMBER OF UNITS PER ROW - 1)	6.75 FT
EDGE TO EDGE SPACING - CENTER TO CENTER SPACING - 4 =	
6.75 FT - 4 FT =	2.75 FT
EDGE TO EDGE SPACING =	2.75 FT
TRENCH BOTTOM AREA (WIDTH X LENGTH X #TRENCHES):	
4 FT X 63 LF X 4 TRENCHES =	1004 SQ.FT.

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LEGEND:
 ● PROPERTY CORNER FOUND (AS NOTED)
 ○ 1/2" REBAR WITH CAP SET LSF# 839
 □ R/W MONUMENT
 ▲ FIRE HYDRANT
 ⊕ WATER METER
 ⊕ WATER VALVE
 ⊕ POWER POLE
 ⊕ YARD DRAINS
 ○ SIGN
 ⊕ POWER METER
 ⊕ AC UNIT
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 ⊕ CNTL CANTILEVER
 ⊕ CR.Z. CRITICAL ROOT ZONE
 ⊕ S.R.P. STRUCTURAL ROOT PLATE (TYP.)
 ⊕ L.L. LAND LOT
 ⊕ CONC. CONCRETE
 ⊕ EOP EDGE OF PAVEMENT
 ⊕ -0-0- CONTOUR LINE
 ⊕ F.F.E. FINISH FLOOR ELEVATION
 ⊕ B.F.E. BASEMENT FLOOR ELEVATION
 ⊕ G.F.E. GARAGE FLOOR ELEVATION
 ⊕ 100.0' GROUND ELEVATION
 ⊕ S.R.P. SURFACE ELEVATION
 ⊕ TW-100.0' TOP OF WALL ELEVATION
 ⊕ BW-100.0' BOTTOM OF WALL ELEVATION
 ⊕ T1-100.0' TOP OF FOOTER ELEVATION
 ⊕ SF - SILT FENCE
 ⊕ DRAINAGE ARROW
 ⊕ HARDWOOD TREE
 ⊕ PINE TREE
 ⊕ TO BE REMOVED

811
 Know what's below.
 Call before you dig.

BOUNDARY zone, inc.
 LAND SURVEYING SERVICES & LAND PLANNING SERVICES
 SURVEYING LANDSCAPE ARCHITECTURE LAND PLANNING
 WWW.BOUNDARYZONE.COM (770) 271-5772
 SUWANEE (770) 271-5772
 454 SATELLITE BLVD, SUITE 200
 SUWANEE, GEORGIA 30024
 ATLANTA (404) 446-8180
 1100 PEACHTREE ST, SUITE 200
 ATLANTA, GEORGIA 30309
 KENNESAW (678) 390-4993
 975 CORB PLACE BLVD, SUITE 101
 KENNESAW, GEORGIA 30144

NOT VALID WITHOUT ORIGINAL SIGNATURE
 GEORGIA
 No. 879
 LAND SURVEYING
 GARY L. BEAN
 2/20/19
 FOR THE FIRM
 BOUNDARY ZONE, INC.

SEPTIC SYSTEM DETAILS
 PREPARED FOR: RUSS REYNOLDS,
 LOT 1-C, BLOCK A, UNIT 1, RIVERVIEW ESTATES SUBDIVISION
 LAND LOT 329 & 330, 6TH DISTRICT
 4288 RIVERVIEW DRIVE
 PEACHTREE CORNERS, GEORGIA 30097
 DATE 1-4-19
 PROJECT 19197.02
 SHEET 5 OF 5



ATLANTA REGIONAL COMMISSION

REGIONAL REVIEW NOTIFICATION

Atlanta Regional Commission • 229 Peachtree Street NE | Suite 100 | Atlanta, Georgia 30303 • ph: 404.463.3100 fax: 404.463.3205 • atlantaregional.org

DATE: March 1, 2019

ARC REVIEW CODE: V1903011

TO: Mayor Mike Mason, City of Peachtree Corners
ATTN TO: Greg Ramsey, Director, Public Works
FROM: Douglas R. Hooker, Executive Director, ARC

Digital signature
Original on file

The Atlanta Regional Commission (ARC) has received the following proposal and is initiating a regional review to seek comments from potentially impacted jurisdictions and agencies. The ARC requests your comments related to the proposal not addressed by the Commission's regional plans and policies.

Name of Proposal: RC-19-01PC 4288 Riverview Drive

Review Type: Metro River

MRPA Code: RC-19-01PC

Description: An application for a Metropolitan River Protection Act (MRPA) Certificate for the demolition of an existing and construction of a new single-family home, pool, and an On-Site Sewage Management System.

Preliminary Finding: ARC staff has begun the review of the application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's preliminary finding is that the proposed project is consistent with the Chattahoochee Corridor Plan.

Submitting Local Government: City of Peachtree Corners

Land Lot: 329, 330 **District:** 6 **Section:**

Date Opened: March 1, 2019

Deadline for Comments: March 11, 2019

Earliest the Regional Review can be Completed: March 11, 2019

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES ARE RECEIVING NOTICE OF THIS REVIEW:

ARC COMMUNITY DEVELOPMENT
CHATTAHOOCHEE RIVERKEEPER
GWINNETT COUNTY

ARC NATURAL RESOURCES
GEORGIA CONSERVANCY
FULTON COUNTY

GEORGIA DEPARTMENT OF NATURAL RESOURCES
NATIONAL PARK SERVICE/CRNRA
CITY OF JOHNS CREEK

If you have any questions regarding this review, please contact Robert Herrig at Rherrig@atlantaregional.org or (470) 378-1636. If ARC staff does not receive comments from you on or before March 11, 2019, we will assume that your agency has no additional comments and will close the review. Comments by email are strongly encouraged. The ARC review website is located at: <http://www.atlantaregional.org/land-use/planreviews>.

Attached is information concerning this review.



CITY OF
Peachtree
CORNERS
Innovative & Remarkable

August 22nd, 2018

Jim Santo
Principal Environmental Planner
Natural Resources Division
Atlanta Regional Commission
40 Courtland Street NE
Atlanta, Georgia 30303-2538

Re: 4288 Riverview Drive

Dear Jim:

The City of Peachtree Corners respectfully requests an ARC Chattahoochee River Corridor Classification review for the referenced lot. A reanalysis for 4288 Riverview Drive was recently conducted by Boundary Zone and the attached plans reflect their reanalysis. The owner of the home would like to demo the existing home and build the proposed home.

Attached please find the completed application, \$250 certified check and the required exhibits: ARC application form, as/ built survey, site plan including vulnerability categories and the proposed site plan including clearing and impervious allocations.

Please let me know if you need further information.

Sincerely,

A handwritten signature in blue ink, appearing to read "Greg Ramsey".

Greg Ramsey

Public Works Director

CITY OF PEACHTREE CORNERS
DEPARTMENT OF PLANNING & DEVELOPMENT
310 Technology Parkway, Peachtree Corners, GA 30092
Tel: 678.691.1200 | www.cityofpeachtreecornersga.com

**APPLICATION FOR
METROPOLITAN RIVER PROTECTION ACT CERTIFICATE**

1. Name of Local Government: The City of Peachtree Corners

2. Owner(s) of Record of Property to be Reviewed:

Name(s): Russ Reynolds

Mailing Address: 4288 Riverview Drive

City: Peachtree Corners State: GA Zip: 30097

Contact Phone Numbers (w/Area Code):

Daytime Phone: (678) 372-2646 Fax: _____

Other Numbers: _____

3. Applicant(s) or Applicant's Agent(s):

Name(s): Boundary Zone, Inc - Matt Ferreira

Mailing Address: 454 Satellite Boulevard NW, Suite 200

City: Suwanee State: GA Zip: 30024

Contact Phone Numbers (w/Area Code):

Daytime Phone: (770) 271-5772 Fax: 770-271-5753

Other Numbers: _____

4. Proposed Land or Water Use:

Name of Development: Riverview Estates

Description of Proposed Use: Single Family Residence

5. Property Description (Attach Legal Description and Vicinity Map): Attached
Land Lot(s), District, Section, County: LL 329, 330, 6th, Gwinnett County

Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection: _____
Riverview Estates, 1, Block C, 4288 Riverview Drive, 365 lf

Size of Development (Use as Applicable):

Acres: Inside Corridor: 1.19 Acres

Outside Corridor: 0

Total: 1.19 Acres

Lots: Inside Corridor: 1

Outside Corridor: 0

Total: 1

Units: Inside Corridor: 1

Outside Corridor: _____

Total: 1

Other Size Descriptor (i.e., Length and Width of Easement):

Inside Corridor: _____

Outside Corridor: _____

Total: _____

6. Related Chattahoochee Corridor Development:

A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? No

If "yes", describe the additional land and any development plans: N/A

B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? No

If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s): N/A

7. How Will Sewage from this Development be Treated?

A. Septic tank Infiltrator System

Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

B. Public sewer system _____

8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land Disturb. (Maximums Shown In Parentheses)	Percent Imperv. Surf. (Maximums Shown In Parentheses)
A	_____	_____	_____	(90)	(75)
B	_____	_____	_____	(80)	(60)
C	51,965 sf	36,376 sf	23,384 sf	(70)	70% (45) 45%
D	_____	_____	_____	(50)	(30)
E	_____	_____	_____	(30)	(15)
F	_____	_____	_____	(10)	(2)
Total:	51,965 sf	36,376 sf	23,384 sf	N/A	N/A

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? No

If "yes", indicate the 100-year floodplain elevation: _____

NOTE: The 100-year river floodplain is defined as the natural land surface below the one hundred- (100) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.

10. Is any of this land within the 500-year floodplain of the Chattahoochee River? NO

If "yes", indicate the 500-year flood plain elevation: _____

NOTE: The 500-year floodplain is defined as the natural land surface below the five hundred- (500) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).

11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

FOR ALL APPLICATIONS:

Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).

Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)

Written consent of all owners to this application. (Space provided on this form)

Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)

Description of proposed use(s). (Space provided on this form)

Existing vegetation plan.

Proposed grading plan.

Certified as-builts of all existing land disturbance and impervious surfaces.

Approved erosion control plan.

Detailed table of land-disturbing activities. (Both on this form and on the plans)

Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of-way; 100- and 500-year river floodplains; vulnerability category boundaries; topography; any other information that will clarify the review.

Documentation on adjustments, if any.

Cashier's check or money order (for application fee).

FOR SINGLE-STEP APPLICATIONS (NON-SUBDIVISION):

Site plan.

Land-disturbance plan.

FOR TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY:

Concept plan.

Lot-by-lot and non-lot allocation tables.

12. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary)

Russ Reynolds

Russ Reynolds
Signature(s) of Owner(s) of Record

02-28-19
Date

13. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:

Boundary Zone, Inc. - Matt Ferreira

Matthew Ferreira
Signature(s) of Applicant(s) or Agent(s)

02/28/19
Date

14. The governing authority of The City of Peachtree Corners requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.

Signature of Chief Elected Official or Official's Designee

Date

See cover letter (Cons 2/20/19)



Gwinnett Environmental Health Services
455 Grayson Highway - Suite 600
Lawrenceville, GA 30046
Phone: 770.963.5132
Fax: 770.339.4282
www.gnrhealth.com

February 25, 2019

Gwinnett County Planning and Development
1 Justice Square
Lawrenceville, Georgia 30046

RE: 4288 Riverview Drive, Duluth, GA 30097

To Whom It May Concern:

A request has been approved for a demolition permit for the above mentioned address. The structure may be demolished and the debris cleaned from the site with the following conditions:

1. No grading may be done. The topography cannot be altered during the demolition or clean up. Altering this lot by any grading may prohibit the development of this lot utilizing on-site sewage management systems.
2. All debris must be disposed of off-site. No pit may be dug on the property to dispose of the debris.
3. No guarantees are granted for development approval of a project in the future. An On-Site Sewage Management System (OSSMS – septic system) application must be completed and reviewed for code compliance at time of project development.

If you have any questions, please feel free to contact me at morgan.harris@gnrhealth.com or 770-963-5132.

Sincerely,

Morgan Harris
Environmental Health Specialist 2



ATLANTA REGIONAL COMMISSION

REGIONAL REVIEW FINDING

Atlanta Regional Commission • 229 Peachtree Street NE | Suite 100 | Atlanta, Georgia 30303 • ph: 404.463.3100 fax: 404.463.3205 • atlantaregional.org

DATE: MARCH 12, 2019

ARC REVIEW CODE: V1903011

TO: MAYOR MIKE MASON, City of Peachtree Corners
ATTN TO: GREG RAMSEY, DIRECTOR, PUBLIC WORKS
FROM: Douglas R. Hooker, Executive Director, ARC

Digital signature
Original on file

The Atlanta Regional Commission (ARC) has completed regional review of the following proposal. Below is the ARC finding. The Atlanta Regional Commission reviewed the proposed project with regard to conflicts to regional plans, goals, and policies and impacts it might have on the activities, plans, goals, and policies of other local jurisdictions and state, federal, and other agencies.

Name of Proposal: RC-19-01PC 4288 Riverview Drive
Submitting Local Government: City of Peachtree Corners

Review Type: Metro River

Date Opened: March 1, 2019

Date Closed: March 12, 2019

FINDING: ARC staff has completed the review of the application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's finding is that the proposed project is consistent with the Chattahoochee Corridor Plan.

Additional Comments: Gwinnett County's comments are attached to the end of this review finding.

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES RECEIVED NOTICE OF THIS REVIEW:

ARC COMMUNITY DEVELOPMENT
CHATTAHOOCHEE RIVERKEEPER
GWINNETT COUNTY

ARC NATURAL RESOURCES
GEORGIA CONSERVANCY
FULTON COUNTY

GEORGIA DEPARTMENT OF NATURAL RESOURCES
NATIONAL PARK SERVICE/CRNRA
CITY OF JOHNS CREEK

If you have any questions regarding this review, please contact Robert Herrig at (470) 378-1636. This finding will be published to the ARC website at: <http://www.atlantaregional.org/landuse>.



March 11, 2019

Robert Herrig, Planner
Community Development Group
Atlanta Regional Commission
229 Peachtree Street NE, Suite 100
Atlanta, GA, 30303

Re: Metropolitan River Protection Act (MRPA) - RC-19-01PC 4288 Riverview Drive

The Gwinnett County Department of Planning and Development has reviewed the Metropolitan River Protection Act (MRPA) application prepared by the Atlanta Regional Commission regarding the proposed demolition and construction of a single-family home, pool, and onsite sewage management system 4288 Riverview Drive; the property is located in the City of Peachtree Corners. The proposed structure is located on a residential lot that was previously developed with a single family home.

PROPOSED DEVELOPMENT

The subject property is located in the Riverview Estates Subdivision and consists of approximately 1.193 acres. It is zoned R-100 for a residential use, and contains a single family home. The applicant proposes to demolish the current home, and construct a new home with an additional garage and swimming pool. This review is required due to the project's proximity to the Chattahoochee River. The proposed home and garage addition appear to adhere to the setback requirements for the R-100 zoning district. The site plan shows a separation of 24.4 feet from the septic field to the proposed pool.

Gwinnett County is committed to the conservation, protection, and enhancement of the water quality in our streams and lakes. Staff recommends that page 3 of 5 of the site plan reflect the description of the scope of work to show a new home is being constructed. Gwinnett County recommends that all work at a minimum be in accordance with the Georgia Stormwater Management Manual 2016 Edition. Additionally, the designated Stream Buffer Protection area and Best Stormwater Management Practices should diminish the impacts on stormwater management. All rules and regulations of the Metropolitan River Protection Act along the Chattahoochee River Corridor should be followed prior to the construction of any structure.

Gwinnett County appreciates the opportunity to comment on this proposed development, and sincerely hopes that these comments will be given full consideration as the review process moves forward. Please feel free to contact me if you have any questions regarding Gwinnett County's position on this issue.

Best regards,

A handwritten signature in blue ink, appearing to read "Brian Johnson", written in a cursive style.

Brian Johnson, Deputy Director
Gwinnett County Department of Planning and Development