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COUNCIL MEETING AGENDA

Mike Mason, Mayor

Phil Sadd – Post 1, Council Member
Eric Christ – Post 2, Council Member
Alex Wright – Post 3, Council Member

Jeanne Aulbach – Post 4, Council Member
Lorri Christopher – Post 5, Council Member
Weare Gratwick – Post 6, Council Member

May 28, 2019

COUNCIL AGENDA

7:00 PM

PEACHTREE CORNERS CITY HALL – Council Chambers
310 TECHNOLOGY PARKWAY, PEACHTREE CORNERS, GA 30092

A) CALL TO ORDER

B) ROLL CALL

C) PLEDGE OF ALLEGIANCE

D) MAYOR'S OPENING REMARKS

E) CONSIDERATION OF MINUTES – Consideration of approval of March 23, 2019 Council Retreat Minutes, April 9, 2019 Work Session Minutes, April 23, 2019 Council Meeting Minutes, and May 14, 2019 Work Session Minutes.

F) CONSIDERATION OF MEETING AGENDA

G) PUBLIC COMMENTS

H) PUBLIC HEARING

1. PH2019-004 MRPA Certificate - 4556 Ridgeway Drive

D) ITEMS FOR CONSIDERATION

- 1. Action Item** Consideration of approval for an Intergovernmental Agreement for the Allocation and Distribution of proceeds from the title Ad Valorem tax
- 2. Action Item** Consideration of approval of the City of Peachtree Corners 5 Year Capital Improvement Plan
- 3. O2019-05-145** First Read and Consideration of an Ordinance of the City of Peachtree Corners, Georgia, adopting the amended fiscal year 2019 operating budget for each fund of the City of Peachtree Corners, Georgia (Public Hearing June 26, 2019)

- 4. O2019-05-146** First Read and Consideration of an Ordinance of the City of Peachtree Corners, Georgia, adopting the fiscal year 2020 operating budget and capital improvement budget for each fund of the City of Peachtree Corners, Georgia. (Public Hearing June 26, 2019)

J) CITY MANAGER UPDATES

K) EXECUTIVE SESSION

L) ADJOURNMENT

Minutes



CITY OF PEACHTREE CORNERS
PLANNING RETREAT MINUTES
MARCH 23, 2019 @ 8:00AM

The Mayor and Council of the City of Peachtree Corners held a Planning Retreat at ROAM Perimeter Center, located at 1151 Hammond Drive, Suite 240, Atlanta, Georgia. The following were in attendance:

Mayor	Mike Mason
Council Member	Phil Sadd – Post 1
Council Member	Eric Christ – Post 2
Council Member	Alex Wright – Post 3
Council Member	Jeanne Aulbach – Post 4
Council Member	Lorri Christopher – Post 5
Council Member	Weare Gratwick – Post 6
City Manager	Brian Johnson
City Clerk	Kym Chereck
Asst. City Manager	Brandon Branham
Community Dev. Dir.	Diana Wheeler
Public Works Dir.	Greg Ramsey
City Attorney	Bill Riley
Communication Dir.	Judy Putnam

The Planning Retreat consisted of an update on the FY2020 Budget, an update on the FY2020 Capital Project, an update on the 5-year CIP Plan, and a general update from the City Manager. As part of the FY2020 Capital Project update there, was discussion on transportation improvements, the Town Center and the Town Green. No action was taken on any topics.

Approved,

Attest:

Mike Mason, Mayor

Kymberly Chereck, City Clerk



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Mike Mason, Mayor

Phil Sadd – Post 1, Council Member
Eric Christ – Post 2, Council Member
Alex Wright – Post 3, Council Member

Jeanne Aulbach – Post 4, Council Member
Lorri Christopher – Post 5, Council Member
Weare Gratwick – Post 6, Council Member

April 9, 2019

WORK SESSION MINUTES

7:00 PM

PEACHTREE CORNERS CITY HALL – Boardwalk
310 TECHNOLOGY PARKWAY, PEACHTREE CORNERS, GA 30092

1. Roll Call –

Mayor	Mike Mason
Council Member	Phil Sadd – Post 1
Council Member	Eric Christ – Post 2
Council Member	Alex Wright – Post 3
Council Member	Jeanne Aulbach – Post 4
Council Member	Lorri Christopher – Post 5
Council Member	Weare Gratwick – Post 6
City Manager	Brian Johnson
Asst. City Manager	Brandon Branham
Deputy City Clerk	Rocio Monterrosa
City Attorney	Bill Riley
Communications Dir.	Judy Putnam
Plan. & Dev. Mgr.	David Chastant
Economic Dev. Spec.	Jennifer Howard

- 2. Presentation by Pendleton Group** – Brooke Lucas with the Pendleton Group presented to the Mayor and Council on the need of having a Business Retention & Expansion plan as part of the Economic Development plan.
- 3. Presentation by Tytan Group** – Jim Stone with Tytan Pictures presented to the Mayor and Council a strategic plan for enhancing the City of Peachtree Corners as a brand and increasing its presence in social media to help recruit companies, families and individuals to live, learn, work and play in Peachtree Corners.
- 4. MRPA Certificate PH2019-002 4288 Ridgeway Drive** – Brian Johnson, City Manager, informed the Mayor and Council of an upcoming MRPA (Metropolitan Protection Act Certificate) application to be heard at the next Council Meeting. Mr. Johnson stated that the application has approval by Staff.
- 5. Roof replacement contract for City Hall** – Brandon Branham, Assistant City Manager, informed Mayor and Council that there were two bids received for the replacement of City Hall’s roof. The contract was awarded to RDS Construction.

6. City Manager Update – Brian Johnson, City Manager, informed the Mayor and Council of the 141 resurfacing project with GDOT, the Amberfield sewer line upgrade, the Town Center grand opening event, the NHSC marketing event invitation and, Gay Shook’s application to the Georgia Historical Society for a Historic Marker in Peachtree Corners.

7. Executive Session – There was no executive session.

8. Adjournment – 10:08 PM

Approved,

Attest:

Mike Mason, Mayor

Rocio Monterrosa, Deputy City Clerk
(Seal)



CITY OF PEACHTREE CORNERS
COUNCIL MEETING MINUTES
April 23, 2019 @ 7:03PM

The Mayor and Council of the City of Peachtree Corners held a Council Meeting at City Hall, 310 Technology Parkway, Peachtree Corners, GA, 30092. The following were in attendance:

Mayor	Mike Mason
Council Member	Phil Sadd – Post 1
Council Member	Eric Christ – Post 2 - Absent
Council Member	Alex Wright – Post 3
Council Member	Jeanne Aulbach – Post 4
Council Member	Lorri Christopher – Post 5
Council Member	Weare Gratwick – Post 6
City Manager	Brian Johnson
City Clerk	Kym Chereck
Asst. City Manager	Brandon Branham
City Attorney	Bill Riley
Community Dev. Dir.	Diana Wheeler
Public Works Dir.	Greg Ramsey

MAYOR’S OPENING REMARKS: Mayor Mason informed the public that the ribbon cutting for the Town Center Grand Opening will be held on April 27, 2019, and the Peachtree Corners Festival will be held the second weekend of June 2019.

CONSIDERATION OF MINUTES:

MOTION TO APPROVE THE MINUTES FROM THE MARCH 26, 2019 COUNCIL MEETING.

By: Council Member Christopher

Seconded by: Council Member Gratwick

Vote: (6-0) (Christopher, Gratwick, Mason, Sadd, Wright, Aulbach)

2019-04-23

Council Meeting Minutes

Page 1 of 3

CONSIDERATION OF MEETING AGENDA: There was no change to the meeting agenda.

PUBLIC COMMENT: There was no public comment.

PRESENTATIONS:

PROCLAMATION – ARBOR DAY

Mayor Mason presented a proclamation declaring April 26, 2019 as Arbor Day.

PUBLIC HEARING:

PH2019-002

MRPA Certificate for 4496 Ridgeway Drive

Greg Ramsey, Public Works Director, presented the application for the Metropolitan River Protect Act Certificate for 4496 Ridgeway Drive.

Mayor Mason opened the floor for public comment. There was no public comment.

MOTION TO APPROVE PH2019-002.

By: Council Member Christopher

Seconded by: Council Member Sadd

Vote: (6-0) (Christopher, Sadd, Mason, Wright, Aulbach, Gratwick)

ITEMS FOR CONSIDERATION:

R2019-04-120

Consideration of a Resolution of the City of Peachtree Corners recognizing Georgia Cities Week, April 12-27, 2019 and Encouraging all Citizens to support the celebration and corresponding activities.

MOTION TO APPROVE R2019-04-120.

By: Council Member Gratwick

Seconded: Council Member Christopher

Vote: (6-0) (Gratwick, Christopher, Mason, Sadd, Wright, Aulbach)

R2019-04-121

Consideration of a Resolution of the City of Peachtree Corners consenting to the expansion of Gateway85 Gwinnett Community Improvement District.

MOTION TO APPROVE R2019-04-121.

By: Council Member Christopher

Seconded: Council Member Aulbach

Vote: (6-0) (Christopher, Aulbach, Mason, Sadd, Wright, Gratwick)

CITY MANAGER UPDATES: There were no City Manager updates.

EXECUTIVE SESSION: There was no Executive Session.

ADJOURNMENT:

MOTION TO ADJOURN AT 7:15 PM.

By: Council Member Gratwick

Seconded by: Council Member Sadd

Vote: (6-0) (Gratwick, Sadd, Mason, Wright, Aulbach, Christopher)

Approved,

Attest:

Mike Mason, Mayor

Kymberly Chereck, City Clerk
(Seal)



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Mike Mason, Mayor

Phil Sadd – Post 1, Council Member
Eric Christ – Post 2, Council Member
Alex Wright – Post 3, Council Member

Jeanne Aulbach – Post 4, Council Member
Lorri Christopher – Post 5, Council Member
Weare Gratwick – Post 6, Council Member

May 14, 2019

WORK SESSION MINUTES

7:00 PM

PEACHTREE CORNERS CITY HALL – Boardwalk
310 TECHNOLOGY PARKWAY, PEACHTREE CORNERS, GA 30092

1. Roll Call

Mayor	Mike Mason
Council Member	Phil Sadd – Post 1
Council Member	Eric Christ – Post 2
Council Member	Alex Wright – Post 3
Council Member	Jeanne Aulbach – Post 4
Council Member	Lorri Christopher – Post 5
Council Member	Weare Gratwick – Post 6
City Manager	Brian Johnson
Asst. City Manager	Brandon Branham
City Clerk	Kym Chereck
City Attorney	Bill Riley
Community Dev. Dir.	Diana Wheeler
Public Works Dir.	Greg Ramsey
Plan. & Dev. Mgr.	David Chastant
Economic Dev. Spec.	Jennifer Howard

- 2. FY2020 Budget Presentation** – *Brandon Branham, Assistant City Manager, gave a brief presentation on the FY2020 Budget. This item will move forward as a first read on May 28, 2019 and second read on June 26, 2019.*
- 3. Intergovernmental Agreement for the allocation and distribution of proceeds from the Title Ad Valorem Tax** – *Brandon Branham presented the Intergovernmental Agreement for the Title Ad Valorem Tax. Mr. Branham stated that one of the changes on the proposed Agreement is that the city will now receive 23% of the proceeds instead of 1/3 of the proceeds. This item will move forward to the May 28, 2019 Council meeting.*
- 4. MRPA Certificate PH2019-004 4556 Ridgeway Drive** – *Greg Ramsey, Public Works Director, informed the Mayor and Council that this item is a request for a property located in Riverview Estates subdivision. The property owner is requesting to*

demolish the existing home and rebuild a single family home on a 1-acre lot. After discussion it was determined that this item will move forward to the May 28, 2019 Council meeting.

- 5. Storm Sirens** – *Brian Johnson, City Manager and Greg Ramsey, Public Works Director, gave an overview on storm sirens in the Peachtree Corners area. It was determined that communication would be sent out to the citizens on how to obtain the Gwinnett County Emergency Alert app so the citizens would have the option to receive notification via the County Emergency Services.*
- 6. Video/LPR cameras** - *Brian Johnson, City Manager and Greg Ramsey, Public Works Director, gave an overview on video cameras for the City of Peachtree Corners. One option was a company called Flock. After discussion it was determined that this item would return at the next work session for camera placement.*
- 7. Public Works project updates** – *Greg Ramsey, Public Works Director, gave update on the following two projects: PC 18.10 SR 141 Corridor – Intersection improvements at East Jones Bridge Road and Medlock Bridge Road (this item will be discussed at an upcoming work session meeting), and PTC 19.05 Crooked Creek Trail Concept and Feasibility Study Proposal (this item will move forward to the next Council meeting).*
- 8. Building height regulations** – *After discussion this item was tabled.*
- 9. Town Green Regulations** – *Brian Johnson, City Manager and Diana Wheeler, Community Development Director, presented changes to rules and regulations that for the Town Green. It was determined that the restrictions stating no coolers would be removed and that the running hours for the main fountain would be from 7:00 AM to 11:00 PM. It was suggested that the white fence located in front of the stage be either painted or replaced with something more appealing.*
- 10. City Manager Updates** – *Eric Christ, Council Member, gave an update on the General Municipal Elections. Mr. Christ informed the Mayor and Council that he is in talks with Gwinnett County to see if they would agree to hold the Municipal Elections.*

11. Executive Session –

MOTION TO GO INTO EXECUTIVE SESSION FOR THE PURPOSE OF ONE PERSONNEL ITEM.

By: Council Member Christ

Seconded: Council Member Christopher

Vote: (7-0) (Christ, Christopher, Mason, Sadd, Wright, Aulbach, Gratwick)

MOTION TO COME OUT OF EXECUTIVE SESSION FOR THE PURPOSE OF ONE PERSONNEL ITEM.

By: Council Member Sadd

Seconded: Council Member Christopher

Vote: (7-0) (Sadd, Christopher, Mason, Christ, Wright, Aulbach, Gratwick)

12. Adjournment – *The meeting adjourned at 11:57 PM.*

Approved,

Attest:

Mike Mason, Mayor

Kym Chereck, City Clerk
(Seal)

MRPA

PH2019-004 –

Ridgegate Dr. 4556

**CITY OF PEACHTREE CORNERS
COMMUNITY DEVELOPMENT DEPARTMENT**

**APPLICATION FOR METROPOLITAN RIVER PROTECTION ACT
CERTIFICATE**

CASE NUMBER: PH2019-004

LOCATION: 4556 Ridgegate Drive

PROPOSED DEVELOPMENT: Demo existing Single Family detached residence and build a new home

CONTACT: Matt Ferreira PHONE: 770-271-5772

OWNER: Rob King
4556 Ridgegate Drive
Peachtree Corners, GA

REQUEST SUMMARY:

The property is in the Riverview Estates subdivision and consists of one single family home on a 1-acre lot. The owner wishes to demo the existing home and rebuild a single family detached residence. This property is fully within 2,000 feet of the Chattahoochee River and does not have an existing MRPA Certificate from the Atlanta Regional Commission (ARC). The applicant requests certification of this property in accordance with the Metropolitan River Corridor Protection Act (MRPA).

HISTORY:

In 1973, in response to growing concerns about the Chattahoochee River, the Georgia General Assembly enacted the Metropolitan River Protection Act (Georgia Code 12-5-440 et seq.). It established a 2000-foot corridor along both banks of the Chattahoochee and its impoundments for the 48 miles between Buford Dam and Peachtree Creek.

The act requires the ARC to protect the Chattahoochee River Corridor and to review new development proposals. The act requires local governments along the corridor to implement the ARC plan by issuing permits based on ARC findings, monitoring land-disturbing activity in the corridor and enforcing the act and the plan. Permit submittals for new homes and additions within the Chattahoochee River Corridor must show legal compliance with the plan.

The current owner wishes to demo the existing home and rebuild a single family detached residence. The proposed home would reduce the existing impervious area on the property from the existing 13,600square feet to 11,400square feet.

The MRPA Application and Construction documents for 4556 Ridgegate Drive were submitted to the ARC to conduct a Regional Review Finding on May 2, 2019. The ARC has not completed their regional review as of today.

METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

4556 Ridgeway Drive
RIVERVIEW ESTATES
LOT 9, BLOCK "C", LAND LOT 329

The applicant is requesting formal City approval for their proposed site plan as the plans are being reviewed concurrently by the ARC. If approved by the Mayor & City Council, staff recommends that the Metropolitan River Protection Act Certificate for 4556 Ridgeway Drive be approved with the following conditions:

1. The ARC must find the plans in compliance with MRPA and issue them a MRPA certificate.
2. Applicant shall stake limits of land disturbing activity for City approval prior to issuance of the building permit.
3. Applicant shall provide as-built prior to issuance of certificate of occupancy.

DATE OF CITY COUNCIL HEARING: May 28, 2019

ACTION TAKEN: APPROVED WITH CONDITIONS

DATE OF CERTIFICATE: May 28, 2019

APPROVED:

Mike Mason, Mayor

ATTEST:

(SEAL)
Kym Chereck, City Clerk

Development Plan Submittal Application

Date: _____ Project Number (issued by City Staff): _____
 Development Name: Riverview Estates
 Address: 4556 Ridgeway Drive Building SF/Units: 6178
 Zoning: R-100 Acreage: 1.05 Use: Residential Single-Family Detached
 District/ Section: 6th Land Lot: 329 Parcel: 014

Description of Proposed Project: New septic system installation; demolition of existing home, structures and drive; construction of new home and drive
 Disturbed Acreage: 0.73 New Impervious Area: 22,864

Clearing Grading Residential Subdivision Non-Residential Development Other Demolition

Development Plan Submittal Types		Plan Review Fee	Permit Fee	Fee Paid
Specimen Tree Concept Plan		\$200	N/A	
Residential	SFR MRPA	\$150*	Building Permit Fee	x
	Concept Plan	\$50 + \$15/ lot	N/A	
	Exemption Plat	\$50 + \$15/ lot	\$50/lot	
	Final Plat	\$150 + \$15/ lot	\$10/ lot (Minimum \$500)	
	Subdivision Land Disturbance Permit	\$250 + \$15/ lot	\$20/ lot (Minimum \$500)	
Non-Residential	Concept Plan	\$100	N/A	
	0-1 Disturbed Acre	\$250	\$100/ Disturbed acre (Minimum \$600)	
	1.01-4.99 Disturbed Acres	\$500		
	4.99 -10 Disturbed Acres	\$750		
	More than 10 Disturbed Acres	\$1000		
Additional Land Development Fees				
Additional Plan Review Fee after 3rd & subsequent submittals		\$150		
Land Development Permit Extension		\$150 (One 3-month extension prior to expiration)		
Minor Plan Revision		\$100		
Major Plan Revision / Final Plat Revision		\$250		
Administrative Variance Application				
Single Family Residential		\$250		
Multi-Family		\$350		
Commercial		\$600		

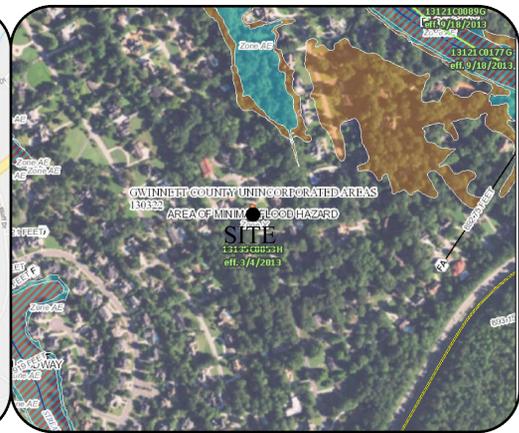
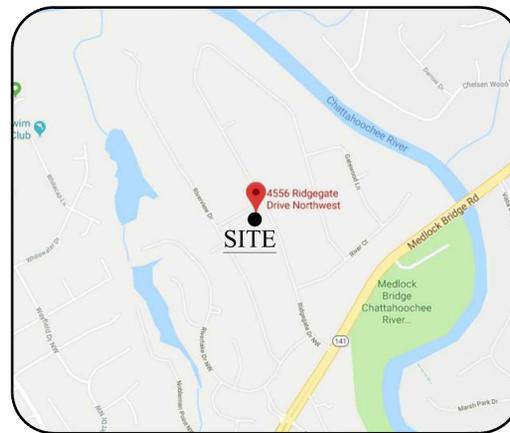
Applicant Information: Check if recipient would like a copy of all comments sent
 Name: Matt Ferreira
 Company: Boundary Zone, Inc. Phone: (770) 271-5772
 Address: 454 Satellite Boulevard NW, Suite 200 Suwanee, GA, 30024
 Email: MFerreira@boundaryzone.com

Engineer Information: Check if recipient would like a copy of all comments sent
 Name: Greg Dean
 Company Name: Boundary Zone, Inc.
 Phone: (770) 271-5772
 Address: 454 Satellite Boulevard NW, Suite 200 Suwanee, GA, 30024
 Email: greg@boundaryzone.com

Owner Information: Check if recipient would like a copy of all comments sent
 Name: Rob King
 Address: 10050 Medlock Bridge Road Duluth, GA, 30097
 Email: rob@crowlineproperties.com

I hereby certify that all information provided herein is true and correct

Property Owner Signature:  Date: 4/18/2019



GENERAL NOTES:

- TOTAL AREA: 1.049 ACRES / 45,728.86 SQUARE FEET
- BOUNDARY REFERENCE: DB 37182, PG 222; PB U, PG 163
- FIELDWORK PERFORMED ON 4/27/2016
- THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 257,857 FEET
- THIS PLAT HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION
- THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 32,948 FEET, AND ANGULAR ERROR OF 10 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE
- FLOOD HAZARD STATEMENT:
THIS IS TO CERTIFY THAT THIS SITE DOES NOT LIE WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE F.I.R.M. MAP OF CITY OF PEACHTREE CORNERS AS SHOWN ON PANEL # 13135C0053H, EFFECTIVE ON 03/04/2013
- PROJECT NARRATIVE:
SITE LOCATION:
4556 RIDGEGATE DRIVE NW,
PEACHTREE CORNERS, GEORGIA 30097

CONSTRUCTION OF A SINGLE FAMILY RESIDENCE
SEE ARCHITECTURAL PLANS FOR MORE DETAIL
- SANITARY SEWER IS PROVIDED BY PUBLIC SEWER SYSTEM
- DRAINAGE STRUCTURES DO NOT EXIST ON THIS PROPERTY
- CREEKS OR DRAINAGE SWALES DO NOT EXIST ON THIS PROPERTY
- NO NEW STORM DRAIN PIPES ARE PROPOSED
- THIS PROPERTY DOES NOT LIE WITHIN THE CHATTAHOOCHEE RIVER CORRIDOR
- THIS PROPERTY IS NOT ON OR WITHIN 200 FEET OF WATERS OF THE STATE

Lot Number	Area	Allowable Disturbed Area					Allowable Impervious Area				
		B Zone	C Zone	D Zone	E Zone	F Zone	B Zone	C Zone	D Zone	E Zone	F Zone
9	45,729		32,010					22,864			
Remaining Total			9,109					13,604			



NO.	DATE	REVISION
1	3/15/19	REVISION PER CLIENT COMMENTS
2	4/15/19	REVISION PER COUNTY
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		

Vicinity Map (NTS)

FIRM Panel Vignette (NTS)

ZONING: R-100

MINIMUM FRONTAGE: 100 FT
MINIMUM LOT AREA: 25,000 SF (SEPTIC)

R-100 SETBACKS
AS PER PLAT

FRONT: 50 FT (COUNTY), 75 FT (COMMUNITY)
SIDE: 25 FT (COUNTY), 20 FT (COMMUNITY)
REAR: 40 FT
BUILDING HEIGHT: 35 FT
MAXIMUM F.A.R.: 1,400 SF
MAXIMUM COVERAGE: N/A
MINIMUM 2 PARKING SPACES PER DWELLING

THE SURVEYOR IN NO WAY INTENDS TO INTERPRET OR MAKE CONCLUSION REGARDING THE ZONING AND SETBACK DESIGNATION SHOWN HEREON. THIS INFORMATION IS REPORTED FROM PUBLIC INFORMATION OBTAINED FROM CITY OR COUNTY PLANNING AND ZONING DEPARTMENTS.

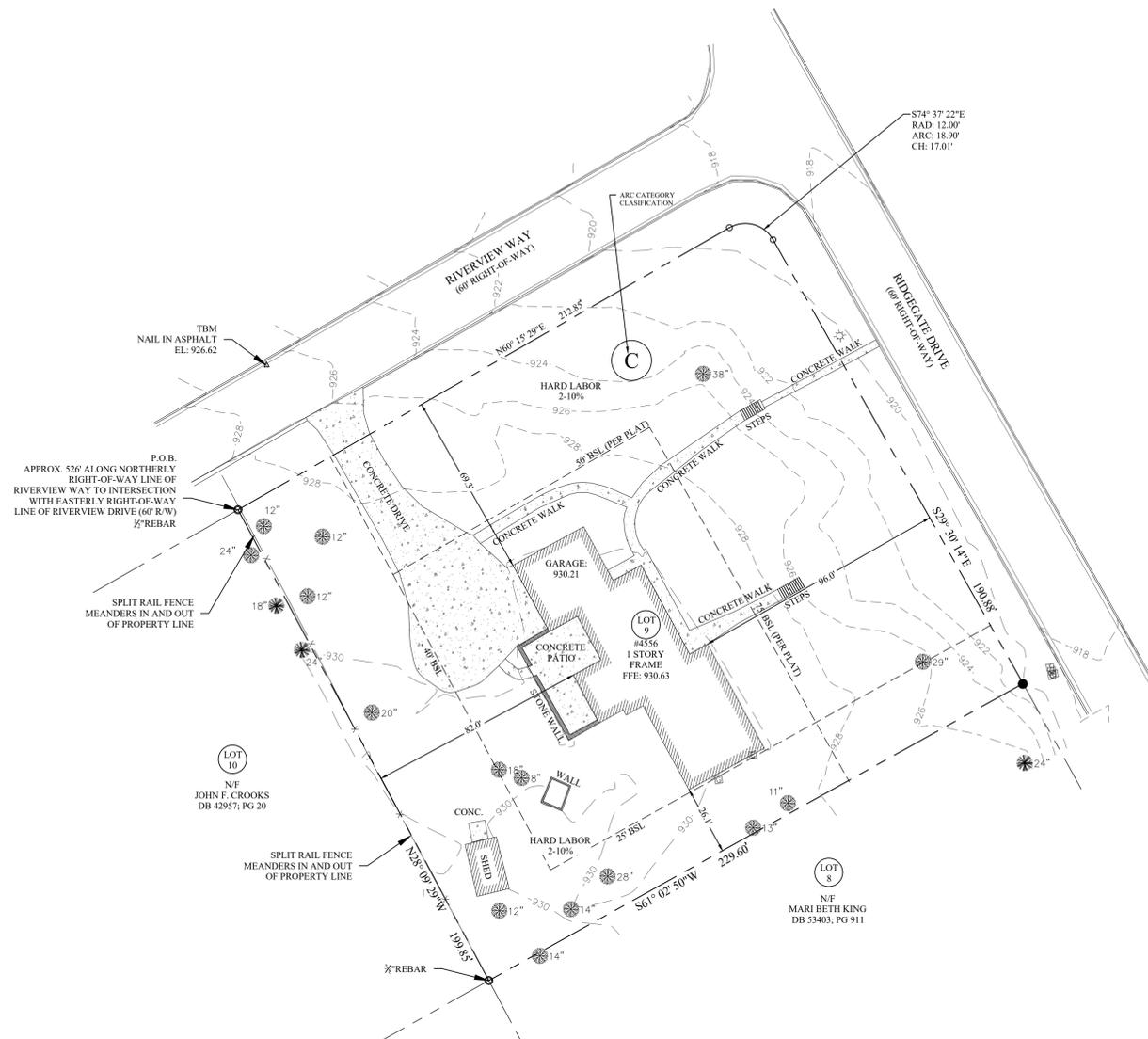
OWNER

ROB KING
CROWLINE HOMES, LLC
10050 MEDLOCK BRIDGE ROAD
DULUTH, GEORGIA 30097

BUILDER / EMERGENCY CONTACT

ROB KING
CROWLINE HOMES, LLC
10050 MEDLOCK BRIDGE ROAD
DULUTH, GEORGIA 30097
678-778-1737

FLOOD HAZARD STATEMENT:
THIS IS TO CERTIFY THAT NO PORTION OF THIS SITE LIES WITHIN A FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD AREA AS SHOWN ON THE F.I.R.M. MAP OF GWINNETT COUNTY, GEORGIA PANEL # 13135C0053H, EFFECTIVE ON 03/04/2013



EXISTING CONDITIONS SURVEY
PREPARED FOR: ROB KING,
LAND LOT 329, 6TH DISTRICT
4556 RIDGEGATE DRIVE NW,
PEACHTREE CORNERS, GEORGIA 30097
DATE: 3/7/2019

THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67.

THE SURVEYOR IN NO WAY INTENDS TO INTERPRET OR MAKE CONCLUSION REGARDING THE ZONING AND SETBACK DESIGNATION SHOWN HEREON. THIS INFORMATION IS REPORTED FROM PUBLIC INFORMATION OBTAINED FROM COUNTY OR CITY PLANNING AND ZONING DEPARTMENTS.



THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.

THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON AND DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT A RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON.

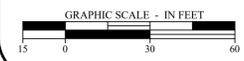
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THIS DRAWING AND ITS REPRODUCTIONS ARE THE PROPERTY OF THE SURVEYOR AND MAY NOT BE REPRODUCED, PUBLISHED OR USED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF THIS SURVEYOR.

TOTAL AREA: 1.049 ACRES / 45,728.86 SQUARE FEET
BOUNDARY REFERENCE: DB 37182, PG 222; PB U, PG 163
FIELDWORK PERFORMED ON 4/27/2016

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 257,857 FEET

THIS PLAT HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION

THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 32,948 FEET, AND ANGULAR ERROR OF 10 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE



LEGEND:

○ PROPERTY CORNER FOUND (AS NOTED)	□ POWER METER	□ TELEPHONE BOX	-HB HAY BALES	CONC. CONCRETE	TP=1069.0 TOP OF FOOTER ELEVATION
● 1/2" REBAR WITH CAP SET LSF# 839	□ POWER BOX	-W- WATER LINE	-FW FLOW WELL LINE	EOP EDGE OF PAVEMENT	SI - SILT FENCE
□ R/W MONUMENT	□ AC UNIT	-U- OVERHEAD UTILITY LINE	NF NOW OR FORMERLY	-99- CONTOUR LINE	→ DRAINAGE ARROW
▲ FIRE HYDRANT	□ LIGHT POLE	-S- SEWER LINE	R/W RIGHT-OF-WAY	F.F.E. FINISH FLOOR ELEVATION	
□ WATER METER	-G- GAS LINE	-G- GAS LINE	BSL BUILDING SETBACK LINE	B.F.E. BASEMENT FLOOR ELEVATION	○ HARDWOOD TREE
□ WATER VALVE	○ MANHOLE	-C- CABLE LINE	CNTL CANTILEVER	G.F.E. GARAGE FLOOR ELEVATION	○ PINE TREE
□ POWER VALVE	□ CLEAN OUT	-T- TELEPHONE LINE	CR.Z. CRITICAL ROOT ZONE	1006.5 GROUND ELEVATION	X TO BE REMOVED
□ GAS METER	-X- FENCE LINE	-S- SILT FENCE	S.R.P. STRUCTURAL ROOT PLATE (TYP.)	103.6.0 SURFACE ELEVATION	
□ GAS VALVE	□ YARD DRAINS	-O- TREE PROTECTION	L.L. LAND LOT	TW=1069.0 TOP OF WALL ELEVATION	
□ SIGN				BW=1069.0 BOTTOM OF WALL ELEVATION	



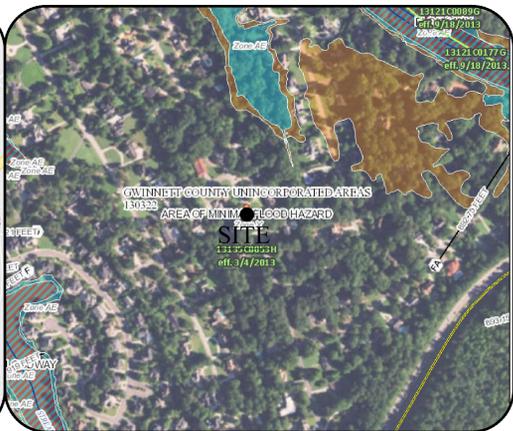
SUWANEE (770) 271-5772
454 SATELLITE BLVD, SUITE 200
SUWANEE, GEORGIA 30024

ATLANTA (404) 446-8180
1100 PEACHTREE ST, SUITE 200
ATLANTA, GEORGIA 30309

KENNESAW (678) 730-4393
975 COBB PLACE BLVD, SUITE 101
KENNESAW, GEORGIA 30144

PROJECT
17168.02

SHEET
1 OF 5



Vicinity Map (NTS)

FIRM Panel Vignette (NTS)

ZONING: R-100

MINIMUM FRONTAGE: 100 FT
MINIMUM LOT AREA: 25,000 SF (SEPTIC)

R-100 SETBACKS AS PER PLAT

FRONT: 50 FT (COUNTY), 75 FT (COMMUNITY)
SIDE: 25 FT (COUNTY), 20 FT (COMMUNITY)
REAR: 40 FT
BUILDING HEIGHT: 35 FT
MAXIMUM F.A.R.: 1.400 SF
MAXIMUM COVERAGE: N/A
MINIMUM 2 PARKING SPACES PER DWELLING

THE SURVEYOR IN NO WAY INTENDS TO INTERPRET OR MAKE CONCLUSION REGARDING THE ZONING AND SETBACK DESIGNATION SHOWN HEREON. THIS INFORMATION IS REPORTED FROM PUBLIC INFORMATION OBTAINED FROM CITY OR COUNTY PLANNING AND ZONING DEPARTMENTS.

OWNER

ROB KING
CROWNLINE HOMES, LLC
10050 MEDLOCK BRIDGE ROAD
DULUTH, GEORGIA 30097

BUILDER / EMERGENCY CONTACT

ROB KING
CROWNLINE HOMES, LLC
10050 MEDLOCK BRIDGE ROAD
DULUTH, GEORGIA 30097
678-778-1737

SITE NOTES:

- ALL CONSTRUCTION AND MATERIALS TO CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF CITY OF PEACHTREE CORNER AND GWINNETT COUNTY.
- CONSTRUCTION EXIT PAD AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH A S.T.M. 044 SIZE #1.
- THIS PLAN WAS PREPARED FOR PERMIT APPROVAL ONLY. ACTUAL CONSTRUCTION SHOULD BE BASED ON FIELD STAKING.
- ALL ELEVATIONS ON SITE NEED TO BE VERIFIED PRIOR TO ANY CONSTRUCTION.
- THIS PLAN WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.
- ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NAVD 1988 DATUM.
- UNDERGROUND UTILITIES ARE SHOWN AS PER PAINT MARKINGS BY OTHERS.
- NO GRADING TO BE CONDUCTED IN THE RIGHT-OF-WAY. NEED QUALIFIED CONTRACTOR PERMIT.
- AT ALL POINTS ALONG THE PUBLIC RIGHT OF WAY WHERE THE EXISTING CURB HEIGHT IS LESS THAN 5 INCHES HIGH, THE EXISTING CURB SHALL BE REMOVED AND REPLACED OR RESET TO MINIMUM CITY OF PEACHTREE CORNER REQUIREMENTS AND THE SIDEWALK REPLACED.
- EXISTING SANITARY SEWER LINE TO REMAIN IN SERVICE. CONTRACTOR TO TAKE REASONABLE MEASURES TO MAINTAIN AND PROTECT EXISTING SANITARY SEWER DURING CONSTRUCTION.
- CONTRACTOR AND OWNER MUST ENSURE UTILITIES ARE DISCONNECTED PRIOR TO ANY DEMOLITION WORK TAKING PLACE.
- DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN STREET, TREE PROTECTION AREA, OR RIGHT OF WAY.
- IRRIGATION SYSTEMS ARE NOT ALLOWED WITHIN THE PUBLIC RIGHT-OF-WAY NOR WITHIN THE STRUCTURAL ROOT PLATE OF EXISTING TREES.

LANDSCAPE NOTES:

- NO HEAVY MACHINERY ALLOWED WITHIN THE C.R.Z.
- DO NOT TRENCH IN THE SILT FENCE WITHIN THE DRIP LINE OF ANY TREES (USE STAKED HAYBALES OR SANDBAGS)
- ANY DEMOLITION OR DEBRIS REMOVAL WITHIN THE CRITICAL ROOT ZONE OF TREES WILL BE DONE BY HAND.
- NO TREES ARE TO BE DESTROYED DURING DEMOLITION. NO CUT OR FILL OF EARTH WITHIN THE CRZ OF AN EXISTING TREE.
- ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
- ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED.
- PROVISIONS FOR TREE PROTECTION ON THE SITE SHALL BE, AS A MINIMUM, IN CONFORMANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE CITY OF PEACHTREE CORNER TREE PRESERVATION ORDINANCE, ZONING ORDINANCE AND ADMINISTRATIVE GUIDELINES PERTAINING TO TREE PROTECTION.
- IF THE LANDSCAPE DESIGN AND PLANT MATERIAL ARE CHANGED FROM THE PERMITTED PLAN, THREE (3) SETS OF REVISED PLANS SHALL BE SUBMITTED TO THE CITY OF PEACHTREE CORNER ARBORISTS' OFFICE FOR APPROVAL, PRIOR TO ANY LANDSCAPE INSTALLATION.
- ALL LANDSCAPING FOR EACH PHASE OF DEVELOPMENT SHALL BE COMPLETED PRIOR TO THE RECORDING OF THE FINAL PLAT FOR THAT PHASE. PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY FOR THAT PHASE, OR PRIOR TO CONNECTION OF PERMANENT POWER FOR THAT PHASE, CONTACT SITE INSPECTION DEPARTMENT UPON COMPLETION OF LANDSCAPE INSTALLATION.
- NO TREES TO BE PLANTED WITHIN ANY EASEMENT.

DISTURBED AREA:
22,901 SQ. FT / 0.526 ACRES

ARBORISTS OFFICE MUST BE NOTIFIED IF ANY NEW UTILITIES LINES ARE TO BE INSTALLED

PRIOR TO LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE AREA EROSION CONTROL INSPECTOR.

CONTACT THE CITY OF SANDY SPRINGS' DEPARTMENT OF COMMUNITY DEVELOPMENT THOROUGH THE PORTAL ONLINE TO ARRANGE A PRE-CONSTRUCTION MEETING WITH THE SITE INSPECTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR LAND DISTURBING ACTIVITY

GENERAL NOTES:

- TOTAL AREA: 1.049 ACRES / 45,728.86 SQUARE FEET
- BOUNDARY REFERENCE: DB 37182, PG 222; PB U, PG 163
- FIELDWORK PERFORMED ON 4/27/2016
- THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 257.857 FEET
- THIS PLAT HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION
- THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 32,948 FEET, AND ANGULAR ERROR OF 10 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE
- FLOOD HAZARD STATEMENT:
THIS IS TO CERTIFY THAT THIS SITE DOES NOT LIE WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE F.I.R.M. MAP OF CITY OF PEACHTREE CORNERS AS SHOWN ON PANEL # 13135C0053H, EFFECTIVE ON 03/04/2013
- PROJECT NARRATIVE:
SITE LOCATION:
4556 RIDGEGATE DRIVE, NW,
PEACHTREE CORNERS, GEORGIA 30097
CONSTRUCTION OF A SINGLE FAMILY RESIDENCE
SEE ARCHITECTURAL PLANS FOR MORE DETAIL
- SANITARY SEWER IS PROVIDED BY PUBLIC SEWER SYSTEM
- DRAINAGE STRUCTURES DO NOT EXIST ON THIS PROPERTY
- CREEKS OR DRAINAGE SWALES DO NOT EXIST ON THIS PROPERTY
- NO NEW STORM DRAIN PIPES ARE PROPOSED
- THIS PROPERTY DOES NOT LIE WITHIN THE CHATTAHOOCHEE RIVER CORRIDOR
- THIS PROPERTY IS NOT ON OR WITHIN 200 FEET OF WATERS OF THE STATE

UTILITIES

CONTRACTOR AND OWNER MUST ENSURE UTILITIES ARE PROTECTED PRIOR TO ANY DEMOLITION WORK TAKING PLACE.

NOTE:

- ANY DEMOLITION WITHIN THE CRITICAL ROOT ZONES TO BE DONE BY HAND/NO HEAVY MACHINERY ALLOWED IN THE C.R.Z. AREAS
- CONTRACTOR AND OWNER MUST ENSURE UTILITIES ARE DISCONNECTED PRIOR TO ANY DEMOLITION WORK TAKING PLACE.
- DO NOT TRENCH IN THE SILT FENCE WITHIN THE DRIP LINE OF ANY TREES (USE HAYBALES). ANY REMOVAL OF DEBRIS WITHIN THE CRITICAL ROOT ZONE OF THE TREES WILL BE DONE BY HAND. NO HEAVY MACHINERY ALLOWED WITHIN THE C.R.Z. WITHIN THE CRZ OF AN EXISTING TREE.
- NO TREES ARE TO BE DESTROYED DURING DEMOLITION. NO CUT OR FILL OF EARTH WITHIN THE CRZ OF AN EXISTING TREE.
- CONTRACTOR SHALL NOT INSTALL ANY NEW UNDERGROUND UTILITY LINES WITHIN THE TREE SAVE AREAS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE CITY ARBORIST.
- ANY TRACKING OF DIRT, SILT, MUD, ETC. ONTO STREET WILL RESULT IN AN IMMEDIATE "STOP WORK" ORDER.
- WHERE EXISTING RUNOFF LEAVES THE SITE IN A SHEET FLOW CONDITION, RUNOFF SHALL LEAVE THE SITE IN A SHEET FLOW CONDITION AFTER DEMOLITION.
- PROVIDE TEST DATA TO INSURE THAT THE SOIL UNDERNEATH ALL WATER QUALITY DEVICES USING INFILTRATION HAS A MINIMUM 0.5 INCHES PER HOUR INFILTRATION RATE.
- BUILDING PERMIT CANNOT BE APPROVED NOR ISSUED UNTIL THE DEMOLITION PERMIT IS APPROVED AND ISSUED.

DEMOLITION LEGEND	
(Cw)	CONSTRUCTION EXIT
(Cw)	CONCRETE WASHDOWN
(D1)	DEMOLISH EXISTING HOUSE
(D2)	REMOVE EXISTING CONC. PATIO & WALLS & SHED
(D3)	REMOVE EXISTING DRIVEWAY & WALK
(SA)	STAGING AREA FOR DUMPSITER, PORTABLE TOILETS, MATERIAL STORAGE AND STOCKPILE AREAS
(Du)	DUST CONTROL AREA AND WASH STATION

Lot Number	Area	Allowable Disturbed Area					Allowable Impervious Area				
		B Zone	C Zone	D Zone	E Zone	F Zone	B Zone	C Zone	D Zone	E Zone	F Zone
9	45,729		32,010				22,864				
9	45,729		22,901				9,260				
Remaining Total			9,109				13,604				

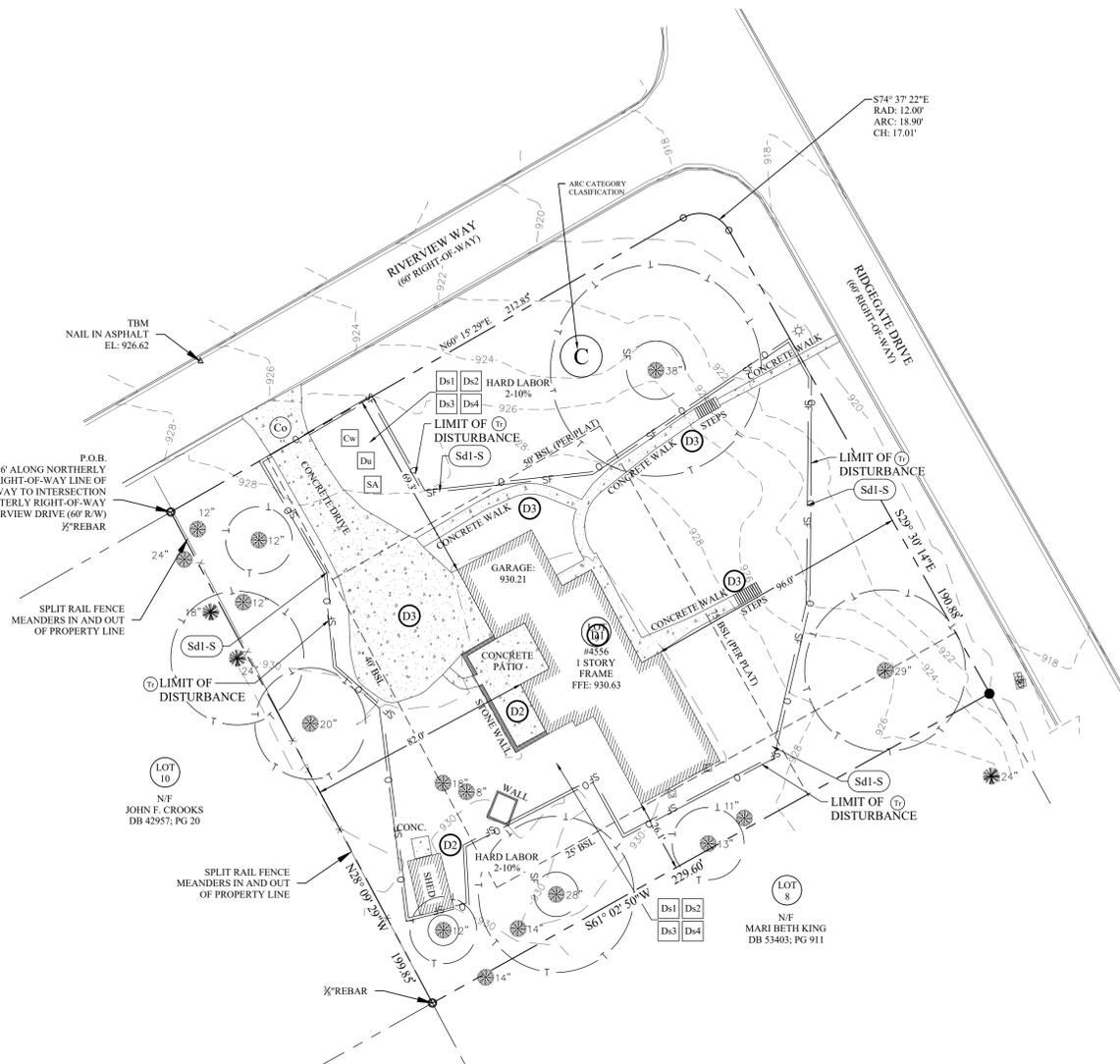
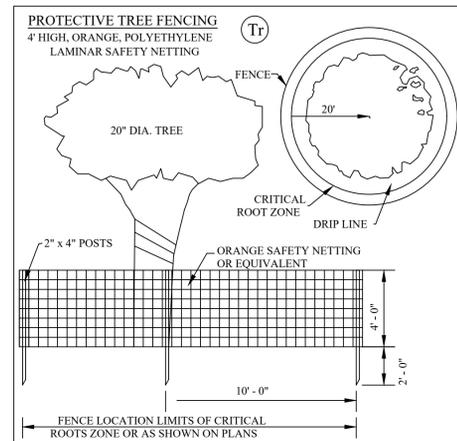
NO TREES ARE TO BE REMOVED DURING DEMOLITION CONSTRUCTION

EROSION & SEDIMENT CONTROL PRACTICES

- DS1** DISTURBED AREA STABILIZATION (WITH MULCH ONLY) ESTABLISH TEMPORARY PROTECTION FOR DISTURBED AREAS WHERE SEEDINGS MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDING COVER.
- DS2** DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING) ESTABLISH A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS.
- DS3** DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION) ESTABLISH PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOD OR LEGUMES ON DISTURBED AREAS.
- DS4** DISTURBED AREA STABILIZATION (WITH CERTIFIED SOD) ESTABLISH PERMANENT VEGETATIVE COVER WITH SOD CUT TO DESIRED SIZE WITHIN ±5% AND PLANTED WITHIN 36 HOURS OF DIGGING. SOD TO BE PLANTED ACCORDING TO COUNTY REQUIREMENTS.

PRE-CONSTRUCTION IMPERVIOUS AREA

AREA	SQ. FT.
LOT AREA	45,729
EXISTING HOUSE	3,640
EXISTING DRIVE & CONC. WALK & PATIO	5,120
EXISTING STOODS & STAIRS	149
EXISTING WALLS	106
EXISTING SHED	245
TOTAL COVERAGE	9,260
	20%



DATE	REVISION	REVISION PER CLIENT COMMENTS
4/15/19	1	
4/15/19	2	
4/15/19	3	
4/15/19	4	
4/15/19	5	
4/15/19	6	
4/15/19	7	
4/15/19	8	
4/15/19	9	
4/15/19	10	
4/15/19	11	
4/15/19	12	

DEMOLITION PLAN
PREPARED FOR: ROB KING,
RIVERVIEW ESTATES SUBDIVISION, UNIT 2,
LAND LOT 329, 6TH DISTRICT
4556 RIDGEGATE DRIVE, NW,
PEACHTREE CORNERS, GEORGIA 30097
DATE: 3/7/2019



"I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION."

GREGORY L. DEAN, LEVEL II DESIGN PROFESSIONAL # 13699

FOR THE FIRM
BOUNDARY ZONE, INC.

THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.
THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON AND DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT A RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON.
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THIS DRAWING AND ITS REPRODUCTIONS ARE THE PROPERTY OF THE SURVEYOR AND MAY NOT BE REPRODUCED, PUBLISHED OR USED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF THIS SURVEYOR.

TOTAL AREA: 1.049 ACRES / 45,728.86 SQUARE FEET
BOUNDARY REFERENCE: DB 37182, PG 222; PB U, PG 163
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THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 32,948 FEET, AND ANGULAR ERROR OF 10 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE

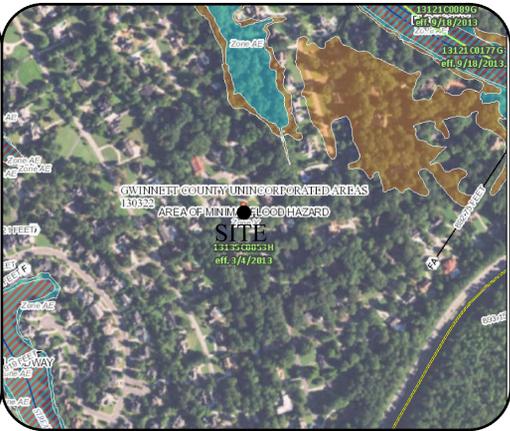
LEGEND:
● PROPERTY CORNER FOUND (AS NOTED)
○ 1/2" REBAR WITH CAP SET LSF# 839
□ R/W MONUMENT
▲ FIRE HYDRANT
○ WATER METER
○ WATER VALVE
○ POWER POLE
○ GAS METER
○ GAS VALVE
○ CABLE BOX
○ TELEPHONE BOX
-W- WATER LINE
-U- UNDERGROUND UTILITY LINE
-S- SEWER LINE
-G- GAS LINE
-C- CABLE LINE
-T- TELEPHONE LINE
-X- FENCE LINE
-SF- SILT FENCE
-O- TREE PROTECTION
-HB HAY BALES
-FW FLOW WELL LINE
-NF NOW OR FORMERLY
-R/W RIGHT-OF-WAY
-BSL BUILDING SETBACK LINE
-CNTL CANTILEVER
-CR.Z. CRITICAL ROOT ZONE
-S.R.P. STRUCTURAL ROOT PLATE (TYP.)
-LL LAND LOT
CONC. CONCRETE
EOP- EDGE OF PAVEMENT
-CL- CONTOUR LINE
-NF- FINISH FLOOR ELEVATION
-B.F.E. BASEMENT FLOOR ELEVATION
-G.F.E. GARAGE FLOOR ELEVATION
1105.0 GROUND ELEVATION
103.60 SURFACE ELEVATION
TW-1069.0 TOP OF WALL ELEVATION
BW-1069.0 BOTTOM OF WALL ELEVATION
TREE LEGEND
○ HARDWOOD TREE
○ PINE TREE
X TO BE REMOVED

TOP OF FOOTER ELEVATION
SILT FENCE
DRAINAGE ARROW
TOP OF WALL ELEVATION
BOTTOM OF WALL ELEVATION



BOUNDARY zone, inc.
LAND SURVEYING SERVICES & LAND PLANNING SERVICES
SURVEYING LANDSCAPE ARCHITECTURE LAND PLANNING
WWW.BOUNDARYZONE.COM (770) 271-5772
SUWANEE (770) 271-5772
454 SATELLITE BLVD, SUITE 200
SUWANEE, GEORGIA 30024
ATLANTA (404) 446-8180
1100 PEACHTREE ST, SUITE 200
ATLANTA, GEORGIA 30309
KENNESAW (678) 390-4933
975 CORB PLACE BLVD, SUITE 101
KENNESAW, GEORGIA 30144

PROJECT
17168.02
SHEET
2 OF 5



Vicinity Map(NTS)

FIRM Panel Vignette (NTS)

ZONING: R-100

MINIMUM FRONTAGE: 100 FT
MINIMUM LOT AREA: 25,000 SF (SEPTIC)

R-100 SETBACKS
AS PER PLAT

FRONT: 50 FT (COUNTY), 75 FT (COMMUNITY)
SIDE: 25 FT (COUNTY), 20 FT (COMMUNITY)
REAR: 40 FT
BUILDING HEIGHT: 35 FT
MAXIMUM F.A.R.: 1.400 SF
MAXIMUM COVERAGE: NA
MINIMUM 2 PARKING SPACES PER DWELLING

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OWNER

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DULUTH, GEORGIA 30097

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678-778-1737

SITE NOTES:

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- AT ALL POINTS ALONG THE PUBLIC RIGHT OF WAY WHERE THE EXISTING CURB HEIGHT IS LESS THAN 5 INCHES HIGH, THE EXISTING CURB SHALL BE REMOVED AND REPLACED OR RESET TO MINIMUM CITY OF PEACHTREE CORNER REQUIREMENTS AND THE SIDEWALK REPLACED.
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LANDSCAPE NOTES:

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- ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
- ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED.
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UTILITIES

CONTRACTOR AND OWNER MUST ENSURE UTILITIES ARE PROTECTED PRIOR TO ANY DEMOLITION WORK TAKING PLACE.

SITE NOTES:

- PRIOR TO LAND DISTURBING CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE SITE DEVELOPMENT INSPECTOR. CALL (678) 512-3284
- ALL CONSTRUCTION AND MATERIALS TO CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF CITY OF SANDY SPRINGS AND FULTON COUNTY.
- CONSTRUCTION EXIT PAD AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH A.S.T.M. 0448 SIZE #1
- NO GRADED SLOPES SHALL EXCEED 2H:1V.
- THIS PLAN WAS PREPARED FOR PERMIT APPROVAL ONLY. ACTUAL CONSTRUCTION SHOULD BE BASED ON FIELD STAKING.
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- ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NAVD 1988 DATUM.
- UNDERGROUND UTILITIES ARE SHOWN AS PER PAINT MARKINGS BY OTHERS.
- DEMOLITION TAKING PLACE INSIDE THE TREE CRITICAL ROOT ZONES TO BE DONE BY HAND.
- NO GRADING TO BE CONDUCTED IN THE RIGHT-OF-WAY, NEED QUALIFIED CONTRACTOR PERMIT.
- LOCATE AND FIELD STAKE ALL UTILITIES, EASEMENTS, PIPES, FLOOD LIMITS, STREAM BUFFERS AND TREE SAVE AREAS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
- A FINAL AS-BUILT LOT SURVEY REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- NO GRADED SLOPES SHALL EXCEED 2H:1V AND SHALL SLOPE AWAY FROM THE BUILDING.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.
- ANY DISTURBED AREA LEFT EXPOSED FOR 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING. DISTURBED AREAS EXPOSED FOR 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN AND REPAIRED AS NECESSARY.
- SILT FENCE SHALL MEET REQUIREMENTS OF SECTION 171 - TYPE S TEMPORARY SILT FENCE, OF THE GEORGIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, 1993 EDITION.
- WORK HOURS AND CONSTRUCTION DELIVERIES ARE:
MONDAY - FRIDAY: 7:00AM - 7:00PM
SATURDAY: 8:00AM - 5:00PM
- ALL AREAS TO RECEIVE STRUCTURAL FILL TO BE CLEARED, STRIPPED AND FREE OF TOPSOIL, ROOTS, STUMPS, AND ALL OTHER DELETERIOUS MATERIAL. STRUCTURAL FILL TO BE CLEAN FROM ORGANICS AND ALL OTHER DELETERIOUS MATERIAL. FILL TO BE PLACED IN MAXIMUM 8" LIFTS AND COMPACTED TO AT LEAST 95% STANDARD PROCTOR MAXIMUM DENSITY AND TO WITHIN 3% OF THE OPTIMUM MOISTURE CONTENT, UNLESS OTHERWISE SPECIFIED IN THE PROJECT GEOTECHNICAL REPORT OR BY THE PROJECT GEOTECHNICAL ENGINEER. ALL FILL SOILS TO BE PLACED UNDER THE OBSERVATION OF THE PROJECT GEOTECHNICAL ENGINEER. DOCUMENTATION OF COMPACTATION TESTING SHALL BE PROVIDED TO LAND DISTURBANCE ACTIVITY INSPECTOR FOR ALL ROADWAY CONSTRUCTION IN RIGHT-OF-WAY (INCLUDING DECLARATION LANE) CONSTRUCTION AND LAND DISTURBANCE ACTIVITY INSPECTOR PRIOR TO CONSTRUCTION FOR FURTHER TESTING REQUIREMENTS.
- FAILURE OF THE CONTRACTOR TO PERFORM THE DESCRIBED EROSION CONTROL PRACTICES SHALL RESULT IN THE IMMEDIATE ISSUANCE OF A STOP-WORK ORDER FOR THE PROJECT SITE, PURSUANT TO UDC 3.1.1.F.2.D.
- MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE THE RESPONSIBILITY OF THE OWNER.
- ALL DISTURBED AREAS MUST BE VEGETATED WITHIN 14 DAYS OF FINAL GRADE.
- ALL FILL SLOPES SHALL HAVE SILT FENCE AT THE TOE OF THE SLOPE.
- TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE, AS CONDITIONS DEMAND. (ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE OR SITE ONTO ROADWAY OR INTO STORM DRAIN SYSTEM MUST BE REMOVED IMMEDIATELY BY SWEEPING.)
- THE OWNER WILL MAINTAIN STORM WATER RUNOFF CONTROLS AT ALL TIMES. ADDITIONAL CONTROLS WILL BE INSTALLED IF DETERMINED NECESSARY BY THE ON-SITE INSPECTION.
- AT LEAST ONE PERSON ON A PROJECT OR SITE MUST HAVE COMPLETED THE LEVEL 1A EROSION EDUCATION & TRAINING COURSE AND BE CERTIFIED BY GSWCC.
- SUBCONTRACTORS MUST COMPLETE EITHER LEVEL 1A EROSION EDUCATION & TRAINING COURSE OR ATTEND SUBCONTRACTOR AWARENESS SEMINAR.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED DAILY, AT LEAST WEEKLY AFTER AND AFTER EACH RAIN, AND REPAIRED BY GENERAL CONTRACTOR AS NECESSARY. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY AFTER ON-SITE INSPECTION BY THE ISSUING AUTHORITY.
- DETAIL DRAWINGS FOR ALL STRUCTURAL PRACTICES, SPECIFICATIONS MUST, AT A MINIMUM, MEET THE STANDARDS SET FORTH IN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
- UNDISTURBED BUFFERS SHALL BE PLANTED TO BUFFER STANDARDS WHERE SPARSELY VEGETATED OR WHERE DISTURBED DUE TO APPROVED UTILITY CROSSINGS. REPLANTING IS SUBJECT TO CITY ARBORIST APPROVAL.

CITY OF PEACHTREE CORNERS DENSITY REQUIREMENTS

1.049 AC x 24 UNIT / AC = 25 UNITS

SITE TREE REPLACEMENT DATA

UNITS REQUIRED	25.00
TOTAL EXISTING UNITS	65.40
REPLACEMENT DENSITY FACTOR	0.00
TOTAL SDF PROVIDED	65.40
DENSITY SURPLUS	40.40

DENSITY FACTOR OF TREES TO REMAIN

EXIST TREES	DBH INCHES	TOTAL INCHES	QTY	TOTAL REMOVED	TOTAL REMAIN	TOTAL IN REMAIN	U/in	TOTAL UNITS
0	6	0	0	0	0	0	0.90	0.00
1	8	8	0	1	8	2.40	2.40	2.40
1	11	11	0	1	11	3.20	3.20	3.20
4	12	48	1	3	36	3.20	9.60	9.60
1	13	13	0	1	13	3.20	3.20	3.20
1	14	14	0	1	14	3.20	3.20	3.20
1	18	18	0	1	18	4.80	4.80	4.80
1	20	20	0	1	20	5.40	5.40	5.40
1	28	28	0	1	28	8.60	8.60	8.60
1	29	29	0	1	29	9.20	9.20	9.20
1	38	38	0	1	38	15.80	15.80	15.80
0	40	0	0	0	0	17.40	0.00	0.00
TOTAL	13	227	1	12	215	-	65.40	

DISTURBED AREA: 22,901 SQ. FT / 0.526 ACRES

ARBORISTS OFFICE MUST BE NOTIFIED IF ANY NEW UTILITIES LINES ARE TO BE INSTALLED

PRIOR TO FINAL ACCEPTANCE, AN AS-BUILT SURVEY WILL BE REQUIRED, SIGNED AND SEALED BY A GEORGIA REGISTERED LAND SURVEYOR

PRIOR TO LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE AREA EROSION CONTROL INSPECTOR.

CONTACT THE CITY OF SANDY SPRINGS' DEPARTMENT OF COMMUNITY DEVELOPMENT THOROUGH THE PORTAL ONLINE TO ARRANGE A PRE-CONSTRUCTION MEETING WITH THE SITE INSPECTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR LAND DISTURBING ACTIVITY

CONSTRUCTION LEGEND

Co	CONSTRUCTION EXIT
Cw	CONCRETE WASHDOWN
C1	CONSTRUCTION OF NEW HOUSE
C2	CONSTRUCTION OF PORCH & COVERED PORCH & WALK
C3	CONSTRUCTION OF DRIVEWAY
SA	STAGING AREA FOR DUMPSTER, PORTABLE TOILETS, MATERIAL STORAGE AND STOCKPILE AREAS
Du	DUST CONTROL AREA AND WASH STATION
TPA	TPA PATH. NO MACHINERY ALLOWED IN THIS AREA. 8'-10" OF MULCH AND 3/4" PLYWOOD. NO CONSTRUCTION ACTIVITY WITHIN THE S.R.P. (STRUCTURAL ROOT PLATE)

EROSION & SEDIMENT CONTROL PRACTICES

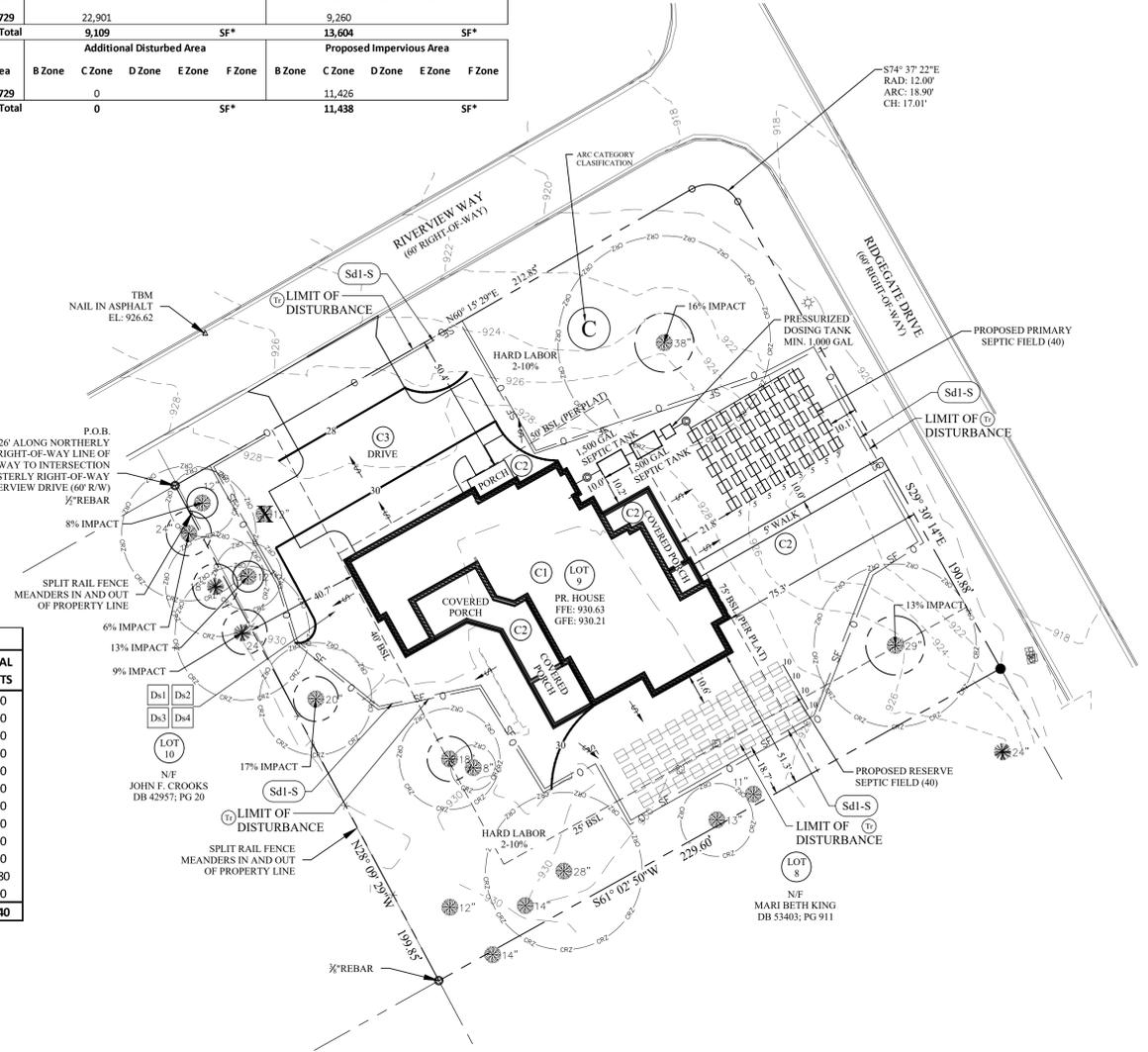
- DS1** DISTURBED AREA STABILIZATION (WITH MULCH ONLY) ESTABLISH TEMPORARY PROTECTION FOR DISTURBED AREAS WHERE SEEDINGS MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDING COVER.
- DS2** DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING) ESTABLISH A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS.
- DS3** DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION) ESTABLISH PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOD OR LEGUMES ON DISTURBED AREAS.
- DS4** DISTURBED AREA STABILIZATION (WITH CERTIFIED SOD) ESTABLISH PERMANENT VEGETATIVE COVER WITH SOD CUT TO DESIRED SIZE WITHIN ±5% AND PLANTED WITHIN 36 HOURS OF DIGGING. SOD TO BE PLANTED ACCORDING TO COUNTY REQUIREMENTS.

PRE-CONSTRUCTION IMPERVIOUS AREA	POST-CONSTRUCTION IMPERVIOUS AREA
AREA	AREA
54,729	45,729
EXISTING HOUSE	PROPOSED HOUSE
3,640	5,835
EXISTING DRIVE & CONC. WALK & PATIO	PROPOSED DRIVE
5,120	3,590
EXISTING STOODS & STAIRS	PROPOSED PORCH & COVERED PORCH
149	1,616
EXISTING WALLS	PROPOSED WALK
245	385
EXISTING SHED	
TOTAL COVERAGE	TOTAL COVERAGE
9,260	11,426
20%	25%

Lot Number	Area	Allowable Disturbed Area					Allowable Impervious Area						
		B Zone	C Zone	D Zone	E Zone	F Zone	B Zone	C Zone	D Zone	E Zone	F Zone		
9	45,729												
Remaining Total	9,109												

Lot Number	Area	Existing Disturbed Area					Existing Impervious Area						
		B Zone	C Zone	D Zone	E Zone	F Zone	B Zone	C Zone	D Zone	E Zone	F Zone		
9	45,729												
Remaining Total	9,109												

Lot Number	Area	Additional Disturbed Area					Proposed Impervious Area						
		B Zone	C Zone	D Zone	E Zone	F Zone	B Zone	C Zone	D Zone	E Zone	F Zone		
9	45,729												
Remaining Total	0												



REVISION PER CLIENT COMMENTS

NO.	DATE	REVISION
1	4/15/19	
2	4/15/19	
3	4/15/19	
4	4/15/19	
5	4/15/19	
6	4/15/19	
7	4/15/19	
8	4/15/19	
9	4/15/19	
10	4/15/19	
11	4/15/19	
12	4/15/19	

SITE PLAN
PREPARED FOR: ROB KING,
RIVERVIEW ESTATES SUBDIVISION, UNIT 2,
LAND LOT 329, 6TH DISTRICT
4556 RIDGEGATE DRIVE NW,
PEACHTREE CORNERS, GEORGIA 30097
DATE: 3/7/2019

"I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION."

GREGORY L. DEAN, LEVEL II DESIGN PROFESSIONAL # 13699



THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.

THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON AND DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT A RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON.

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TOTAL AREA: 1.049 ACRES / 45,728.86 SQUARE FEET

BOUNDARY REFERENCE: DB 37182, PG 222; PB U, PG 163

FIELDWORK PERFORMED ON 4/27/2016

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 257.65 FEET

THIS PLAN HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION

THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 32,948 FEET, AND ANGULAR ERROR OF 10 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE

LEGEND:

- PROPERTY CORNER FOUND (AS NOTED)
- 1/2" REBAR WITH CAP SET LSF# 839
- R/W MONUMENT
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- POWER POLE
- YARD DRAINS
- SIGN
- TELEPHONE BOX
- WATER LINE
- UTILITY LINE
- SEWER LINE
- GAS LINE
- MANHOLE
- CLEAN OUT
- GAS METER
- GAS VALVE
- CABLE
- WATER LINE
- FLOW WELL LINE
- NON OR FORMERLY
- RIGHT-OF-WAY
- B/SW BUILDING SETBACK LINE
- CANTILEVER
- CR.Z. CRITICAL ROOT ZONE
- S.R.P. STRUCTURAL ROOT PLATE (TYP.)
- LAND LOT
- HAY BALES
- FLOW WELL LINE
- NON OR FORMERLY
- RIGHT-OF-WAY
- B/SW BUILDING SETBACK LINE
- CANTILEVER
- CR.Z. CRITICAL ROOT ZONE
- S.R.P. STRUCTURAL ROOT PLATE (TYP.)
- LAND LOT

TREE LEGEND

- TOP OF FOOTER ELEVATION
- EDGE OF PAVEMENT
- COVERED UTILITY LINE
- FINISH FLOOR ELEVATION
- BASEMENT FLOOR ELEVATION
- GARAGE FLOOR ELEVATION
- GROUND ELEVATION
- SURFACE ELEVATION
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- HARDWOOD TREE
- PINE TREE
- TO BE REMOVED



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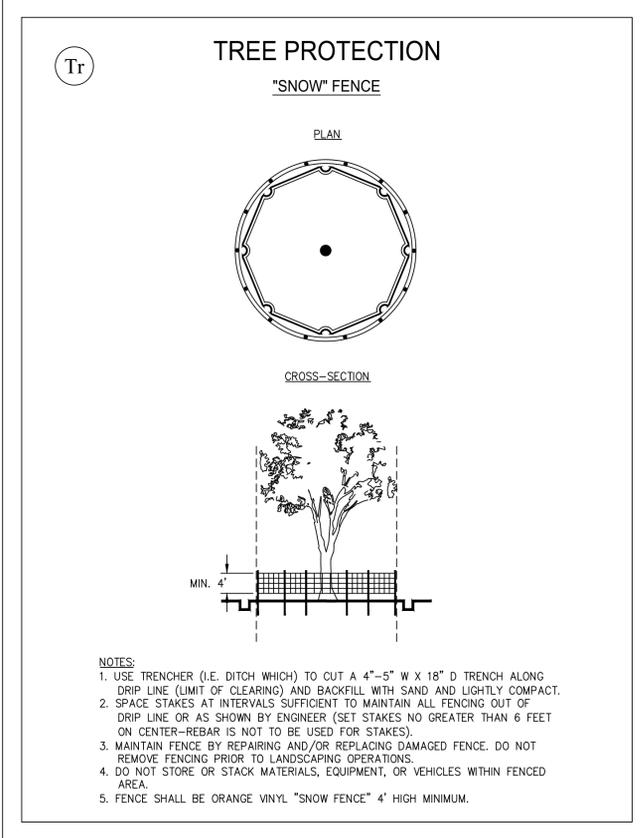
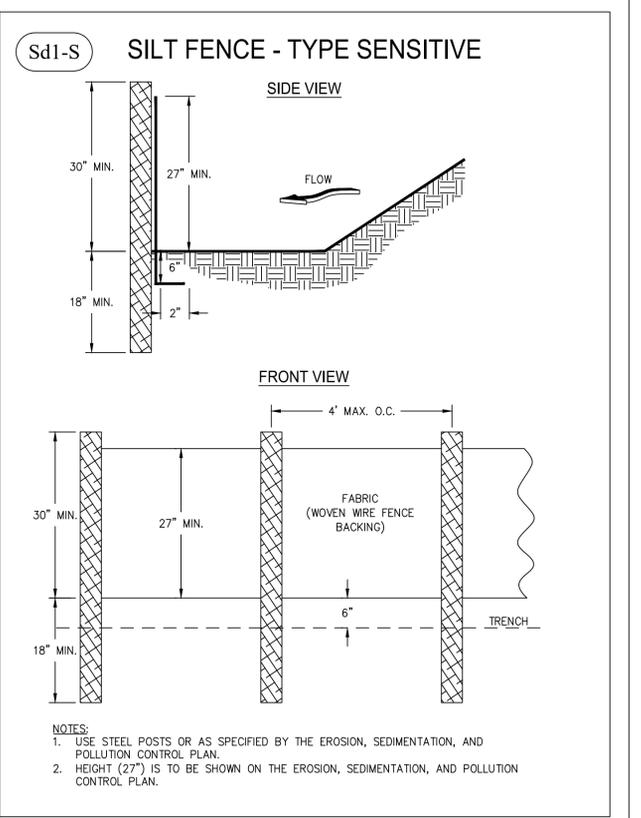
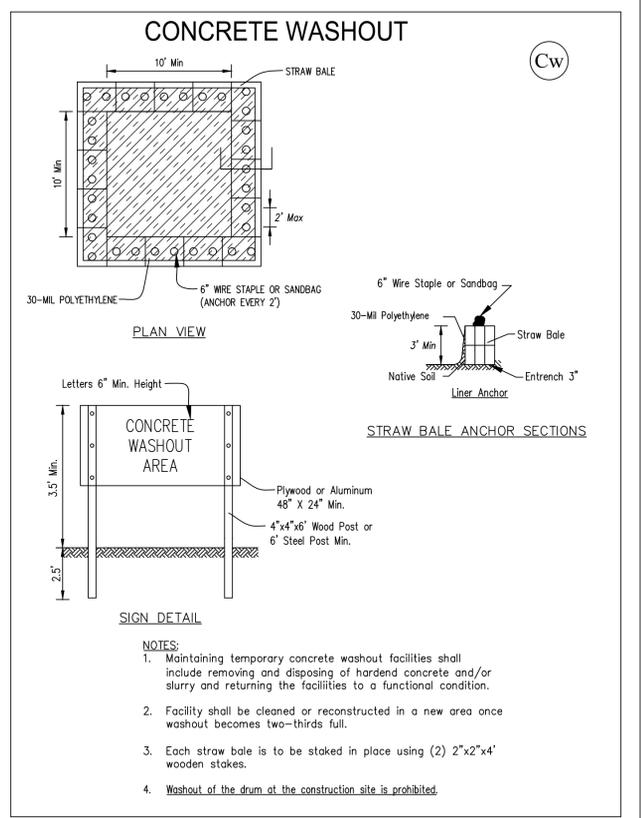
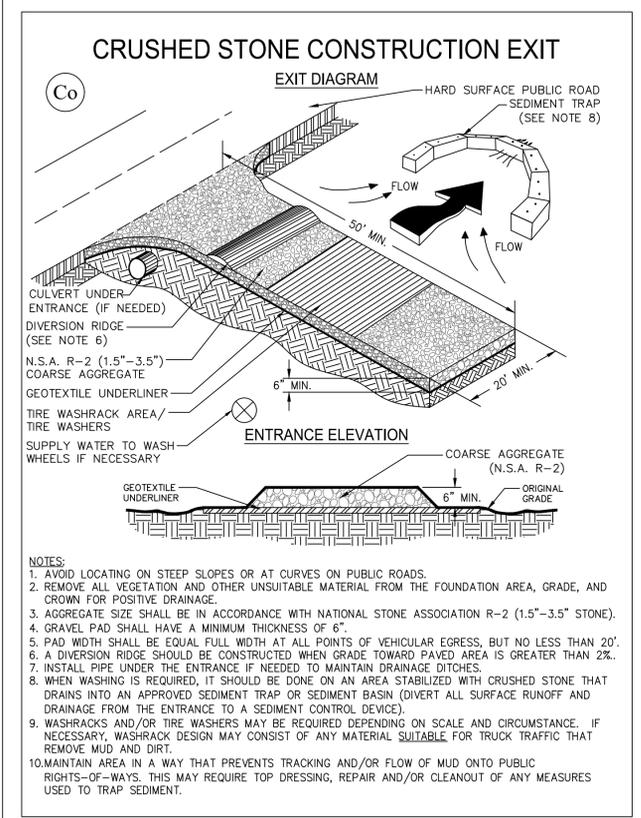
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KENNESAW (678) 390-4933
975 CORB PLACE BLVD, SUITE 101
KENNESAW, GEORGIA 30144

PROJECT
17168.02

SHEET
3 OF 5



GRASSING SCHEDULE

(HYDROSEEDING RATES)

SPECIES	RATE/1000S.F.	DATES	LIME	N	FERTILIZER (LBS./ACRE) P205	K20
KY 31	1-1/2 - 2 LBS.	9/1-11/1	1 TON/ACRE	60-90	120-180	120-180
FESCUE	1-1/2 - 2 LBS.	9/1-11/1	1 TON/ACRE	60-90	120-180	120-180
WINTER RYE		3/1-4/1				
*WEEPING LOVEGRASS	2-3 LBS.	3/1-6/5	1 TON/ACRE	60-90	120-180	120-180

*APPLY (1) ONE TON OF AGRICULTURAL LIME EVERY 4-6 YEARS OR AS BY INDICATED BY SOIL TEST.

*HYDROSEED ON ALL 2:1 SLOPES.

NOTE: TEMPORARY STABILIZATION (MULCHING ONLY) WHEN SEEDING WILL NOT HAVE A SUITABLE GROWING MAY BE ACCOMPLISHED WITH: STRAW OR HAY - 2-1/2 TONS/ACRE. WOOD WASTE, BARK, SAWDUST - 2-3" DEEP (APPROX. 6-9 TONS/ACRE).

ACTIVITY SCHEDULE

NO. OF MONTHS	0	2	4	6	8	10	12	14
HOUSE CONSTRUCTION								
CLEAR AND GRUB								
ROUGH GRADING								
FINISH GRADING								
UTILITIES								
PAVING								
GRASSING/CLEAN UP								
EROSION CONTROL MEASURES								

NO.	REVISION	DATE
1	REVISION PER CLIENT COMMENTS	3-11-19
2		4-15-19
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		

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LEGEND:

- PROPERTY CORNER FOUND (AS NOTED)
- 1/2" REBAR WITH CAP SET LSF# 839
- R/W MONUMENT
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- POWER POLE
- YARD DRAINS
- SIGN
- POWER METER
- POWER BOX
- AC UNIT
- LIGHT POLE
- GUY WIRE
- MANHOLE
- CLEAN OUT
- GAS METER
- GAS VALVE
- CABLE BOX
- TELEPHONE BOX
- WATER LINE
- OVERHEAD UTILITY LINE
- SEWER LINE
- GAS LINE
- CABLE LINE
- TELEPHONE LINE
- FENCE LINE
- SILT FENCE
- TREE PROTECTION
- HAY BALES
- FLOW WELL LINE
- NOW OR FORMERLY
- RIGHT-OF-WAY
- BSL BUILDING SETBACK LINE
- CANTILEVER
- CRITICAL ROOT ZONE
- STRUCTURAL ROOT PLATE (TYP.)
- LAND LOT
- CONC. CONCRETE
- EDGE OF PAVEMENT
- CONTOUR LINE
- FINISH FLOOR ELEVATION
- BASEMENT FLOOR ELEVATION
- GARAGE FLOOR ELEVATION
- GROUND ELEVATION
- SURFACE ELEVATION
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- TOP OF FOOTER ELEVATION
- SILT FENCE
- DRAINAGE ARROW

TREE LEGEND

- HARDWOOD TREE
- PINE TREE
- TO BE REMOVED

TP-1069.0 TOP OF FOOTER ELEVATION
SF - SILT FENCE
DRAINAGE ARROW

811 Know what's below. Call before you dig.

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PROJECT
17168.02

SHEET
4 OF 5

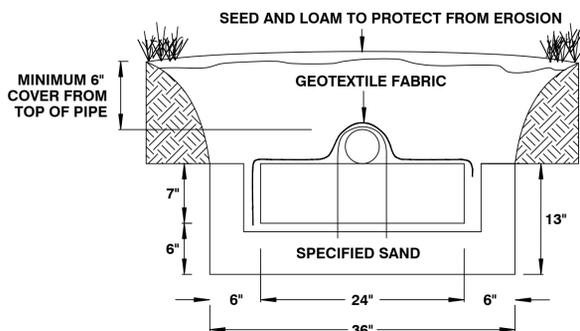
DETAILS

PREPARED FOR: ROB KING,
LOT 9, BLOCK C, RIVERVIEW ESTATES SUBDIVISION, UNIT 2,
LAND LOT 329, 6TH DISTRICT
4556 RIDGEGATE DRIVE NW,
PEACHTREE CORNERS, GEORGIA 30097
DATE: 3/7/2019

NOTES:

- THIS SYSTEM (IS/IS NOT) DESIGNED FOR THE USE OF A GARBAGE DISPOSAL.
- THIS SYSTEM IS NOT DESIGNED FOR BACKWASH FROM A WATER SOFTENER.
- ORGANIC LOAM LAYER MUST BE REMOVED FROM THE ABSORPTION AREA AND SLOPE EXTENSION AREAS PRIOR TO FILL PLACEMENT. SCARIFY SUBSOIL PRIOR TO FILL PLACEMENT.
- FILL MATERIAL SHALL MEET OR EXCEED THE ELJEN GSF DESIGN & INSTALLATION MANUAL REQUIREMENTS. ALL FILL MATERIAL SHALL BE CLEAN SAND, FREE OF TOPSOIL, DIRECTLY BENEATH THE STA.
- THE 6 INCHES UNDER AND AROUND THE GSF MODULES SHALL BE WASHED CONCRETE SAND MEETING THE REQUIREMENTS OF ASTM C33 WITH LESS THAN 10% PASSING A #100 SIEVE AND LESS THAN 5% PASSING A #200 SIEVE.
- BACKFILL AND FINISH GRADING: CAREFULLY PLACE BACKFILL OVER THE MODULES, A MINIMUM OF 6 INCHES OF WELL GRADED SANDY FILL, CLEAN, POROUS, AND DEVOID OF ROCKS, AS MEASURED FROM THE TOP OF THE DISTRIBUTION PIPE. FINISH GRADE MUST DIVERT SURFACE RUNOFF FROM THE STA AND PREVENT SURFACE PONDING. PROTECT THE SYSTEM AREA FROM EROSION BY LOAMING AND SEEDING OR BY USING OTHER APPROVED METHODS OF EROSION CONTROL.
- THIS DESIGN COMPLIES WITH AND MUST BE INSTALLED IN ACCORDANCE WITH THE MOST CURRENT ELJEN DESIGN AND INSTALLATION MANUAL.

TYPICAL A42 GSF CROSS SECTION



A42 MODULE (L X W X H) 48" X 24" X 7"

ALL SYSTEMS ARE REQUIRED TO HAVE A MINIMUM OF:

- 6 INCHES OF SPECIFIED SAND AT THE EDGES OF THE GSF MODULE.
- 6 INCHES OF SPECIFIED SAND AT THE BEGINNING AND END OF EACH GSF TRENCH.
- 6 INCHES OF SPECIFIED SAND DIRECTLY BELOW THE GSF MODULE.
- 6 - 12 INCHES OF NATIVE SOIL FILL OVER THE PIPE.

SPECIFIED SAND SIEVE REQUIREMENTS

ASTM C33 SAND SPECIFICATION		
SIEVE SIZE	SIEVE SQUARE OPENING SIZE	SPECIFICATION PERCENT PASSING (WET SIEVE)
3/8 INCH	9.52 mm	100
No. 4	4.76 mm	95 - 100
No. 8	2.38 mm	80 - 100
No. 30	590 µm	25 - 60
No. 50	297 µm	5 - 30
No. 100	149 µm	0 - 10
No. 200	75 µm	0 - 5

SPECIFIED SAND
TO ENSURE PROPER SYSTEM OPERATION, THE SYSTEM MUST BE INSTALLED USING ASTM C33 SAND WITH LESS THAN 10% PASSING A #100 SIEVE AND LESS THAN 5% PASSING A #200 SIEVE. LISTED BELOW IS A CHART OUTLINING THE SIEVE REQUIREMENTS FOR THE SPECIFIED SAND. ASK YOUR MATERIAL SUPPLIER FOR A SIEVE ANALYSIS TO VERIFY THAT YOUR MATERIAL MEETS THE REQUIRED SPECIFICATIONS.

TABLE 3: RESIDENTIAL 3 & 4 FOOT TRENCH APPLICATION RATE CHART WITH 2 FOOT SEPARATION TO LIMITING CONDITION

Soil Type	Perc Rate (min/in)	Application Rate (GPD/Ft²)	GSF A42 Modules / Bedroom				
			2	3	4	5	Add
Group I	5	2,400	21	21	28	35	7
	10	1,818	21	21	28	35	7
	15	1,579	21	21	28	35	7
	20	1,429	21	21	28	35	7
	25	1,304	21	21	28	35	7
Group II	30	1,200	21	21	28	35	7
	35	1,132	21	21	28	35	7
	40	1,071	21	21	28	35	7
	45	1,000	21	21	28	35	7
	50	0,968	21	21	28	35	7
Group III	55	0,923	21	21	28	35	7
	60	0,896	21	24	32	40	8
	65	0,725	21	24	32	40	8
	70	0,704	21	27	36	45	9
	75	0,685	21	27	36	45	9
Group IV	80	0,676	21	27	36	45	9
	85	0,667	21	30	40	50	10
	90	0,658	21	30	40	50	10
	95	0,649	21	30	40	50	10
	100	0,641	21	30	40	50	10
105	0,633	21	30	40	50	10	
110	0,625	21	30	40	50	10	
115	0,617	21	30	40	50	10	
120	0,610	21	30	40	50	10	

4556 Ridgeway Drive Reanalysis
City of Peachtree Corners

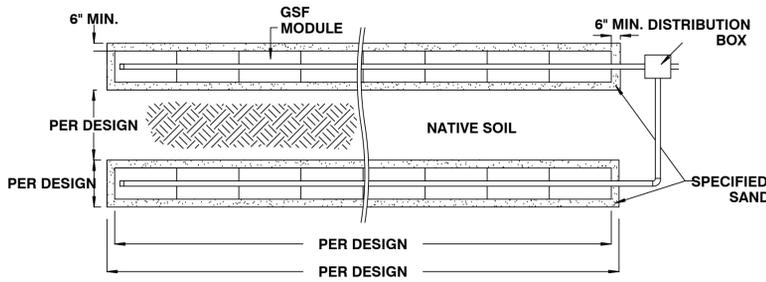
June 9, 2016

Vulnerability Factor	Factor Subgroup	Score
Hydrology:	Interbasin	20
	Biotite-Gneiss	5
Geology	North	6
Vegetation	Barren (Under Construction)	2
Soils:	Moderate Erodibility	12
Slope:	0-10%	3
TOTAL:		48
CATEGORY:		C

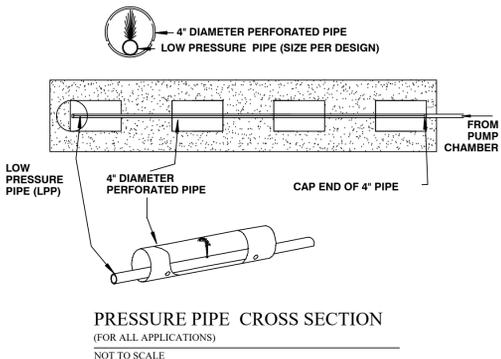
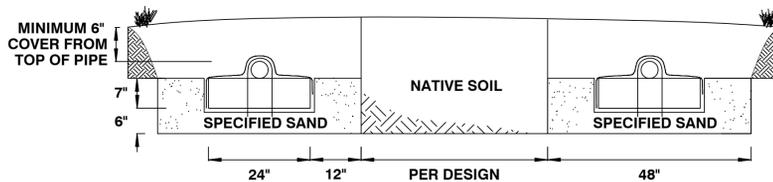
The C category includes scores from 38 to 49

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PLAN VIEW - 600 GPD - TRENCH SYSTEM - LEVEL SITE



SECTION VIEW - 600 GPD - TRENCH SYSTEM - LEVEL SITE



DOSING DESIGN CRITERIA: DOSING VOLUME MUST BE SET TO DELIVER A MAXIMUM OF 3.5 GALLONS PER A42 MODULE PER DOSING CYCLE WITH LOW HEAD HIGH VOLUME PUMPS PREFERRED. HIGHER FLOW RATES AND A SHORT DOSE CYCLE PUSH THE EFFLUENT DOWN THE LINE AND THUS DISPERSE THE EFFLUENT OVER A LARGER AREA. A VALVE ON THE FORCE MAIN IS RECOMMENDED TO SET THE FLOW RATE SO THAT THE ORIFICES ON THE OUTLET PIPES ARE SUBMERGED AND THE D-BOX DOES NOT OVERFLOW. ADJUSTMENT OF THE FLOW RATE IS LIKELY NEEDED IF A ROW OF MODULES ARE RESTED THIS CHANGING THE NUMBER OR OUTLETS. FEWER OUTLETS IN THE D-BOX FORCE MORE EFFLUENT DOWN EACH LINE AND IMPROVE LINEAR LOADING. HEAD LOSS AND DRAIN BACK VOLUME MUST BE CONSIDERED IN CHOOSING THE PUMP SIZE AND FORCE MAIN DIAMETER.

USE THESE CALCULATIONS FOR THE RESERVE SYSTEM

MAIN SEPTIC GSF SYSTEM:

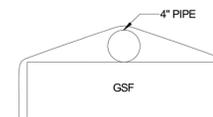
	MAIN SEPTIC GSF SYSTEM:	#	Desc
	-Eljen unit= 4'1 x 2' w-		
(a)	HOUSE SIZE	5	BEDROOMS
(b)	SOIL PERMEABILITY MIN/IN	65	MIN/IN
	SEPARATION DISTANCE TO LIMITING LAYER - 2 FT		
	TRENCH WIDTH - 4 FT		
(c)	DESIGN FLOW - 150 GPD X (a) BEDROOMS =	750	GPD
	AS PER APPENDIX A AND APPLICATION RATE.		
(d)	MINIMUM NUMBER OF UNITS REQUIRED -	40	A42 MODULES
(e)	APPLICATION RATE	0.725	GPD/SF
(f)	NUMBER OF TRENCHES	8	
	MINIMUM BOTTOM AREA FOR THE TRENCH.		
(g)	DESIGN FLOW ÷ APPLICATION RATE = (c) GPD ÷ (e) GPD/SQ.FT.	1035	SF
(h)	TRENCH WIDTH:	4	FT
	TRENCH LENGTH:		
(i)	MINIMUM BOTTOM AREA (g) ÷ TRENCH WIDTH (h) ÷ NUMBER OF TRENCHES (f)	33	LF
	NUMBER OF MODULES PER ROW:		
(j)	(d) MODULES ÷ (f) ROWS	5	Mod/Row
	SPACING OF A42S INSIDE THE TRENCH=		
(k)	(i) - 5 FT (6" SAND AT EACH END OF TRENCH + 1 unit) ÷ ((j) - 1)	7.00	LF
(l)	EDGE TO EDGE SPACING = CENTER TO CENTER SPACING(k) - 4	3.00	FT
(m)	AREA= TRENCH BOTTOM AREA (WIDTH (h) x LENGTH (i)) x #TRENCHES (f)	1056	SF

13.0 Instructions for Proper Installation of Cover Fabric

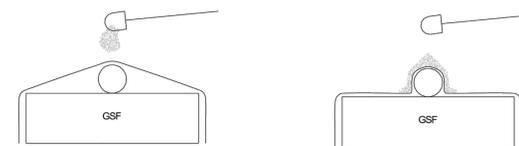
13.1 COVER FABRIC: Geotextile cover fabric is provided by Eljen Corporation for all GSF systems. It is placed over the top and the sides of the module rows to prevent long term siltation and failure. Cover fabric substitution is not allowed.

13.2 COVER FABRIC INSTALLATION TRENCH/BED IN A UNIFORM ROW: Installation is similar for both Trenches and Beds.

Roll the Eljen supplied cover fabric along the length of the module row, leaving a few inches of extra material before the first module and after the last module. Center the fabric over the GSF Modules.



Place small shovelfuls of Specified sand on top of the pipe and along the length of the trench. The sand will overflow naturally and place the GSF fabric correctly around the pipe. The fabric should be almost vertical on the sides of the pipe. Ensure you do not tuck the fabric underneath the pipe.

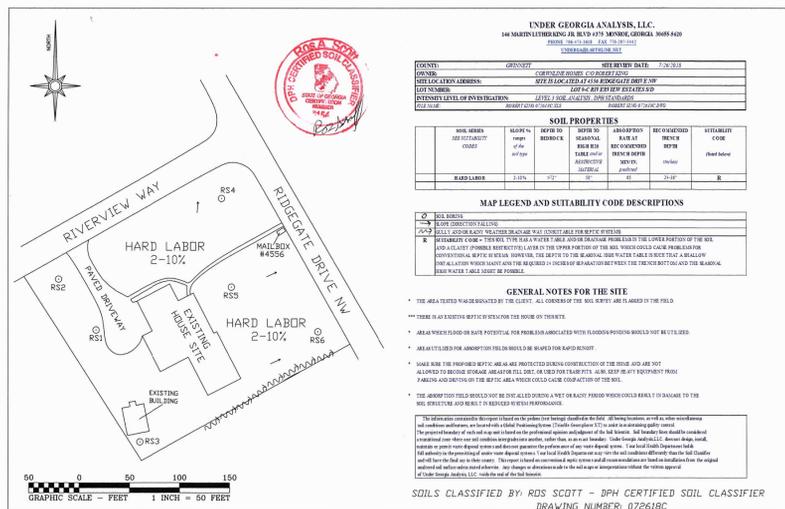


Fill in sides around GSF module. This will hold the fabric in place and will be ready for inspection.



"I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION."

GREGORY L. DEAN, LEVEL II DESIGN PROFESSIONAL # 13699



UNDER GEORGIA ANALYSIS, LLC.
164 SHILOH LUTHERING DR. RD. #175 MONROE, GEORGIA 30684-5400
PHONE: 770-233-1100 FAX: 770-233-1101
UNDERGROUND: 404-381-1100

NO.	REVISION	DATE	BY	DESCRIPTION
1	ISSUED FOR PERMIT	4/15/19	GLD	

PROPERTY INFORMATION

PROPERTY ADDRESS	OWNER	DATE
4556 RIDGEWAY DRIVE	ELJEN CORPORATION	7/26/2016

SOIL PROPERTIES

NO.	REVISION	DATE	BY	DESCRIPTION
1	ISSUED FOR PERMIT	4/15/19	GLD	

MAP LEGEND AND SUITABILITY CODE DESCRIPTIONS

GENERAL NOTES FOR THE SITE

1. THE AREA TYPED IN THIS REPORT IS THE PROPERTY OF THE CLIENT. ALL INFORMATION IS BASED ON THE FIELD SURVEY AND THE RECORDS OF THE FIELD SURVEYOR.

2. THERE IS AN EXISTING BENCH MARK AT THE CORNER OF THE PROPERTY.

3. ALL UTILITIES SHOWN ARE BASED ON THE RECORDS OF THE FIELD SURVEYOR AND THE RECORDS OF THE FIELD SURVEYOR.

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166. THE PROPERTY IS NOT TO BE USED



ATLANTA REGIONAL COMMISSION

REGIONAL REVIEW NOTIFICATION

Atlanta Regional Commission • 229 Peachtree Street NE | Suite 100 | Atlanta, Georgia 30303 • ph: 404.463.3100 fax: 404.463.3205 • atlantaregional.org

DATE: MAY 9, 2019

ARC REVIEW CODE: V1905091

TO: Mayor Mike Mason, City of Peachtree Corners
ATTN TO: Katherine Francesconi, City of Peachtree Corners, Community Development
FROM: Douglas R. Hooker, Executive Director, ARC

Digital signature
Original on file

The Atlanta Regional Commission (ARC) has received the following proposal and is initiating a regional review to seek comments from potentially impacted jurisdictions and agencies. The ARC requests your comments related to the proposal not addressed by the Commission's regional plans and policies.

Name of Proposal: RC-19-03PC 4556 Ridgegate Drive
Review Type: Metro River
MRPA Code: RC-19-03PC

Description: An application for a Metropolitan River Protection Act (MRPA) Certificate for the demolition of an existing and the construction of a new single-family home.

Preliminary Finding: ARC staff has begun the review of the application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's preliminary finding is that the proposed project is consistent with the Chattahoochee Corridor Plan.

Submitting Local Government: City of Peachtree Corners
Land Lot: 329 **District:** 6 **Section:**
Date Opened: May 9, 2019
Deadline for Comments: May 19, 2019
Earliest the Regional Review can be Completed: May 20, 2019

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES ARE RECEIVING NOTICE OF THIS REVIEW:

ARC COMMUNITY DEVELOPMENT
CHATTAHOOCHEE RIVERKEEPER
GWINNETT COUNTY

ARC NATURAL RESOURCES
GEORGIA CONSERVANCY
FULTON COUNTY

GEORGIA DEPARTMENT OF NATURAL RESOURCES
NATIONAL PARK SERVICE/CRNRA
CITY OF JOHNS CREEK

If you have any questions regarding this review, please contact Robert Herrig at Rherrig@atlantaregional.org or (470) 378-1636. If ARC staff does not receive comments from you on or before May 19, 2019, we will assume that your agency has no additional comments and will close the review. Comments by email are strongly encouraged. **The ARC review website is located at:** <http://www.atlantaregional.org/land-use/planreviews>.

Attached is information concerning this review.

**APPLICATION FOR
METROPOLITAN RIVER PROTECTION ACT CERTIFICATE**

1. **Name of Local Government:** The City of Peachtree Corners
2. **Owner(s) of Record of Property to be Reviewed:**
Name(s): Rob King
Mailing Address: 10050 Medlock Bridge Road
City: Duluth State: GA Zip: 30097
Contact Phone Numbers (w/Area Code):
Daytime Phone: (678) 778-1737 Fax: _____
Other Numbers: _____
3. **Applicant(s) or Applicant's Agent(s):**
Name(s): Boundary Zone, Inc - Matt Ferreira
Mailing Address: 454 Satellite Boulevard NW, Suite 200
City: Suwanee State: GA Zip: 30024
Contact Phone Numbers (w/Area Code):
Daytime Phone: (770) 271-5772 Fax: (770) 271-5753
Other Numbers: _____
4. **Proposed Land or Water Use:**
Name of Development: Riverview Estates
Description of Proposed Use: Single Family Residence
5. **Property Description (Attach Legal Description and Vicinity Map):**
Land Lot(s), District, Section, County: Land Lot 329, 6th District, Gwinnett County
Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection: _____
Riverview Estates, Lot 09, Block C, 4556 Ridgegate Drive, 0 ft to int. of Riverview Way & Ridgegate Drive
Size of Development (Use as Applicable):
Acres: Inside Corridor: 1.05 Acres
Outside Corridor: 0.00 Acres
Total: 1.05 Acres
Lots: Inside Corridor: 1
Outside Corridor: 0
Total: 1
Units: Inside Corridor: 1
Outside Corridor: 0
Total: 1
Other Size Descriptor (i.e., Length and Width of Easement):
Inside Corridor: n/a
Outside Corridor: n/a
Total: n/a

6. Related Chattahoochee Corridor Development:

A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? No

If "yes", describe the additional land and any development plans: N/a

B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? No

If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s): N/a

7. How Will Sewage from this Development be Treated?

A. Septic tank Eljen GSF System

Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

B. Public sewer system

8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land Disturb. (Maximums Shown In Parentheses)	Percent Imperv. Surf. (Maximums Shown In Parentheses)
A	<u></u>	<u></u>	<u></u>	(90)	(75)
B	<u></u>	<u></u>	<u></u>	(80)	(60)
C	<u>45,728.86 sf</u>	<u>32,010 sf</u>	<u>22,864 sf</u>	(70) 70%	(45) 45%
D	<u></u>	<u></u>	<u></u>	(50)	(30)
E	<u></u>	<u></u>	<u></u>	(30)	(15)
F	<u></u>	<u></u>	<u></u>	(10)	(2)
Total:	<u>45728.86 sf</u>	<u>32,010 sf</u>	<u>22,864 sf</u>	N/A	N/A

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? No
 If "yes", indicate the 100-year floodplain elevation: _____
NOTE: The 100-year river floodplain is defined as the natural land surface below the one hundred- (100) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.
NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.
10. Is any of this land within the 500-year floodplain of the Chattahoochee River? No
 If "yes", indicate the 500-year flood plain elevation: _____
NOTE: The 500-year floodplain is defined as the natural land surface below the five hundred- (500) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.
NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).
11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

FOR ALL APPLICATIONS:

- Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).
- Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)
- Written consent of all owners to this application. (Space provided on this form)
- Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)
- Description of proposed use(s). (Space provided on this form)
- Existing vegetation plan.
- Proposed grading plan.
- Certified as-builts of all existing land disturbance and impervious surfaces.
- Approved erosion control plan.
- Detailed table of land-disturbing activities. (Both on this form and on the plans)

Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of-way; 100- and 500-year river floodplains; vulnerability category boundaries; topography; any other information that will clarify the review.

Documentation on adjustments, if any.

Cashier's check or money order (for application fee).

FOR SINGLE-STEP APPLICATIONS (NON-SUBDIVISION):

Site plan.

Land-disturbance plan.

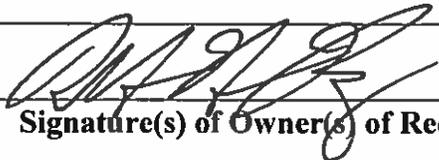
FOR TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY:

Concept plan.

Lot-by-lot and non-lot allocation tables.

12. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary)

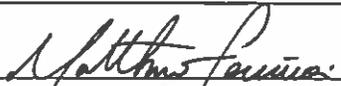
Rob King


Signature(s) of Owner(s) of Record

4/18/2019
Date

13. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:

Boundary Zone, Inc. - Matt Ferreira


Signature(s) of Applicant(s) or Agent(s)

04/22/19
Date

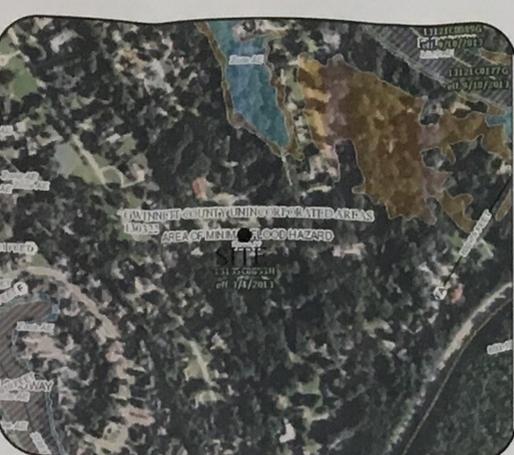
14. The governing authority of _____ The City of Peachtree Corners _____ requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.

Signature of Chief Elected Official or Official's Designee

Date



Vicinity Map (NTS)



FIRM Panel Vignette (NTS)

GENERAL NOTES:

- TOTAL AREA: 1.049 ACRES / 45,728.86 SQUARE FEET
- BOUNDARY REFERENCE: DB 37182, PG 222, PB U, PG 163
- FIELDWORK PERFORMED ON 4/27/2016
- THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 257,857 FEET
- THIS PLAT HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION
- THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 32,948 FEET, AND ANGULAR ERROR OF 10 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE
- FLOOD HAZARD STATEMENT: THIS IS TO CERTIFY THAT THIS SITE DOES NOT LIE WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE F.I.R.M. MAP OF CITY OF PEACHTREE CORNERS AS SHOWN ON PANEL # 13135C0053H, EFFECTIVE ON 03/04/2013
- PROJECT NARRATIVE:
 - SITE LOCATION: 4556 RIDGEGATE DRIVE NW, PEACHTREE CORNERS, GEORGIA 30097
 - CONSTRUCTION OF A SINGLE FAMILY RESIDENCE
 - SEE ARCHITECTURAL PLANS FOR MORE DETAIL
- SANITARY SEWER IS PROVIDED BY PUBLIC SEWER SYSTEM
- DRAINAGE STRUCTURES DO NOT EXIST ON THIS PROPERTY
- CREEKS OR DRAINAGE SWALES DO NOT EXIST ON THIS PROPERTY
- NO NEW STORM DRAIN PIPES ARE PROPOSED
- THIS PROPERTY DOES NOT LIE WITHIN THE CHATTAHOOCHEE RIVER CORRIDOR
- THIS PROPERTY IS NOT ON OR WITHIN 200 FEET OF WATERS OF THE STATE

Lot Number	Area	Allowable Disturbed Area					Allowable Impervious Area				
		B Zone	C Zone	D Zone	E Zone	F Zone	B Zone	C Zone	D Zone	E Zone	F Zone
9	45,729		32,010					22,864			

Lot Number	Area	Existing Disturbed Area					Existing Impervious Area				
		B Zone	C Zone	D Zone	E Zone	F Zone	B Zone	C Zone	D Zone	E Zone	F Zone
9	45,729		22,901					9,260			
Remaining Total			9,109					13,604			

Before re-survey 5/18/16

ZONING: R-100

MINIMUM FRONTAGE: 100 FT
 MINIMUM LOT AREA: 25,000 SF (SEPTIC)

R-100 SETBACKS AS PER PLAT

FRONT: 50 FT (COUNTY), 75 FT (COMMUNITY)
 SIDE: 25 FT (COUNTY), 20 FT (COMMUNITY)
 REAR: 40 FT
 BUILDING HEIGHT: 35 FT
 MAXIMUM F.A.R.: 1,400 SF
 MAXIMUM COVERAGE: N/A
 MINIMUM 2 PARKING SPACES PER DWELLING

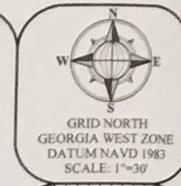
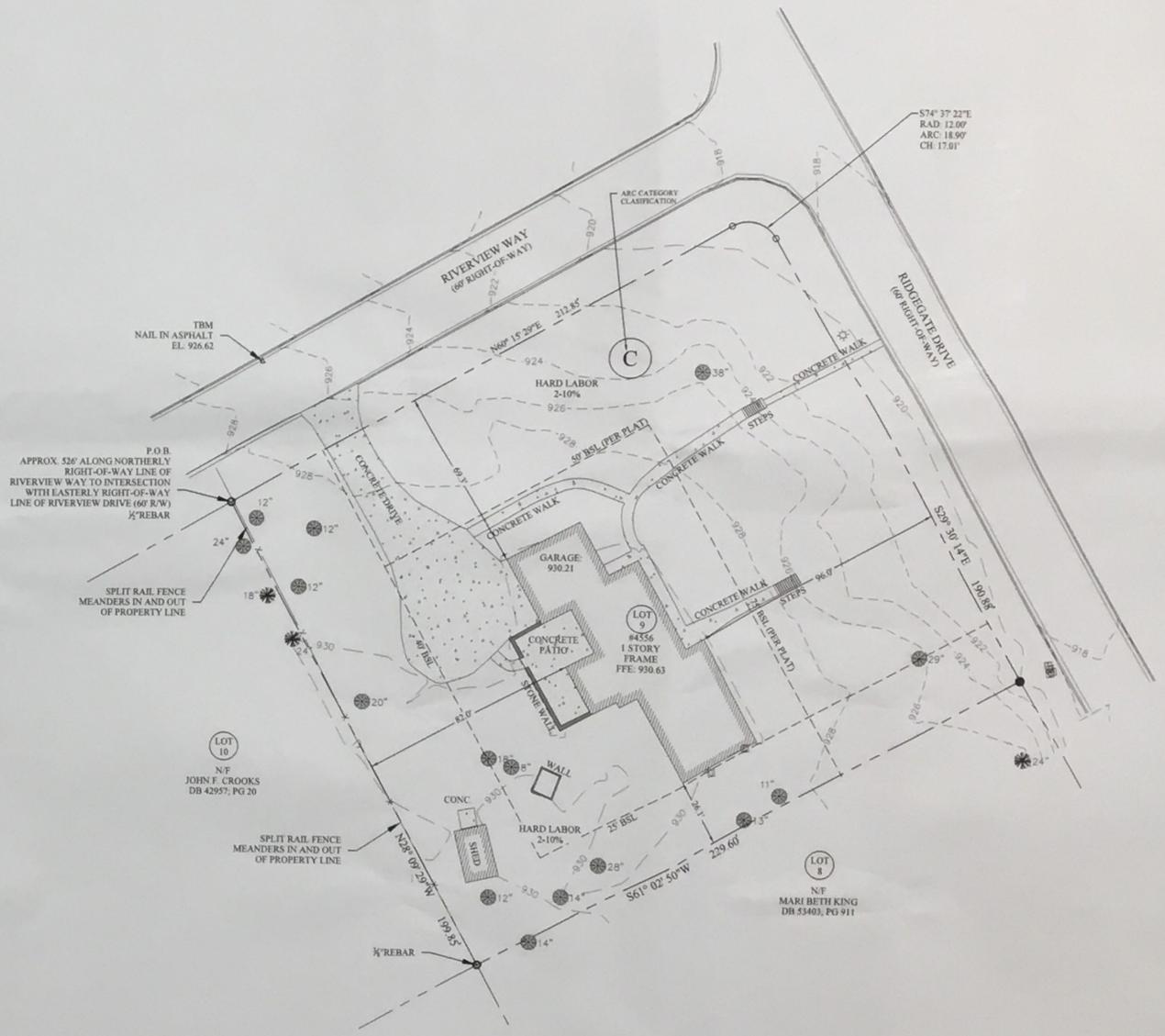
THE SURVEYOR IN NO WAY INTENDS TO INTERPRET OR MAKE CONCLUSION REGARDING THE ZONING AND SETBACK DESIGNATION SHOWN HEREON. THIS INFORMATION IS REPORTED FROM PUBLIC INFORMATION OBTAINED FROM CITY OR COUNTY PLANNING AND ZONING DEPARTMENTS.

OWNER

ROB KING
 CROWNLINE HOMES, LLC
 10050 MEDLOCK BRIDGE ROAD
 DULUTH, GEORGIA 30097

BUILDER / EMERGENCY CONTACT

ROB KING
 CROWNLINE HOMES, LLC
 10050 MEDLOCK BRIDGE ROAD
 DULUTH, GEORGIA 30097
 678-778-1737



NO.	REVISION	DATE
1	REVISION FOR CLIENT COMMENTS	4/15/16
2	REVISION FOR COUNTY	4/15/16

EXISTING CONDITIONS SURVEY
 PREPARED FOR: ROB KING,
 RIVERVIEW ESTATES SUBDIVISION, UNIT 2,
 LAND LOT 329, 6TH DISTRICT
 4556 RIDGEGATE DRIVE NW
 PEACHTREE CORNERS, GEORGIA 30097
 DATE: 3/7/2019

THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT, EASEMENTS, AND ENCUMBRANCES WHICH BENEFIT AND BURDEN THIS PROPERTY.

THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON PERSONS OR ENTITY NAMED HEREON AND DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT A RESCRIPTION BY THE SURVEYOR NAMING SAID PERSON.

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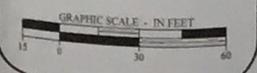
TOTAL AREA: 1.049 ACRES / 45,728.86 SQUARE FEET

BOUNDARY REFERENCE: DB 37182, PG 222, PB U, PG 163
 FIELDWORK PERFORMED ON 4/27/2016

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 257,857 FEET

THIS PLAT HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION

THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 32,948 FEET, AND ANGULAR ERROR OF 10 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE.



LEGEND:

- PROPERTY CORNER FOUND (AS NOTED)
- 1/2\"/>
- R/W MONUMENT
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- POWER POLE
- YARD DRAINS
- SSGN
- POWER METER
- POWER BOX
- A/C UNIT
- QUY WIRE
- MANHOLE
- CLEAN OUT
- GAS METER
- GAS VALVE
- CABLE BOX
- TELEPHONE BOX
- WATER LINE
- OVERHEAD UTILITY LINE
- SEWER LINE
- GAS LINE
- CABLE LINE
- TELEPHONE LINE
- N-FENCE LINE
- SILT FENCE
- TREE PROTECTION
- HAY BALES
- FLOW WELL LINE
- NOW OR FORMERLY
- R/W RIGHT-OF-WAY
- BUILDING SETBACK LINE
- CANTILEVER
- C.R.Z. CRITICAL ROOT ZONE
- S.R.P. STRUCTURAL ROOT PLATE
- LL. LAND LOT
- TOP OF FOOTER ELEVATION
- EDGE OF PAVEMENT
- CONTOUR LINE
- FINISH FLOOR ELEVATION
- BASEMENT FLOOR ELEVATION
- GARAGE FLOOR ELEVATION
- GROUND ELEVATION
- SURFACE ELEVATION
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- HARDWOOD TREE
- PINE TREE
- TO BE REMOVED



BOUNDARY zone, inc. LAND SURVEYING SERVICES & LAND PLANNING SERVICES

SURVEYING LANDSCAPE ARCHITECTURE LAND PLANNING
 WWW.BOUNDARYZONE.COM (770) 271-5772

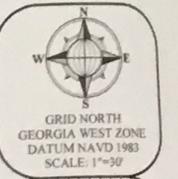
SUWANEE (770) 271-5772
 434 SATELLITE BLVD, SUITE 200
 SUWANEE, GEORGIA 30024

ATLANTA (404) 444-8180
 1100 PEACHTREE ST, SUITE 300
 ATLANTA, GEORGIA 30359

KENNESAW (478) 735-4393
 975 CORN PLACE BLVD, SUITE 101
 KENNESAW, GEORGIA 30144



PROJECT 17168.02
 SHEET 1 OF 5



REVISION TABLE with columns for DATE, REVISION, and COMMENTS. Includes a scale bar from 0 to 10 feet.

DEMOLITION PLAN
PREPARED FOR: ROB KING,
PREPARED BY: BOUNDARY ZONE, INC.
LAND LOT 329, 6TH DISTRICT
4556 RIDGEGATE DRIVE NW,
PEACHTREE CORNERS, GEORGIA 30097
DATE: 3/7/2019

FOR THE FIRM BOUNDARY ZONE, INC.
GREGORY L. DEAN, LEVEL II DESIGN PROFESSIONAL # 13699
4/15/19

PROJECT 17168.02
SHEET 2 OF 5
SEWANEZ (770) 271-5772
434 SATELLITE BLVD, SUITE 200
ATLANTA, GEORGIA 30304
ATLANTA (404) 446-8180
1100 PEACHTREE ST, SUITE 200
ATLANTA, GEORGIA 30309
KENNESAW (878) 720-4303
975 CORB PLACE BLVD, SUITE 101
KENNESAW, GEORGIA 30144

EROSION & SEDIMENT CONTROL PRACTICES

- DS1 DISTURBED AREA STABILIZATION (WITH MULCH ONLY) ESTABLISH TEMPORARY PROTECTION FOR DISTURBED AREAS WHERE SEEDINGS MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDING COVER.
DS2 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING) ESTABLISH A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS.
DS3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION) ESTABLISH PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOD OR LEGUMES ON DISTURBED AREAS.
DS4 DISTURBED AREA STABILIZATION (WITH CERTIFIED SOD) ESTABLISH PERMANENT VEGETATIVE COVER WITH SOD CUT TO DESIRED SIZE WITHIN +/-5% AND PLANTED WITHIN 36 HOURS OF DIGGING. SOD TO BE PLANTED ACCORDING TO COUNTY REQUIREMENTS.

PRE-CONSTRUCTION IMPERVIOUS AREA table with columns for AREA, LOT AREA, EXISTING HOUSE, EXISTING DRIVE & CONC. WALK & PATIO, EXISTING STOOPS & STAIRS, EXISTING WALLS, EXISTING SHED, TOTAL COVERAGE.

DEMOLITION LEGEND

- Co CONSTRUCTION EXIT
Cw CONCRETE WASHDOWN
D1 DEMOLISH EXISTING HOUSE
D2 REMOVE EXISTING CONC. PATIO & WALLS & SHED
D3 REMOVE EXISTING DRIVEWAY & WALK
SA STAGING AREA FOR DUMPSTER, PORTABLE TOILETS, MATERIAL STORAGE AND STOCKPILE AREAS
Da DUST CONTROL AREA AND WASH STATION

Table with columns for Lot Number, Area, Allowable Disturbed Area (B Zone, C Zone, D Zone, E Zone, F Zone), Allowable Impervious Area (B Zone, C Zone, D Zone, E Zone, F Zone), Existing Disturbed Area, Existing Impervious Area, Remaining Total.

NO TREES ARE TO BE REMOVED DURING DEMOLITION CONSTRUCTION

GENERAL NOTES:

- 1. TOTAL AREA: 1.049 ACRES / 45,728.86 SQUARE FEET
2. BOUNDARY REFERENCE: DB 37182, PG 222, PB U, PG 143
3. FIELDWORK PERFORMED ON 4/27/2016
4. THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 257,857 FEET
5. THIS PLAT HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION
6. THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 32,948 FEET, AND AN ANGULAR ERROR OF 10 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE
7. FLOOD HAZARD STATEMENT
THIS IS TO CERTIFY THAT THIS SITE DOES NOT LIE WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE F.I.R.M. MAP OF CITY OF PEACHTREE CORNERS AS SHOWN ON PANEL # 13135C0053H, EFFECTIVE ON 03/04/2013
8. PROJECT NARRATIVE:
SITE LOCATION: 4556 RIDGEGATE DRIVE NW, PEACHTREE CORNERS, GEORGIA 30097
CONSTRUCTION OF A SINGLE FAMILY RESIDENCE
SEE ARCHITECTURAL PLANS FOR MORE DETAIL
9. SANITARY SEWER IS PROVIDED BY PUBLIC SEWER SYSTEM
10. DRAINAGE STRUCTURES DO NOT EXIST ON THIS PROPERTY
11. CREEKS OR DRAINAGE SWALES DO NOT EXIST ON THIS PROPERTY
12. NO NEW STORM DRAIN TIES ARE PROPOSED
13. THIS PROPERTY DOES NOT LIE WITHIN THE CHATTAHOOCHEE RIVER CORRIDOR
14. THIS PROPERTY IS NOT ON OR WITHIN 200 FEET OF WATERS OF THE STATE

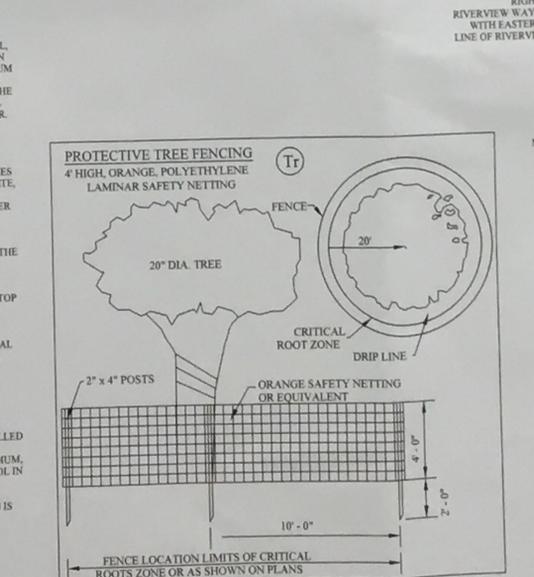
UTILITIES

CONTRACTOR AND OWNER MUST ENSURE UTILITIES ARE PROTECTED PRIOR TO ANY DEMOLITION WORK TAKING PLACE.

NOTE:

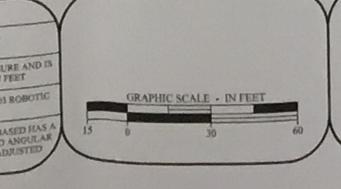
- 1. ANY DEMOLITION WITHIN THE CRITICAL ROOT ZONES TO BE DONE BY HAND NO HEAVY MACHINERY ALLOWED IN THE CRZ. AREAS.
2. CONTRACTOR AND OWNER MUST ENSURE UTILITIES ARE DISCONNECTED PRIOR TO ANY DEMOLITION WORK TAKING PLACE.
3. DO NOT TRENCH IN THE SILT FENCE WITHIN THE DRIP LINE OF ANY TREES (USE HAYBALES). ANY REMOVAL OF DEBRIS WITHIN THE CRITICAL ROOT ZONE OF THE TREES WILL BE DONE BY HAND NO HEAVY MACHINERY ALLOWED WITHIN THE CRZ.
4. NO TREES ARE TO BE DESTROYED DURING DEMOLITION. NO CUT OR FILL OF EARTH WITHIN THE CRZ OF AN EXISTING TREE.
5. CONTRACTOR SHALL NOT INSTALL ANY NEW UNDERGROUND UTILITY LINES WITHIN THE TREE SAVE AREAS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE CITY ARBORIST.
6. ANY TRACKING OF DIRT, SILT, MUD, ETC. ONTO STREET WILL RESULT IN AN IMMEDIATE "STOP WORK" ORDER.
7. WHERE EXISTING RUNOFF LEAVES THE SITE IN A SHEET FLOW CONDITION, RUNOFF SHALL LEAVE THE SITE IN A SHEET FLOW CONDITION AFTER DEVELOPMENT.
8. PROVIDE TEST DATA TO INSURE THAT THE SOIL UNDERNEATH ALL WATER QUALITY DEVICES USING INFILTRATION HAS A MINIMUM 0.5 INCHES PER HOUR INFILTRATION RATE.
9. BUILDING PERMIT CANNOT BE APPROVED NOR ISSUED UNTIL THE DEMOLITION PERMIT IS APPROVED AND ISSUED.

PROTECTIVE TREE FENCING



ARRBORIST'S OFFICE MUST BE NOTIFIED IF ANY NEW UTILITY LINES ARE TO BE INSTALLED
USE EXISTING WATER, SEWER AND GAS CONNECTIONS
PRIOR TO LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE AREA EROSION CONTROL INSPECTOR.

CONTACT THE CITY OF SANDY SPRINGS' DEPARTMENT OF COMMUNITY DEVELOPMENT THROUGH THE PORTAL ONLINE TO ARRANGE A PRE-CONSTRUCTION MEETING WITH THE SITE INSPECTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR LAND DISTURBING ACTIVITY



- LEGEND: PROPERTY CORNER, FOUND (AS NOTED), 1/2" REBAR WITH CAP, SET LSH #9, 1/4" W/ MOVEMENT, FIRE HYDRANT, WATER METER, WATER VALVE, POWER POLE, YARD BRANS, SIGN, TELEPHONE BOX, WATER LINE, OVERHEAD UTILITY LINE, SEWER LINE, CABLE LINE, TELEPHONE LINE, FENCE LINE, SILT FENCE, TREE PROTECTION, HAY BALES, FLOW WELL LINE, NOW OR FORMERLY, RIGHT-OF-WAY, BUILDING SETBACK LINE, CRITICAL ROOT ZONE, STRUCTURAL ROOT PLATE, LAND LOT, CONC. CONCRETE, TOP EDGE OF PAVEMENT, CONTOUR LINE, FINISH FLOOR ELEVATION, BASEMENT FLOOR ELEVATION, GARAGE FLOOR ELEVATION, SURFACE ELEVATION, TOP OF WALL ELEVATION, BOTTOM OF WALL ELEVATION, HARDWOOD TREE, PINE TREE, TO BE REMOVED, 811, Know what's below. Call before you dig.



Vicinity Map (NTS)

FIRM Panel Vignette (NTS)

ZONING: R-100

MINIMUM FRONTAGE: 100 FT
MINIMUM LOT AREA: 25,000 SF (SEPTIC)
R-100 SETBACKS AS PER PLAT
FRONT: 50 FT (COUNTY), 75 FT (COMMUNITY)
SIDE: 25 FT (COUNTY), 20 FT (COMMUNITY)
REAR: 40 FT
BUILDING HEIGHT: 35 FT
MAXIMUM A.R.: 1,400 SF
MAXIMUM COVERAGE: N/A
MINIMUM 2 PARKING SPACES PER DWELLING
THE SURVEYOR IN NO WAY INTENDS TO INTERPRET OR MAKE CONCLUSION REGARDING THE ZONING AND SETBACK DESIGNATION SHOWN HEREON. THIS INFORMATION IS REPORTED FROM PUBLIC INFORMATION OBTAINED FROM CITY OR COUNTY PLANNING AND ZONING DEPARTMENTS.

OWNER

ROB KING
CROWNLINER HOMES, LLC
10050 MEDLOCK BRIDGE ROAD
DULUTH, GEORGIA 30097

BUILDER/ EMERGENCY CONTACT

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10050 MEDLOCK BRIDGE ROAD
DULUTH, GEORGIA 30097
678-778-1737

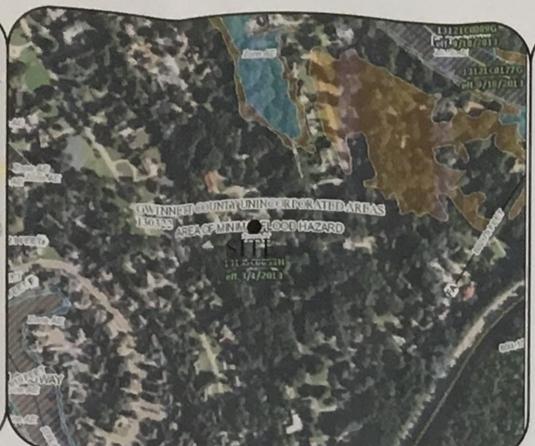
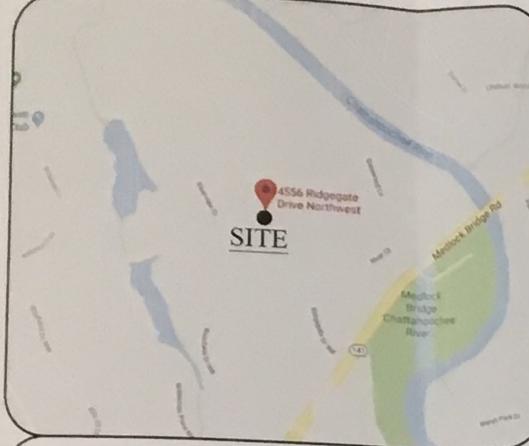
SITE NOTES:

- 1. ALL CONSTRUCTION AND MATERIALS TO CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF CITY OF PEACHTREE CORNER AND GWINNETT COUNTY
2. CONSTRUCTION EXIT PAD AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH A.S.T.M. #448 SIZE #1
3. THIS PLAN WAS PREPARED FOR PERMIT APPROVAL ONLY. ACTUAL CONSTRUCTION SHOULD BE BASED ON FIELD STAKING.
4. ALL ELEVATIONS ON SITE NEED TO BE VERIFIED PRIOR TO ANY CONSTRUCTION.
5. THIS PLAN WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.
6. ELEVATIONS SHOWN HEREON ARE SHOWN AS PER PAINT MARKINGS BY OTHERS.
7. UNDERGROUND UTILITIES ARE SHOWN AS PER CITY RECORDS. THE EXISTING CURB HEIGHT IS LESS THAN 5 INCHES HIGH. THE EXISTING CURB SHALL BE REMOVED AND REPLACED OR RESET TO MINIMUM CITY OF PEACHTREE CORNER REQUIREMENTS AND THE SIDEWALK REPLACED.
8. EXISTING SANITARY SEWER LINE TO REMAIN IN SERVICE. CONTRACTOR TO TAKE REASONABLE MEASURES TO MAINTAIN AND PROTECT EXISTING SANITARY SEWER DURING CONSTRUCTION.
9. CONTRACTOR AND OWNER MUST ENSURE UTILITIES ARE DISCONNECTED PRIOR TO ANY DEMOLITION WORK TAKING PLACE.
10. DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN STREET, PROTECTION AREA, OR RIGHT OF WAY.
11. IRRIGATION SYSTEMS ARE NOT ALLOWED WITHIN THE PUBLIC RIGHT-OF-WAY NOR WITHIN THE STRUCTURAL ROOT PLATE OF EXISTING TREES.

LANDSCAPE NOTES:

- 1. NO HEAVY MACHINERY ALLOWED WITHIN THE CRZ.
2. DO NOT TRENCH IN THE SILT FENCE WITHIN THE DRIP LINE OF ANY TREES (USE STAKED HAYBALES OR SANDBAGS)
3. ANY DEMOLITION OR DEBRIS REMOVAL WITHIN THE CRITICAL ROOT ZONE OF TREES WILL BE DONE BY HAND.
4. NO TREES ARE TO BE DESTROYED DURING DEMOLITION. NO CUT OR FILL OF EARTH WITHIN THE CRZ OF AN EXISTING TREE.
5. ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
6. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED.
7. PROVISIONS FOR TREE PROTECTION ON THE SITE SHALL BE, AS A MINIMUM, IN CONFORMANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE CITY OF PEACHTREE CORNER TREE PRESERVATION ORDINANCE, ZONING ORDINANCE AND ADMINISTRATIVE GUIDELINES PERTAINING TO TREE PROTECTION.
8. IF THE LANDSCAPE DESIGN AND PLANT MATERIAL ARE CHANGED FROM THE PERMITTED PLAN, THREE (3) SETS OF REVISED PLANS SHALL BE SUBMITTED TO THE CITY OF PEACHTREE CORNER ARBORIST'S OFFICE FOR APPROVAL, PRIOR TO ANY LANDSCAPE INSTALLATION.
9. ALL LANDSCAPING FOR EACH PHASE OF DEVELOPMENT SHALL BE COMPLETED PRIOR TO THE RECORDING OF THE FINAL PLAT FOR THAT PHASE, OR PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY FOR THAT PHASE. CONTACT SITE INSPECTION DEPARTMENT UPON COMPLETION OF LANDSCAPE INSTALLATION.
10. NO TREES TO BE PLANTED WITHIN ANY EASEMENT.

TOTAL AREA: 1.049 ACRES - 45,728.86 SQUARE FEET
BOUNDARY REFERENCE: DB 37182, PG 222, PB U, PG 143
FIELDWORK PERFORMED ON: 4/27/2016
THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 257,857 FEET
THIS PLAT HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION
THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 32,948 FEET, AND AN ANGULAR ERROR OF 10 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE
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Vicinity Map (NTS)

FIRM Panel Vignette (NTS)

FLOOD HAZARD STATEMENT:
THIS IS TO CERTIFY THAT NO PORTION OF THIS SITE LIES WITHIN A FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD AREA AS SHOWN ON THE F.I.R.M. MAP OF GWINNETT COUNTY, GEORGIA PANEL # 13135C0053H, EFFECTIVE ON 03/04/2013

ZONING: R-100

- MINIMUM FRONTAGE:** 100 FT
MINIMUM LOT AREA: 25,000 SF (SEPTIC)
- R-100 SETBACKS AS PER PLAT**
- FRONT: 50 FT (COUNTY), 75 FT (COMMUNITY)
 - SIDE: 25 FT (COUNTY), 20 FT (COMMUNITY)
 - REAR: 40 FT
 - BUILDING HEIGHT: 35 FT
 - MAXIMUM F.A.R.: 1,400 SF
 - MAXIMUM COVERAGE: N/A
 - MINIMUM 2 PARKING SPACES PER DWELLING
- THE SURVEYOR IN NO WAY INTENDS TO INTERPRET OR MAKE CONCLUSION REGARDING THE ZONING AND SETBACK DESIGNATION SHOWN HEREON. THIS INFORMATION IS REPORTED FROM PUBLIC INFORMATION OBTAINED FROM CITY OR COUNTY PLANNING AND ZONING DEPARTMENTS.

OWNER

ROB KING
CROWNLINE HOMES, LLC
10050 MEDLOCK BRIDGE ROAD
DULUTH, GEORGIA 30097

BUILDER / EMERGENCY CONTACT

ROB KING
CROWNLINE HOMES, LLC
10050 MEDLOCK BRIDGE ROAD
DULUTH, GEORGIA 30097
678-778-1737

SITE NOTES:

- ALL CONSTRUCTION AND MATERIALS TO CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF CITY OF PEACHTREE CORNER AND GWINNETT COUNTY.
- CONSTRUCTION EXIT PAD OR CRIGATE SIZE SHALL BE IN ACCORDANCE WITH A.S.T.M. #48 SIZE #1.
- THIS PLAN WAS PREPARED FOR PERMIT APPROVAL ONLY. ACTUAL CONSTRUCTION SHOULD BE BASED ON FIELD STAKING.
- ALL ELEVATIONS ON SITE NEED TO BE VERIFIED PRIOR TO ANY CONSTRUCTION.
- THIS PLAN WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.
- ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NAVD 1988 DATUM.
- UNDERGROUND UTILITIES ARE SHOWN AS PER PAINT MARKINGS BY OTHERS.
- NO GRADING TO BE CONDUCTED IN THE RIGHT-OF-WAY. NEED QUALIFIED CONTRACTOR PERMIT.
- AT ALL POINTS ALONG THE PUBLIC RIGHT OF WAY WHERE THE EXISTING CURB HEIGHT IS LESS THAN 5 INCHES HIGH, THE EXISTING CURB SHALL BE REMOVED AND REPLACED OR RESET TO MINIMUM CITY OF PEACHTREE CORNER REQUIREMENTS AND THE SIDEWALK REPLACED.
- EXISTING SANITARY SEWER LINE TO REMAIN IN SERVICE. CONTRACTOR TO TAKE REASONABLE MEASURES TO MAINTAIN AND PROTECT EXISTING SANITARY SEWER DURING CONSTRUCTION.
- CONTRACTOR AND OWNER MUST ENSURE UTILITIES ARE DISCONNECTED PRIOR TO ANY DEMOLITION WORK TAKING PLACE.
- DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN STREET, TREE PROTECTION AREA, OR RIGHT OF WAY.
- IRRIGATION SYSTEMS ARE NOT ALLOWED WITHIN THE PUBLIC RIGHT-OF-WAY NOR WITHIN THE STRUCTURAL ROOT PLATE OF EXISTING TREES.

LANDSCAPE NOTES:

- NO HEAVY MACHINERY ALLOWED WITHIN THE C.R.Z.
- DO NOT TRENCH IN THE SILT FENCE WITHIN THE DRIP LINE OF ANY TREES (USE STAKED HAYBALES OR SANDBAGS).
- ANY DEMOLITION OR DEBRIS REMOVAL WITHIN THE CRITICAL ROOT ZONE OF TREES WILL BE DONE BY HAND.
- NO TREES ARE TO BE DESTROYED DURING DEMOLITION. NO CUT OR FILL OF EARTH WITHIN THE CRZ OF AN EXISTING TREE.
- ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
- ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED.
- PROVISIONS FOR TREE PROTECTION ON THE SITE SHALL BE, AS A MINIMUM, IN CONFORMANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE CITY OF PEACHTREE CORNER TREE PRESERVATION ORDINANCE, ZONING ORDINANCE AND ADMINISTRATIVE GUIDELINES PERTAINING TO TREE PROTECTION.
- IF THE LANDSCAPE DESIGN AND PLANT MATERIAL ARE CHANGED FROM THE PERMITTED PLAN, THREE (3) SETS OF REVISED PLANS SHALL BE SUBMITTED TO THE CITY OF PEACHTREE CORNER ARBORIST'S OFFICE FOR APPROVAL, PRIOR TO ANY LANDSCAPE INSTALLATION.
- ALL LANDSCAPING FOR EACH PHASE OF DEVELOPMENT SHALL BE COMPLETED PRIOR TO THE RECORDING OF THE FINAL PLAT FOR THAT PHASE, PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY FOR THAT PHASE, OR PRIOR TO THE CONNECTION OF PERMANENT POWER FOR THAT PHASE. CONTACT SITE INSPECTION DEPARTMENT UPON COMPLETION OF LANDSCAPE INSTALLATION.
- NO TREES TO BE PLANTED WITHIN ANY EASEMENT.

THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.

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GENERAL NOTES:

- TOTAL AREA: 1.049 ACRES / 45,728.86 SQUARE FEET
- BOUNDARY REFERENCE: DB 37182, PG 222, FB U, PG 163
- FIELDWORK PERFORMED ON 4/27/2016
- THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 257.87 FEET
- THIS PLAT HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION
- THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 22,948 FEET, AND ANGULAR ERROR OF 10 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE
- FLOOD HAZARD STATEMENT: THIS IS TO CERTIFY THAT THIS SITE DOES NOT LIE WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE F.I.R.M. MAP OF CITY OF PEACHTREE CORNERS AS SHOWN ON PANEL # 13135C0053H, EFFECTIVE ON 03/04/2013
- PROJECT NARRATIVE: SITE LOCATION: 4556 RIDGEGATE DRIVE NW, PEACHTREE CORNERS, GEORGIA 30097
- CONSTRUCTION OF A SINGLE FAMILY RESIDENCE SEE ARCHITECTURAL PLANS FOR MORE DETAIL
- SANITARY SEWER IS PROVIDED BY PUBLIC SEWER SYSTEM
- DRAINAGE STRUCTURES DO NOT EXIST ON THIS PROPERTY
- CRIBS OR DRAINAGE SWALES DO NOT EXIST ON THIS PROPERTY
- NO NEW STORM DRAIN PIPES ARE PROPOSED
- THIS PROPERTY DOES NOT LIE WITHIN THE CHATTAHOOCHEE RIVER CORRIDOR
- THIS PROPERTY IS NOT ON OR WITHIN 200 FEET OF WATERS OF THE STATE

UTILITIES

CONTRACTOR AND OWNER MUST ENSURE UTILITIES ARE PROTECTED PRIOR TO ANY DEMOLITION WORK TAKING PLACE.

SITE NOTES:

- PRIOR TO LAND DISTURBING CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE SITE DEVELOPMENT INSPECTOR. CALL (678) 512-3284
- ALL CONSTRUCTION AND MATERIALS TO CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF CITY OF SANDY SPRINGS AND FULTON COUNTY
- CONSTRUCTION EXIT PAD AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH A.S.T.M. #48 SIZE #1
- NO GRADED SLOPES SHALL EXCEED 2H:1V.
- THIS PLAN WAS PREPARED FOR PERMIT APPROVAL ONLY. ACTUAL CONSTRUCTION SHOULD BE BASED ON FIELD STAKING
- ALL ELEVATIONS ON SITE NEED TO BE VERIFIED PRIOR TO ANY CONSTRUCTION
- THIS PLAN WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.
- ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NAVD 1988 DATUM.
- UNDERGROUND UTILITIES ARE SHOWN AS PER PAINT MARKINGS BY OTHERS.
- DEMOLITION TAKING PLACE INSIDE THE TREE CRITICAL ROOT ZONES TO BE DONE BY HAND
- NO GRADING TO BE CONDUCTED IN THE RIGHT-OF-WAY, NEED QUALIFIED CONTRACTOR PERMIT
- AT ALL POINTS ALONG THE PUBLIC RIGHT OF WAY WHERE THE EXISTING CURB HEIGHT IS LESS THAN 5 INCHES HIGH, THE EXISTING CURB SHALL BE REMOVED AND REPLACED OR RESET TO MINIMUM CITY OF SANDY SPRINGS REQUIREMENTS AND THE SIDEWALK REPLACED
- EXISTING SANITARY SEWER LINE TO REMAIN IN SERVICE. CONTRACTOR TO TAKE REASONABLE MEASURES TO MAINTAIN AND PROTECT EXISTING SANITARY SEWER DURING CONSTRUCTION.

CITY OF PEACHTREE CORNERS DENSITY REQUIREMENTS

1.049 AC x 24 UNIT / AC = 25 UNITS
SITE TREE REPLACEMENT DATA
UNITS REQUIRED: 25.00
TOTAL EXISTING UNITS: 65.40
REPLACEMENT DENSITY FACTOR: 0.00
TOTAL SDF PROVIDED: 65.40
DENSITY SURPLUS: 40.40

DENSITY FACTOR OF TREES TO REMAIN

EXIST TREES	DBH INCHES	TOTAL INCHES	QTY REMOVED	TOTAL REMAIN	TOTAL REMAIN U/in	TOTAL UNITS
0	6	0	0	0	0.90	0.00
1	8	8	0	1	8	2.40
1	11	11	0	1	11	3.20
4	12	48	1	3	36	3.20
1	13	13	0	1	13	3.20
1	14	14	0	1	14	3.20
1	18	18	0	1	18	4.80
1	20	20	0	1	20	5.40
1	28	28	0	1	28	8.60
1	29	29	0	1	29	9.20
1	38	38	0	1	38	15.80
0	40	0	0	0	17.40	0.00
TOTAL	13	227	1	12	215	65.40

CONSTRUCTION LEGEND

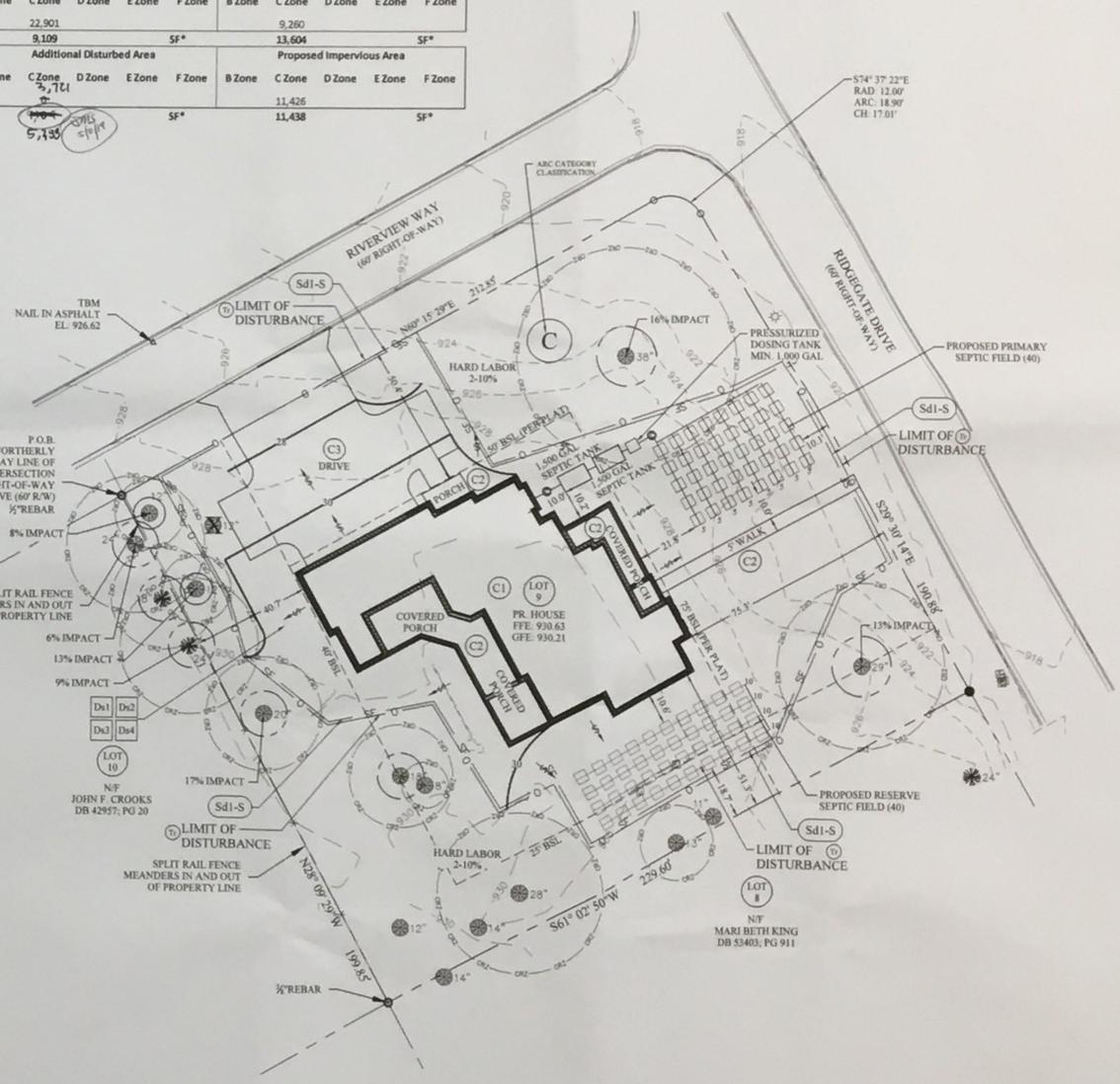
- Co CONSTRUCTION EXIT
- Cw CONCRETE WASHDOWN
- C1 CONSTRUCTION OF NEW HOUSE
- C2 CONSTRUCTION OF PORCH & COVERED PORCH & WALK
- C3 CONSTRUCTION OF DRIVEWAY
- SA STAGING AREA FOR DUMPSTER, PORTABLE TOILETS, MATERIAL STORAGE AND STOCKPILE AREAS
- Du DUST CONTROL AREA AND WASH STATION
- TPA TPA PATH. NO MACHINERY ALLOWED IN THIS AREA. 8-10" OF MULCH AND 3/4" PLYWOOD. NO CONSTRUCTION ACTIVITY WITHIN THE S.R.P. (STRUCTURAL ROOT PLATE)

Lot Number	Area	Allowable Disturbed Area					Allowable Impervious Area						
		B Zone	C Zone	D Zone	E Zone	F Zone	B Zone	C Zone	D Zone	E Zone	F Zone		
9	45,729						32,010					22,864	
Existing Disturbed Area							Existing Impervious Area						
9	45,729		22,901									9,260	
Remaining Total							Remaining Total						
		9,109 SF*					13,604 SF*						
Additional Disturbed Area							Proposed Impervious Area						
9	45,729		5,761									11,426	
Remaining Total							Remaining Total						
		5,761 SF*					11,438 SF*						

EROSION & SEDIMENT CONTROL PRACTICES

- DS1 DISTURBED AREA STABILIZATION (WITH MULCH ONLY) ESTABLISH TEMPORARY PROTECTION FOR DISTURBED AREAS WHERE SEEDINGS MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDING COVER.
- DS2 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING) ESTABLISH A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS.
- DS3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION) ESTABLISH PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOD OR LEGUMES ON DISTURBED AREAS.
- DS4 DISTURBED AREA STABILIZATION (WITH CERTIFIED SOD) ESTABLISH PERMANENT VEGETATIVE COVER WITH SOD CUT TO DESIRED SIZE WITHIN ±5% AND PLANTED WITHIN 36 HOURS OF DIGGING. SOD TO BE PLANTED ACCORDING TO COUNTY REQUIREMENTS.

AREA	PRE-CONSTRUCTION IMPERVIOUS AREA		POST-CONSTRUCTION IMPERVIOUS AREA	
	Sq Ft	%	Sq Ft	%
LOT AREA	45,729		45,729	
EXISTING HOUSE	3,640		PROPOSED HOUSE	5,835
EXISTING DRIVE & CONC. WALK & PATIO	5,120		PROPOSED DRIVE	3,590
EXISTING STOODS & STAIRS	149		PROPOSED PORCH & COVERED PORCH	1,616
EXISTING WALLS	106		PROPOSED WALK	385
EXISTING SHED	245			
TOTAL COVERAGE	9,260	20%	TOTAL COVERAGE	11,426
				25%



DISTURBED AREA: 22,901 SQ. FT. (0.52 ACRES)

ARBORIST'S OFFICE MUST BE NOTIFIED IF ANY NEW UTILITY LINES ARE TO BE INSTALLED

PRIOR TO FINAL ACCEPTANCE, AN AS-BUILT SURVEY WILL BE REQUIRED, SIGNED AND SEALED BY A GEORGIA REGISTERED LAND SURVEYOR

PRIOR TO LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE AREA EROSION CONTROL INSPECTOR.

CONTACT THE CITY OF SANDY SPRINGS' DEPARTMENT OF COMMUNITY DEVELOPMENT THROUGH THE PORTAL ONLINE TO ARRANGE A PRE-CONSTRUCTION MEETING WITH THE SITE INSPECTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR LAND DISTURBING ACTIVITY

"I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION."

GREGORY L. DEAN, LEVEL II DESIGN PROFESSIONAL # 13699

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TOTAL AREA: 1.049 ACRES / 45,728.86 SQUARE FEET

BOUNDARY REFERENCE: DB 37182, PG 222, FB U, PG 163

FIELDWORK PERFORMED ON 4/27/2016

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 257.87 FEET

THIS PLAN HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION

THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 22,948 FEET, AND ANGULAR ERROR OF 10 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE

- LEGEND**
- PROPERTY CORNER
 - FOUND GAS (NOTED)
 - REBAR WITH CAP SET (S.F.)
 - R/W MONUMENT
 - FIRE HYDRANT
 - WATER METER
 - WATER VALVE
 - POWER POLE
 - YARD DRAINS
 - SIGN
 - POWER METER
 - POWER BOX
 - AC UNIT
 - LIGHT POLE
 - WIRE
 - CLEAN OUT
 - GAS METER
 - GAS VALVE
 - CABLE BOX
 - TELEPHONE BOX
 - WATER LINE
 - OVERHEAD UTILITY LINE
 - SEWER LINE
 - GAS LINE
 - CABLE LINE
 - TELEPHONE LINE
 - FENCE LINE
 - SILT FENCE
 - TREE PROTECTION
 - HAY BALES
 - FLOW WELL LINE
 - RIGHT OR FORMERLY
 - BUILDING SETBACK LINE
 - CANTILEVER
 - CRITICAL ROOT ZONE
 - S.R.P. STRUCTURAL ROOT PLATE (TYP.)
 - LAND LOT
 - CONC CONCRETE
 - EDGE OF PAVEMENT
 - CONTOUR LINE
 - FINISH FLOOR ELEVATION
 - BASEMENT FLOOR ELEVATION
 - GARAGE FLOOR ELEVATION
 - GROUND ELEVATION
 - SURFACE ELEVATION
 - TOP OF FOOTER ELEVATION
 - SILT FENCE
 - DRAINAGE ARROW
 - HARDWOOD TREE
 - PINE TREE
 - TO BE REMOVED

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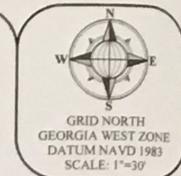
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SWANEE, GEORGIA 30024

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1100 PEACHTREE ST. SUITE 200
ATLANTA, GEORGIA 30309

KENNESAW (678) 730-4293
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KENNESAW, GEORGIA 30144

PROJECT
17168.02

SHEET
3 OF 5



DATE: 4/27/16

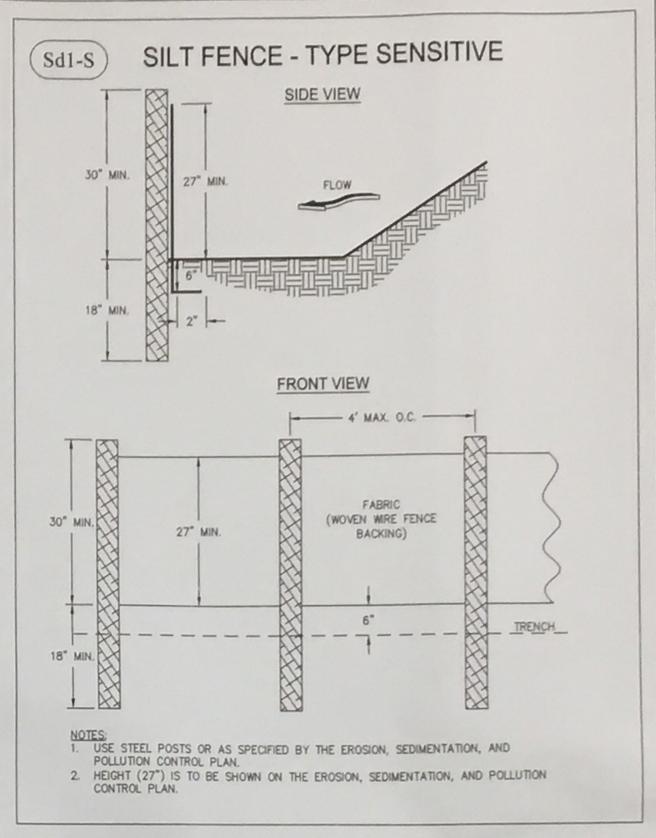
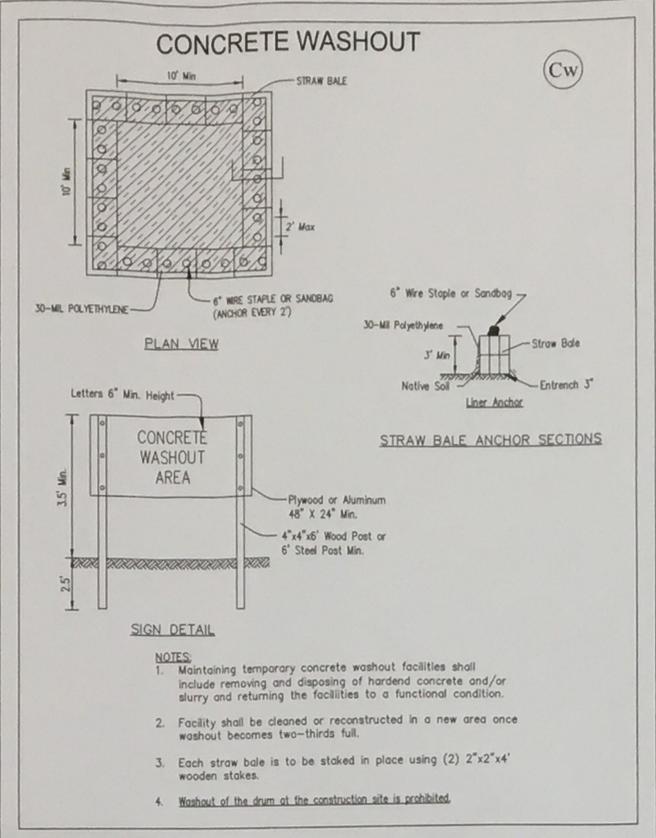
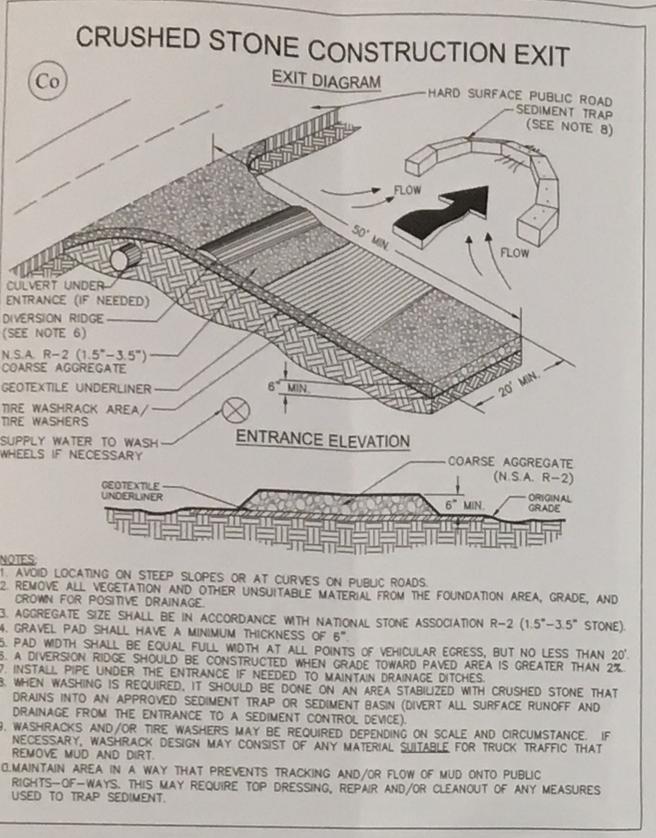
REVISION PER CLIENT COMMENTS

NO. 1

SITE PLAN

PREPARED FOR: ROB KING,
RIVERVIEW ESTATES SUBDIVISION, UNIT 2,
LAND LOT 329, 6TH DISTRICT
4556 RIDGEGATE DRIVE NW
PEACHTREE CORNERS, GEORGIA 30097
DATE 3/7/2019

FOR THE FIRM BOUNDARY ZONE, INC.



GRASSING SCHEDULE (HYDROSEEDING RATES)

SPECIES	RATE/1000S.F.	DATES	LIME	FERTILIZER (LBS./ACRE)		
				N	P205	K2O
KY 31	1-1/2 - 2 LBS.	9/1-1/1	1 TON/ACRE	60-90	120-180	120-180
PERCU	1-1/2 - 2 LBS.	9/1-1/1	1 TON/ACRE	60-90	120-180	120-180
WINTER RYE	2-3 LBS.	3/1-6/5	1 TON/ACRE	60-90	120-180	120-180

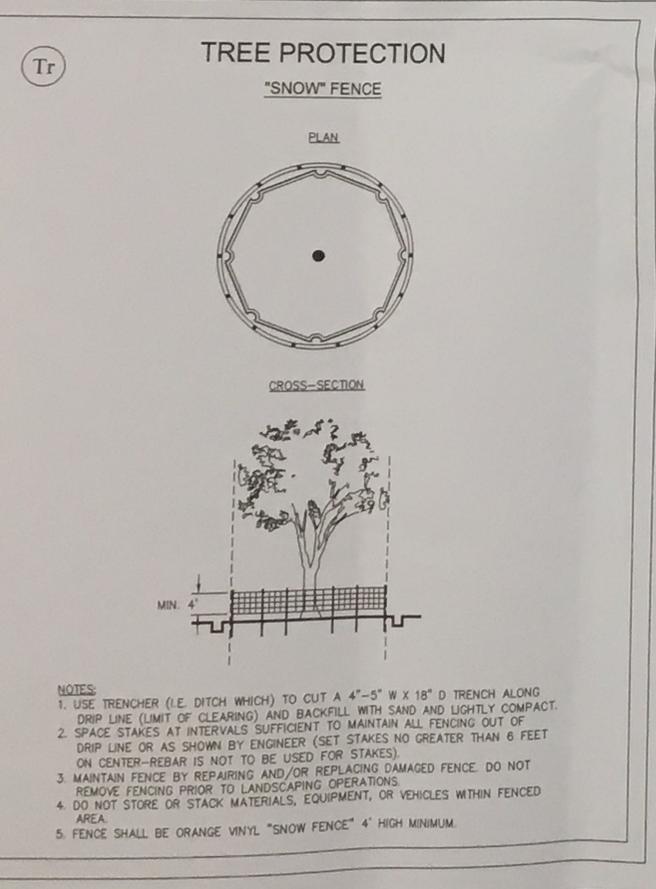
*APPLY (1) ONE TON OF AGRICULTURAL LIME EVERY 4-6 YEARS OR AS BY INDICATED BY SOIL TEST

*HYDROSEED ON ALL 2:1 SLOPES

NOTE: TEMPORARY STABILIZATION (MULCHING ONLY) WHEN SEEDING WILL NOT HAVE A SUITABLE GROWING MAY BE ACCOMPLISHED WITH: STRAW OR HAY - 2-1/2 TONS/ACRE. WOOD WASTE, BARK, SAWDUST - 2-3" DEEP (APPROX. 6-9 TONS/ACRE).

ACTIVITY SCHEDULE

NO. OF MONTHS	0	2	4	6	8	10	12	14
HOUSE CONSTRUCTION								
CLEAR AND GRUB								
ROUGH GRADING								
FINISH GRADING								
UTILITIES								
PAVING								
GRASSING/CLEAN UP								
EROSION CONTROL MEASURES								



NO.	DATE	REVISION	PER CLIENT COMMENTS	REVISION PER COUNTY
1	3/1/19			
2	3/1/19			
3	3/1/19			
4	3/1/19			
5	3/1/19			
6	3/1/19			
7	3/1/19			
8	3/1/19			
9	3/1/19			
10	3/1/19			

DETAILS

PREPARED FOR: ROB KING,
 RIVERVIEW ESTATES SUBDIVISION, UNIT 2,
 LAND LOT 329, 6TH DISTRICT
 4556 RIDGEGATE DRIVE NW,
 PEACHTREE CORNERS, GEORGIA 30097

DATE: 3/7/2019

THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.

TOTAL AREA: 1.049 ACRES / 45,728 SQ. FEET

BOUNDARY REFERENCE: DB 37182, PG 222, PB U, PG 163 FIELDWORK PERFORMED ON 4/27/2016

THIS MAP OR PLAN HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 247,837 FEET

THIS PLAY HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION

THE FIELD DATA UPON WHICH THIS MAP OR PLAN IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 32,948 FEET, AND AN ANGULAR ERROR OF 10 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULES.

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LEGEND

○ PROPERTY CORNER FOUND (AS NOTED)	□ POWER METER	□ TELEPHONE BOX	-HW HAY BALES
● SET LSP# R39	□ AC UNIT	-U OVERHEAD UTILITY LINE	-FW FLOW WELL LINE
□ RW MONUMENT	○ LIGHT POLE	-S SEWER LINE	-NF NOW OR FORMERLY
▲ FIRE HYDRANT	- GUY WIRE	-G GAS LINE	-R/W RIGHT-OF-WAY
⊕ WATER METER	○ MANHOLE	-C CABLE LINE	-BSL BUILDING SETBACK LINE
⊕ WATER VALVE	○ CLEAN OUT	-T TELEPHONE LINE	-CNTL CANTILEVER
○ GAS METER	○ GAS VALVE	-F FENCE LINE	-C.R.Z. CRITICAL ROOT ZONE
○ YARD DRAIN	○ CABLE BOX	-SF SILT FENCE	-S.R.P. STRUCTURAL ROOT PLATE (TYP.)
△ SIGN		-O TREE PROTECTION	-L.L. LAND LOT

CONC. CONCRETE
 EOP. EDGE OF PAVEMENT
 -CL- CENTER LINE
 F.F.E. FINISH FLOOR ELEVATION
 B.F.E. BASEMENT FLOOR ELEVATION
 G.F.E. GARAGE FLOOR ELEVATION
 GROUND ELEVATION
 SURFACE ELEVATION
 TOP OF WALL ELEVATION
 BOTTOM OF WALL ELEVATION

TOP OF FOOTER ELEVATION
 SILT FENCE
 DRAINAGE ARROW

TREE LEGEND

○ HARDWOOD TREE
 ○ PINE TREE
 X TO BE REMOVED

811

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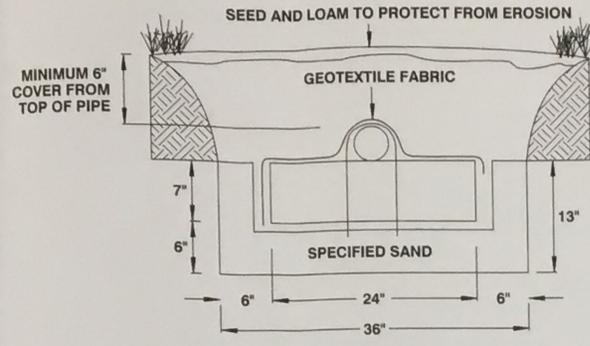
PROJECT 17168.02

SHEET 4 OF 5

NOTES:

- THIS SYSTEM (IS/IS NOT) DESIGNED FOR THE USE OF A GARBAGE DISPOSAL.
- THIS SYSTEM IS NOT DESIGNED FOR BACKWASH FROM A WATER SOFTENER.
- ORGANIC LOAM LAYER MUST BE REMOVED FROM THE ABSORPTION AREA AND SLOPE EXTENSION AREAS PRIOR TO FILL PLACEMENT. SCARIFY SUBSOIL PRIOR TO FILL PLACEMENT.
- FILL MATERIAL SHALL MEET OR EXCEED THE ELJEN GSF DESIGN & INSTALLATION MANUAL REQUIREMENTS. ALL FILL MATERIAL SHALL BE CLEAN SAND, FREE OF TOPSOIL, DIRECTLY BENEATH THE STA.
- THE 6 INCHES UNDER AND AROUND THE GSF MODULES SHALL BE WASHED CONCRETE SAND MEETING THE REQUIREMENTS OF ASTM C33 WITH LESS THAN 10% PASSING A #100 SIEVE AND LESS THAN 5% PASSING A #200 SIEVE.
- BACKFILL AND FINISH GRADING: CAREFULLY PLACE BACKFILL OVER THE MODULES, A MINIMUM OF 6 INCHES OF WELL GRADED SANDY FILL, CLEAN, POROUS, AND DEVOID OF ROCKS, AS MEASURED FROM THE TOP OF THE DISTRIBUTION PIPE. FINISH GRADE MUST DIVERT SURFACE RUNOFF FROM THE STA AND PREVENT SURFACE PONDING. PROTECT THE SYSTEM AREA FROM EROSION BY LOAMING AND SEEDING OR BY USING OTHER APPROVED METHODS OF EROSION CONTROL.
- THIS DESIGN COMPLIES WITH AND MUST BE INSTALLED IN ACCORDANCE WITH THE MOST CURRENT ELJEN DESIGN AND INSTALLATION MANUAL.

TYPICAL A42 GSF CROSS SECTION



A42 MODULE (L X W X H) 48" X 24" X 7"

ALL SYSTEMS ARE REQUIRED TO HAVE A MINIMUM OF:

- 6 INCHES OF SPECIFIED SAND AT THE EDGES OF THE GSF MODULE.
- 6 INCHES OF SPECIFIED SAND AT THE BEGINNING AND END OF EACH GSF TRENCH.
- 6 INCHES OF SPECIFIED SAND DIRECTLY BELOW THE GSF MODULE.
- 6 - 12 INCHES OF NATIVE SOIL FILL OVER THE PIPE.

SPECIFIED SAND SIEVE REQUIREMENTS

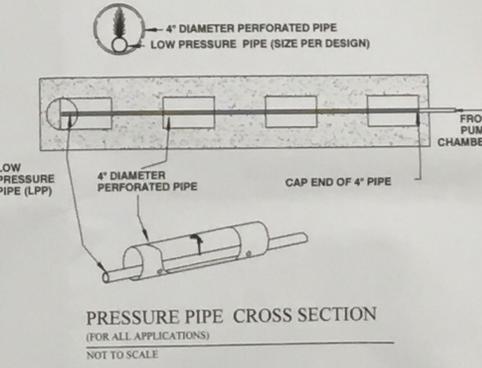
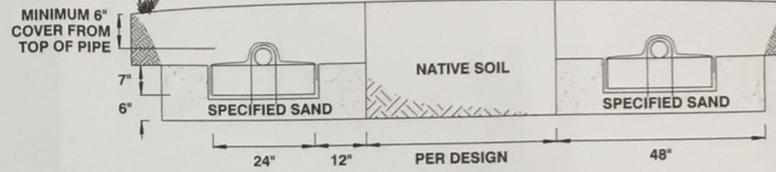
ASTM C33 SAND SPECIFICATION		
SIEVE SIZE	SIEVE SQUARE OPENING SIZE	SPECIFICATION PERCENT PASSING (WET SIEVE)
3/8 INCH	9.52 mm	100
No. 4	4.76 mm	95 - 100
No. 8	2.38 mm	80 - 100
No. 30	590 µm	25 - 60
No. 50	297 µm	5 - 30
No. 100	149 µm	0 - 10
No. 200	75 µm	0 - 5

SPECIFIED SAND
TO ENSURE PROPER SYSTEM OPERATION, THE SYSTEM MUST BE INSTALLED USING ASTM C33 SAND WITH LESS THAN 10% PASSING A #100 SIEVE AND LESS THAN 5% PASSING A #200 SIEVE. LISTED BELOW IS A CHART OUTLINING THE SIEVE REQUIREMENTS FOR THE SPECIFIED SAND. ASK YOUR MATERIAL SUPPLIER FOR A SIEVE ANALYSIS TO VERIFY THAT YOUR MATERIAL MEETS THE REQUIRED SPECIFICATIONS.

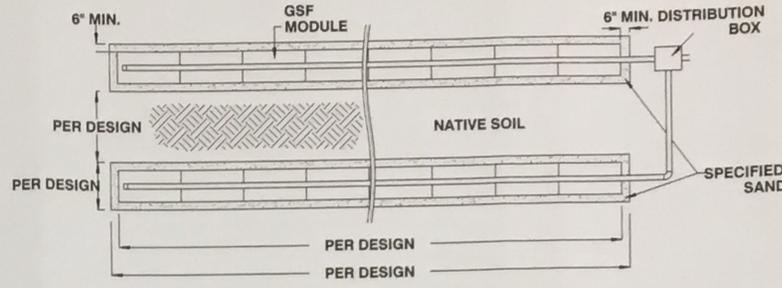
TABLE 3: RESIDENTIAL 3 & 4 FOOT TRENCH APPLICATION RATE CHART WITH 2 FOOT SEPARATION TO LIMITING CONDITION

Soil Type	Perc Rate (min/in)	Application Rate (GPD/FT)	GSF A42 Modules / Bedroom				
			2	3	4	5	Add
Group I	5	2,400	21	21	28	35	7
	10	1,818	21	21	28	35	7
	15	1,579	21	21	28	35	7
	20	1,429	21	21	28	35	7
	25	1,304	21	21	28	35	7
Group II	30	1,200	21	21	28	35	7
	35	1,132	21	21	28	35	7
	40	1,071	21	21	28	35	7
	45	1,000	21	21	28	35	7
	50	0,968	21	21	28	35	7
Group III	55	0,923	21	21	28	35	7
	60	0,896	21	24	32	40	8
	65	0,725	21	27	36	45	9
	70	0,704	21	27	36	45	9
	75	0,685	21	27	36	45	9
Group IV	80	0,676	21	27	36	45	9
	85	0,667	21	30	40	50	10
	90	0,658	21	30	40	50	10
	95	0,649	21	30	40	50	10
	100	0,641	21	30	40	50	10
Group V	105	0,633	21	30	40	50	10
	110	0,625	21	30	40	50	10
	115	0,617	21	30	40	50	10
	120	0,610	21	30	40	50	10

SECTION VIEW - 600 GPD - TRENCH SYSTEM - LEVEL SITE



PLAN VIEW - 600 GPD - TRENCH SYSTEM - LEVEL SITE



DOSING DESIGN CRITERIA: DOSING VOLUME MUST BE SET TO DELIVER A MAXIMUM OF 3.5 GALLONS PER A42 MODULE PER DOSING CYCLE WITH LOW HEAD HIGH VOLUME PUMPS PREFERRED. HIGHER FLOW RATES AND A SHORT DOSE CYCLE PUSH THE EFFLUENT DOWN THE LINE AND THUS DISPERSE THE EFFLUENT OVER A LARGER AREA. A VALVE ON THE FORCE MAIN IS RECOMMENDED TO SET THE FLOW RATE SO THAT THE ORIFICES ON THE OUTLET PIPES ARE SUBMERGED AND THE D-BOX DOES NOT OVERFLOW. ADJUSTMENT OF THE FLOW RATE IS LIKELY NEEDED IF A ROW OF MODULES ARE BRESTED THUS CHANGING THE NUMBER OR OUTLETS. FEWER OUTLETS IN THE D-BOX FORCE MORE EFFLUENT DOWN EACH LINE AND IMPROVE LINEAR LOADING. HEAD LOSS AND DRAIN BACK VOLUME MUST BE CONSIDERED IN CHOOSING THE PUMP SIZE AND FORCE MAIN DIAMETER.

USE THESE CALCULATIONS FOR THE RESERVE SYSTEM

MAIN SEPTIC GSF SYSTEM:

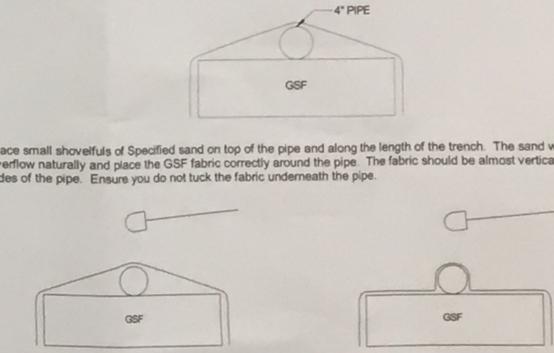
Item	Description	Value	Unit
(1)	MAIN SEPTIC GSF SYSTEM: -Eljen units= 4' x 2' w-		
(a)	HOUSE SIZE	5	BEDROOMS
(b)	SOIL PERMEABILITY (MIN/IN)	65	MIN/IN
SEPARATION DISTANCE TO LIMITING LAYER - 2 FT			
TRENCH WIDTH - 4 FT			
(c)	DESIGN FLOW - 150 GPD x (a) BEDROOMS =	750	GPD
A5 PER APPENDIX A AND APPLICATION RATE			
(d)	MINIMUM NUMBER OF UNITS REQUIRED -	40	A42 MODULES
(e)	APPLICATION RATE	0.725	GPD/SF
(f)	NUMBER OF TRENCHES	8	
MINIMUM BOTTOM AREA FOR THE TRENCH:			
(g)	DESIGN FLOW + APPLICATION RATE = (c) GPD + (e) GPD/SQ.FT.	1095	SF
(h)	TRENCH WIDTH:	4	FT
TRENCH LENGTH:			
(i)	MINIMUM BOTTOM AREA (g) + TRENCH WIDTH (h) + NUMBER OF TRENCHES (f)	33	LF
NUMBER OF MODULES PER ROW:			
(j)	(d) MODULES + (f) ROWS	5	Mod/Row
SPACING OF A42.5 INSIDE THE TRENCH =			
(k)	(h) - 5 FT (k) SAND AT EACH END OF TRENCH + 1 unit = (h) - 1	7.00	LF
(l)	EDGE TO EDGE SPACING = CENTER TO CENTER SPACING (k) - 4	3.00	FT
(m)	AREA = TRENCH BOTTOM AREA (WIDTH (h) x LENGTH (i)) x TRENCHES (f)	1056	SF

13.0 Instructions for Proper Installation of Cover Fabric

13.1 COVER FABRIC: Geotextile cover fabric is provided by Eljen Corporation for all GSF systems. It is placed over the top and the sides of the module rows to prevent long term siltation and failure. Cover fabric substitution is not allowed.

13.2 COVER FABRIC INSTALLATION TRENCH/BED IN A UNIFORM ROW: Installation is similar for both Trenches and Beds.

Roll the Eljen supplied cover fabric along the length of the module row, leaving a few inches of extra material before the first module and after the last module. Center the fabric over the GSF Modules.



Fill in sides around GSF module. This will hold the fabric in place and will be ready for inspection.



"I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION."

GREGORY L. DEAN, LEVEL II DESIGN PROFESSIONAL # 13699



4556 Ridgeway Drive Reanalysis City of Peachtree Corners

June 9, 2016

Vulnerability Factor	Factor Subgroup	Score
Hydrology:	Interbasin	20
Geology:	Biotite-Gneiss	5
Aspect:	North	6
Vegetation:	Barren (Under Construction)	2
Soils:	Moderate Erodibility	12
Slope:	0-10%	3
TOTAL:		48
CATEGORY:		C

The C category includes scores from 38 to 49

404-483-3100 FAX 404-483-3108 WWW.ATLANTAREGIONAL.COM

LEGEND

- PROPERTY CORNER POUND (AS NOTED)
- 1/2" REBAR WITH CAP
- SET L&P 8/9
- R/W MONUMENT
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- POWER POLE
- YARD DRAINS
- SIGN
- POWER METER
- POWER BOX
- A/C UNIT
- LIGHT POLE
- GUY WIRE
- CLEAN OUT
- GAS METER
- GAS VALVE
- CABLE BOX
- TELEPHONE BOX
- W- WATER LINE
- U- OVERHEAD UTILITY LINE
- S- SEWER LINE
- O- GAS LINE
- C- CABLE LINE
- T- TELEPHONE LINE
- X- FENCE LINE
- SP- SILT FENCE
- D- TREE PROTECTION
- HB HAY BALES
- PW FLOW WELL LINE
- N/P NOW OR FORMERLY
- R/W RIGHT-OF-WAY
- B/L BUILDING SETBACK LINE
- CNTL CANTILEVER
- C.R.Z. CRITICAL ROOT ZONE
- S.R.P. STRUCTURAL ROOT PLATE
- (TYP)
- L.L. LAND LOT
- TOP OF FOOTER ELEVATION
- SILT FENCE
- DRAINAGE ARROW
- HARDWOOD TREE
- PINE TREE
- TO BE REMOVED



BOUNDARY zone, inc.
LAND SURVEYING SERVICES & LAND PLANNING SERVICES
SURVEYING LANDSCAPE ARCHITECTURE LAND PLANNING
WWW.BOUNDARYZONE.COM (770) 271-5772

SWANEE (770) 271-5772
454 SATELLITE BLVD, SUITE 200
SWANEE, GEORGIA 30084

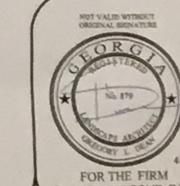
ATLANTA (404) 446-8180
1300 PEACHTREE ST, SUITE 200
ATLANTA, GEORGIA 30309

KENNESAW (770) 730-4391
975 CEDAR PLACE RD, SUITE 101
KENNESAW, GEORGIA 30144

PROJECT 17168.02

SHEET 5 OF 5

SEPTIC SYSTEM DETAILS
PREPARED FOR: ROB KING,
RIVERVIEW ESTATES SUBDIVISION, UNIT 2,
LOT 9, BLOCK C, RIVERVIEW ESTATES SUBDIVISION,
LAND LOT 329, 6TH DISTRICT
4556 RIDGEGATE DRIVE NW,
PEACHTREE CORNERS, GEORGIA 30097
DATE: 3/7/2019



IGA

STATE OF GEORGIA
GWINNETT COUNTY

**INTERGOVERNMENTAL AGREEMENT FOR THE ALLOCATION AND DISTRIBUTION
OF PROCEEDS FROM THE TITLE AD VALOREM TAX**

THIS INTERGOVERNMENTAL AGREEMENT, made and entered into as of the ____ day of _____, 20__, by and between the **GWINNETT COUNTY TAX COMMISSIONER (the “Tax Commissioner”)**, **GWINNETT COUNTY, GEORGIA**, a political subdivision of the State of Georgia, (the “County”), and the **CITY OF AUBURN**, the **CITY OF BERKELEY LAKE**, the **TOWN OF BRASELTON**, the **CITY OF BUFORD**, the **CITY OF DACULA**, the **CITY OF DULUTH**, the **CITY OF GRAYSON**, the **CITY OF LAWRENCEVILLE**, the **CITY OF LILBURN**, the **CITY OF LOGANVILLE**, the **CITY OF NORCROSS**, the **CITY OF PEACHTREE CORNERS**, the **CITY OF REST HAVEN**, the **CITY OF SNELLVILLE**, the **CITY OF SUGAR HILL**, and the **CITY OF SUWANEE**, municipal corporations of the State of Georgia, (the “Participating Municipalities,” individually and collectively) and the **GWINNETT COUNTY BOARD OF EDUCATION** and the **BUFORD CITY SCHOOL DISTRICT** (the “Participating School Districts”).

WITNESSETH:

WHEREAS, Article IX, Section III, Paragraph I(a) of the Constitution of Georgia (the “Intergovernmental Contracts Clause”) authorizes the County, Tax Commissioner, the Participating Municipalities and the Participating School Districts to contract, for a period not exceeding 50 years; and

WHEREAS, the Tax Commissioner is required pursuant to O.C.G.A. § 48-5C-1 *et seq.*, (the “Act”) to levy and collect a Title Ad Valorem Tax Fee (“Title Ad Valorem Tax”) when a vehicle sale would have constituted a taxable event for purposes of O.C.G.A. § 48-5C-1 *et seq.*; and

WHEREAS, pursuant to the Act, the Tax Commissioner, the County, the Participating Municipalities, and the Participating School Districts have conferred to determine the language of this Intergovernmental Agreement; and

WHEREAS, the Tax Commissioner, the County, the Participating Municipalities, and the Participating School Districts within the County shall execute this Intergovernmental Agreement which provides for the distribution of proceeds in accordance with O.C.G.A. § 48-5C-1 *et seq.*

NOW, THEREFORE, in consideration of the mutual promises and undertakings made in this Agreement, the benefits flowing to the parties hereto and to the citizens of each under this Agreement, and for good and valuable consideration, the Tax Commissioner, the County, the Participating Municipalities, and the Participating School Districts consent and agree as follows:

SECTION 1

REPRESENTATIONS & MUTUAL COVENANTS

(A) The Tax Commissioner makes the following representations and warranties which may be specifically relied upon by all parties as a basis for entering into this Agreement:

(i) The Tax Commissioner is a Constitutional Officer duly created pursuant to the Constitution of the State of Georgia;

(ii) The Tax Commissioner is duly authorized to execute, deliver, and perform this Agreement; and

(iii) This Agreement is a valid, binding, and enforceable obligation of the Tax Commissioner.

(B) The County makes the following representations and warranties which may be specifically relied upon by all parties as a basis for entering into this Agreement:

(i) The County is a political subdivision duly created and organized under the Constitution of State of Georgia;

(ii) The governing authority of the County is duly authorized to execute, deliver, and perform this Agreement; and

(iii) This Agreement is a valid, binding, and enforceable obligation of the County.

(C) Each Participating Municipality makes the following representations and warranties which may be specifically relied upon by all parties as a basis for entering into this Agreement:

(i) Each Participating Municipality is a municipal corporation duly created and organized under the Laws of the State of Georgia;

(ii) The governing authority of each Participating Municipality is duly authorized to execute, deliver, and perform this Agreement;

(iii) This Agreement is a valid, binding, and enforceable obligation of each Participating Municipality; and

(iv) Each Participating Municipality is located wholly or partially within the geographic boundaries of the County.

(D) Each Participating School District makes the following representations and warranties which may be specifically relied upon by all parties as a basis for entering into this Agreement:

(i) Each Participating School District is duly created and organized under the Laws of the State of Georgia;

(ii) The governing authority of each Participating School District is duly authorized to execute, deliver, and perform this Agreement;

(iii) This Agreement is a valid, binding, and enforceable obligation of each Participating School District; and

(iv) Each Participating School District is located wholly or partially within the geographic boundaries of the County.

(E) It is the intention of the Tax Commissioner, the County, each Participating Municipality, and each Participating School District to comply in all respects with the provisions of the Title Ad Valorem Tax Act, and all provisions of this Agreement shall be construed in light of the provisions of the Title Ad Valorem Tax Act.

(F) The Tax Commissioner, the County, each Participating Municipality, and each Participating School District agree to maintain thorough and accurate records concerning the receipt of proceeds under this Agreement.

SECTION 2

CONDITIONS PRECEDENT

(A) The obligations of the Tax Commissioner, the County, each Participating Municipality, and each Participating School District pursuant to this Agreement are conditioned upon the collection of the Title Ad Valorem Tax revenues by the

Tax Commissioner and the transfer of those revenues pursuant to the terms set forth in O.C.G.A. § 48-5C-1 *et seq.*

SECTION 3
ADMINISTRATION AND COLLECTION COSTS

In accordance with O.C.G.A. § 48-5C-1 *et seq.*, the proceeds of the Ad Valorem Title Tax shall be allocated and distributed by the Tax Commissioner pursuant to the terms of this Agreement.

SECTION 4
ALLOCATION AND DISTRIBUTION OF REMAINDER PROCEEDS

(A) The County, each Participating Municipality, and each Participating School District agree that the provisions of O.C.G.A. § 48-5C-1 *et seq.* govern the collection and distribution of Ad Valorem Taxation of Motor Vehicles. The relevant provisions at the time of the execution of this Agreement, and effective as of July 1, 2019, are set forth below:

(c)(1) The amount of proceeds collected by tag agents each month as state and local title ad valorem tax fees, state salvage title ad valorem tax fees, administrative fees, penalties, and interest pursuant to subsection (b) of this Code section shall be allocated and disbursed as provided in this subsection.

(2) For the 2013 tax year and in each subsequent tax year, the amount of such funds shall be disbursed within 20 days following the end of each calendar month as follows:

(A) State title ad valorem tax fees, state salvage title ad valorem tax fees, administrative fees, penalties, and interest shall be remitted to the state revenue commissioner who shall deposit such proceeds in the general fund of the state less an amount to be retained by the tag agent not to exceed 1 percent of the total amount otherwise required to be remitted under this subparagraph to defray the cost of administration. Such retained amount shall be remitted to the collecting county's general fund. Failure by the tag agent to disburse within such 20 day period shall result in a forfeiture of such administrative fee plus interest on such amount at the rate specified in Code Section 48-2-40; and

(B) Local title ad valorem tax fees, administrative fees, penalties, and interest shall be designated as local government ad valorem tax funds. The tag agent shall then distribute the proceeds as specified in paragraph (3) of this subsection.

(3) Beginning July 1, 2019, the portion of the title ad valorem tax fee proceeds to be retained by the county pursuant to O.C.G.A. § 48-5C-1(b)(1)(B)(iii) shall be distributed as follows:

(A) Not applicable.

(B) As to the proceeds associated with and collected on motor vehicle titles for motor vehicles registered in the unincorporated areas of the county, the tag agent of the county shall within 20 days following the end of each calendar month allocate and distribute 51 percent of such proceeds to the county governing authority and distribute 49 percent of such proceeds to the board of education of the county school district; and

(C) As to the proceeds associated with and collected on motor vehicle titles for motor vehicles registered in the incorporated areas of the county, the tag agent of the county shall within 20 days following the end of each calendar month allocate such proceeds by the municipality from which the proceeds were derived and then, for each such municipality, distribute 28 percent of such proceeds to the county governing authority and 23 percent of such proceeds to the governing authority of such municipality, and the remaining 49 percent of such proceeds shall be distributed to the board of education of the county school district; provided, however, that, if there is an independent school district in such municipality, then such remaining 49 percent of such proceeds shall be distributed to the board of education of the independent school district.

SECTION 5
ENTIRE AGREEMENT

This Agreement, including any attachments or exhibits, constitutes all of the understandings and agreements between the Tax Commissioner, the County, the Participating Municipalities, and each Participating School District with respect to all matters relating to the imposition, levy, collection, administration, allocation, and distribution of proceeds of the Title Ad Valorem Tax. Furthermore, this Agreement supersedes all prior agreements, negotiations, and communications of whatever type, whether written or oral, between the parties hereto with respect to the collection, administration, allocation, and distribution of proceeds of the Title Ad Valorem Tax. This Agreement does not supersede, supplant, or otherwise

replace any existing Special Purpose Local Option Sales Tax Agreement or Education Special Purpose Local Option Sales Tax Agreement which is currently in place or may be put in place during the existence of this Agreement. Nothing in this Agreement shall prohibit the County from transferring Title Tax revenue received into the General Fund to other funds which would have received ad valorem tax on motor vehicles collected under Chapter 5 of Title 48 or proceeds from a special purpose local option sales tax to fund the services described in the Intergovernmental Agreements. The provisions of this Agreement and any subsequent Amendment thereto shall survive any revisions of the Parties' Service Delivery Strategy Agreement and the provisions of the Service Delivery Strategy Act as to the subject matter of this Agreement.

SECTION 6

AMENDMENT OR MODIFICATION OF AGREEMENT

This Agreement shall not be amended or modified except by agreement in writing executed by the Tax Commissioner, the County, each Participating Municipality, and each Participating School District.

SECTION 7

GOVERNING LAW

This Agreement shall be deemed to have been made and shall be construed and enforced in accordance with the Constitution and laws of the State of Georgia.

SECTION 8
SEVERABILITY

Should any phrase, clause, sentence, or paragraph of this Agreement be held invalid or unconstitutional, the remainder of the Agreement shall remain in full force and effect as if such invalid or unconstitutional provision were not contained in the Agreement unless the elimination of such provision detrimentally reduces the consideration that any party is to receive under this Agreement or materially affects the operation of this Agreement.

SECTION 9
COMPLIANCE WITH LAW

The Tax Commissioner, the County, each Participating Municipality, and each Participating School District shall comply with all applicable local, state, and federal statutes, ordinances, rules, and regulations.

SECTION 10
NO CONSENT TO BREACH

No consent or waiver, express or implied, by any party to this Agreement, to any breach of any covenant, condition, or duty of another party shall be construed as a consent to or waiver of any future breach of the same.

SECTION 11
COUNTERPARTS

This Agreement may be executed in several counterparts, each of which shall be an original and all of which shall constitute but one and the same instrument.

SECTION 12
MEDIATION

The Tax Commissioner, the County, each Participating Municipality, and each Participating School District agree to submit any controversy arising under this Agreement to mediation for a resolution. The parties to the mediation shall mutually select a neutral party to serve as mediator. Costs of mediation shall be shared equally among the parties to the mediation.

SECTION 13
TERMINATION

This Agreement shall become effective on July 1, 2019. This Agreement shall continue in force and effect through March 31, 2025. This Agreement may be renewed by consent of all parties for an additional four year term thereafter.

This Agreement shall automatically terminate if the Title Ad Valorem Tax is repealed. This Agreement may also be terminated by mutual agreement of all parties. The parties agree to modify this Agreement in accordance with any changes which alter the distribution formula set forth in O.C.G.A. § 48-5C-1.

IN WITNESS WHEREOF, the Tax Commissioner, the County, the Participating Municipalities, and the Participating School Districts acting by and through their duly authorized agents, have caused this Agreement to be executed in multiple counterparts under seals on the date indicated herein.

GWINNETT COUNTY TAX COMMISSIONER

BY: _____

Richard Steele

Gwinnett County Tax Commissioner

(SEAL)

ATTEST: _____

(CLERK)

GWINNETT COUNTY, GEORGIA

BY: _____

Charlotte J. Nash

Chairman, Gwinnett County Board of Commissioners

(SEAL)

ATTEST: _____

Clerk

Approved as to form:

Daniela A. Doran

Senior Assistant County Attorney

CITY OF AUBURN, GEORGIA

BY: _____

Linda Blechinger, Mayor

(SEAL)

ATTEST: _____

Clerk

CITY OF BERKELEY LAKE, GEORGIA

BY: _____

Lois Salter, Mayor

(SEAL)

ATTEST: _____

Clerk

CITY OF BRASELTON, , GEORGIA

BY: _____

Bill Orr, Mayor

(SEAL)

ATTEST: _____

Clerk

CITY OF BUFORD, GEORGIA

BY: _____

Phillip Beard, Commission Chairman

(SEAL)

ATTEST: _____

Clerk

CITY OF DACULA, GEORGIA

BY: _____

Trey King, Mayor

(SEAL)

ATTEST: _____

Clerk

CITY OF DULUTH, GEORGIA

BY: _____

Nancy Harris, Mayor

(SEAL)

ATTEST: _____

Clerk

CITY OF GRAYSON, GEORGIA

BY: _____

Allison Wilkerson, Mayor

(SEAL)

ATTEST: _____

Clerk

CITY OF LAWRENCEVILLE, GEORGIA

BY: _____

Judy Jordan Johnson, Mayor

(SEAL)

ATTEST: _____

Clerk

CITY OF LILBURN, GEORGIA

BY: _____

Johnny Crist, Mayor

(SEAL)

ATTEST: _____

Clerk

CITY OF LOGANVILLE, GEORGIA

BY: _____

Rey Martinez, Mayor

(SEAL)

ATTEST: _____

Clerk

CITY OF NORCROSS, GEORGIA

BY: _____

Craig Newton, Mayor

(SEAL)

ATTEST: _____

Clerk

CITY OF PEACHTREE CORNERS, GEORGIA

BY: _____

Mike Mason, Mayor

(SEAL)

ATTEST: _____

Clerk

CITY OF REST HAVEN, GEORGIA

BY: _____

Kenneth Waycaster, Mayor

(SEAL)

ATTEST: _____

Clerk

CITY OF SNELLVILLE, GEORGIA

BY: _____

Barbara Bender, Mayor

(SEAL)

ATTEST: _____

Clerk

CITY OF SUGAR HILL, GEORGIA

BY: _____

Steve Edwards, Mayor

(SEAL)

ATTEST: _____

Clerk

CITY OF SUWANEE, GEORGIA

BY: _____

Jimmy Burnette, Mayor

(SEAL)

ATTEST: _____

Clerk

BUFORD CITY SCHOOL DISTRICT, BUFORD, GEORGIA

BY: _____

Joy Davis, Interim Superintendent

(SEAL)

ATTEST: _____

Clerk

GWINNETT COUNTY BOARD OF EDUCATION

BY: _____

J. Alvin Wilbanks, CEO/Superintendent

(SEAL)

ATTEST: _____

Clerk

5 Year Capital Improvement Plan

5 Year Capital Improvement Plan

<i>Projects</i>	Total	2018	2019	2020	2021	2022
Holcomb Bridge Rd at Jimmy Cart Blvd CTP_44 Operations and safety improvements to the intersection, Joint 2014 SPLOST Project	325,000	325,000	-	-	-	-
Winters Chapel Corridor Improvements WCR_09 Corridor study project, pedestrian improvements	50,000	-	50,000	-	-	-
Repaving	7,500,000	1,500,000	1,500,000	1,500,000	1,500,000	1,500,000
Spalding Drive Widening Construction CTP_04 Potential 2017 Joint SPLOST project with Gwinnett, also to be paired with planned GDOT improvements to the intersection of Spalding & SR 140	900,000			400,000	500,000	-
Jimmy Carter Blvd at Buford Hwy Joint Project PTC.14.01 2014 Joint SPLOST Project, intersection improvements	1,000,000	-	-		-	1,000,000
Joint County/State Projects To be determined via 2017 SPLOST IGA (summer 2017)	3,750,000	750,000	750,000	750,000	750,000	750,000
Roundabout at Peachtree Corners Circle and Medlock Bridge Rd MBR_01 Operational intersection improvement	1,500,000	1,500,000				
Other Streets, Sidewalks & Road Projects	9,100,000	1,100,000	2,000,000	2,000,000	2,000,000	2,000,000
Grand Total	\$ 24,125,000	\$ 5,175,000	\$ 4,300,000	\$ 4,650,000	\$ 4,750,000	\$ 5,250,000

02019-05-145

AN ORDINANCE OF THE CITY OF PEACHTREE CORNERS, GEORGIA, ADOPTING THE AMENDED FISCAL YEAR 2019 BUDGET FOR EACH FUND OF THE CITY OF CITY OF PEACHTREE CORNERS, GEORGIA. APPROPRIATING THE AMOUNTS SHOW IN IN EACH BUDGET AS EXPENDITURES, ADOPTING THE ANTICIPATED REVENUES FOR EACH FUND, PROHIBITING EXPENDITURES TO EXCEED APPROPRIATIONS FOR EACH FUND AND PROHIBITING EXPENDITURES TO EXCEED ACTUAL FUNDING AVAILABLE FOR EACH FUND.

WHEREAS, A PROPOSED Budget for each of the various funds of the City has been presented to the City Council by the Mayor; and

WHEREAS, appropriately advertised public hearings have been held on the proposed Budget, as required by State law and City Charter; and

WHEREAS, the city Council has reviewed the proposed Budget and has made certain amendments to both funding sources and appropriations; and

WHEREAS, the Mayor and City Council intend to adopt an annual Operating Budget for the Fiscal Year 2019, and a Capital Improvements Budget for the Fiscal Year 2019, and a Enterprise Budget for the Fiscal Year 2019.

NOW THEREFORE, THE MAYOR AND COUNCIL OF THE CITY OF PEACHTREE CORNERS HEREBY ORDAIN that the Operating Budget, shown as “Exhibit A” attached hereto and by this reference made a part of this Ordinance, shall be the City of Peachtree Corners’ Fiscal Year 2019 Amended Operating Budget; and

BE IT FURTHER ORDAINED that this Amended Budget be and is hereby approved and that the anticipated revenues presented for each fund are adopted in the amounts shown and that the amounts shown for each fund as proposed expenditures are hereby appropriated to the department named in each fund; and

BE IT FURTHER ORDAINED that any increase or decrease in appropriations or revenues of any fund for any department or the establishment of capital projects other than those exceptions provided for herein shall require approval of the Mayor and Council; and

BE IT FURTHER ORDAINED that, as provided in Section 6.26 of the City Charter, such revisions to the Budget may be made by majority vote of the Mayor and Council at any business meeting; and

BE IT FURTHER ORDAINED that the expenditures shall not exceed the appropriations authorized by this Budget or amendments thereto and that expenditures for the fiscal year shall not exceed actual funding available; and

STATE OF GEORGIA
COUNTY OF GWINNETT
CITY OF PEACHTREE CORNERS

ORDINANCE 2019- 05 - 145

BE IT FURTHER ORDAINED that the city Manager or his/her designee may promulgate all necessary internal rules, regulations and policies to ensure compliance with the Budget Ordinance.

SO ORDAINED AND EFFECTIVE, this ____ day of _____, 2018.

Approved:

ATTEST:

Mike Mason, Mayor

_____(SEAL)
Kymberly Chereck, City Clerk

2019

AMENDED BUDGET



Fiscal Year 2019
July 1, 2018 – June 30, 2019

FY2019 AMENDED GENERAL FUND BUDGET SUMMARY

	FY2015 Actuals	FY2016 Actuals	FY2017 Actuals	FY2018 Actuals	FY2019 Budget	FY2019 Amended Budget
Fees & Taxes	8,676,885.04	8,908,712.30	9,087,824.73	12,221,713.83	9,305,000	10,694,274
Licenses & Permits	984,168.96	1,045,889.12	1,186,272.14	1,383,420.75	1,145,000	1,195,878
Intergovernmental	105,609.76	50,000.00	40,840.80	75,510.00	0.00	1,885,750.00
Fines & Forfeitures	6,909.51	8,007.36	4,262.67	4,079.61	8,000	3,857
Interest Earned	3,807.35	2,397.27	1,100.60	1,708.08	500	850
Miscellaneous Revenue	24,706.93	330,612.48	8,415,069.19	3,509,622.55	1,983,400	2,481,250
Total General Fund Revenues	9,802,087.55	10,345,618.53	18,735,370.13	17,196,054.82	12,441,900	16,261,859
City Council	94,010.41	83,057.15	97,676.72	81,603.44	111,061	111,061
City Manager	245,186.41	272,838.89	521,401.84	462,198.94	567,979	602,829
City Clerk	158,658.42	272,034.72	249,794.50	258,998.77	346,325	376,850
Finance/Administration	336,816.29	266,566.83	280,128.57	322,065.17	456,646	486,811
Legal	161,606.83	139,916.35	202,295.07	173,178.36	225,000	345,000
Public Information	235,192.81	283,475.96	380,850.56	664,119.16	576,104	626,104
General Operations	1,430,155.84	1,401,341.46	1,199,200.41	2,471,275.92	1,678,869	2,220,869
Facilities and Buildings	172,631.86	751,782.15	16,861,349.54	5,433,505.58	4,558,388	7,582,388
Contingency	76,948.81	1,462,050.74	0.00	0.00	62,596	0
Community Development	400,860.48	655,594.22	995,700.00	702,534.93	793,131	943,481
Building Department	393,056.29	415,238.55	401,741.50	554,574.60	633,450	633,450
Code Enforcement	420,743.40	588,441.24	588,441.24	485,254.56	442,900	442,900
Planning & Zoning	233,746.32	217,467.36	217,467.36	184,858.92	246,300	246,300
Public Works	1,182,955.86	1,647,176.40	1,939,000.09	1,791,515.36	1,743,152	1,643,817
Total Expenditures	5,542,570.03	8,456,982.02	23,935,047.40	13,585,683.71	12,441,900	16,261,859

FY2019 AMENDED SOLID WASTE FUND BUDGET SUMMARY

Sanitation	1,275,143.72	1,299,878.39	1,317,285.01	1,306,364.13	1,700,000	1,700,000
Total Revenues	1,275,143.72	1,299,878.39	1,317,285.01	1,306,364.13	1,700,000	1,700,000
Operating Supplies/Sanitation	12,310.59	5,263.30	744.50	224.64	57,500	57,500
Contractual Svcs/Waste Pro	1,144,808.22	1,232,060.60	1,227,772.84	1,227,738.32	1,530,000	1,530,000
Reserve Contingency	0.00	0.00	86,000.00	0.00	112,500	112,500
Total Expenditures	1,157,118.81	1,237,323.90	1,314,517.34	1,227,962.96	1,700,000	1,700,000

	FY2015 Actuals	FY2016 Actuals	FY2017 Actuals	FY2018 Actuals	FY2019 Budget	FY2019 Amended Budget
FY2019 AMENDED SPLOST FUND BUDGET SUMMARY						
Capital Improvement 2014	6,065,265.48	6,196,927.42	9,686,494.13	581,878.59	1,800,000	2,520,744
Capital Improvement 2017	0.00	0.00	0.00	6,246,132.69	5,700,000	5,780,000
Total Revenues	6,065,265.48	6,196,927.42	9,686,494.13	6,828,011.28	7,500,000	8,300,744
Roadways and Walkways	1,590,993.53	2,107,414.13	10,924,502.63	8,723,100.13	7,500,000	7,545,000
Total Expenditures	1,590,993.53	2,107,414.13	10,924,502.63	8,723,100.13	7,500,000	7,545,000
FY2019 AMENDED STORMWATER FUND BUDGET SUMMARY						
Stormwater Utility Charges	0.00	0.00	0.00	2,667,249.91	2,800,000	2,800,000
Total Revenues	0.00	0.00	0.00	2,667,249.91	2,800,000	2,800,000
General Operations	0.00	0.00	0.00	659,605.80	2,800,000	2,800,000
Contingency	0.00	0.00	0.00	0.00	0	0
Total Expenditures	0.00	0.00	0.00	659,605.80	2,800,000	2,800,000
TOTAL REVENUES ALL FUNDS	17,142,496.75	17,842,424.34	29,739,149.27	27,997,680.14	24,441,900	29,062,603
TOTAL EXPENDITURES ALL FUNDS	8,290,682.37	11,801,720.05	36,174,067.37	24,196,352.60	24,441,900	28,306,859

	FY2015 Actuals	FY2016 Actuals	FY2017 Actuals	FY2018 Actuals	FY2019 Budget	FY2019 Amended Budget
100- General Fund Revenue Detail						
General Property Tax						
100-310-31100-31100 Ad Valorem Tax-Current Year	0.00	0.00	0.00	0.00	0	0
100-310-31100-31110 Public Utility Tax	0.00	0.00	0.00	0.00	0	0
100-310-31100-31200 Ad Valorem Tax-Prior Year	3,451.45	488.22	4,003.90	504.07	0	339
100-310-31100-31310 Motor Vehicle Tax	154.07	32.06	7.05	0.20	0	0
100-310-31100-31315 Title Ad Valorem Tax	752,918.18	608,791.44	378,633.99	558,528.22	300,000	650,000
100-310-31100-31320 Mobile Home Tax	0.00	0.00	0.00	0.00	0	0
100-310-31100-31325 Heavy Equipment Tax	0.00	0.00	0.00	0.00	0	0
100-310-31100-31340 Intangible Tax Revenue	0.00	0.00	0.00	0.00	0	0
100-310-31100-31350 Railroad Equipment Tax	0.00	0.00	0.00	0.00	0	0
100-310-31100-31360 Real Estate Transfer Tax	0.00	0.00	0.00	0.00	0	0
100-310-31100-31370 Franchise Fees	3,028,562.59	3,053,323.95	3,220,188.19	4,994,280.45	3,500,000	3,590,000
Subtotal	3,785,086.29	3,662,635.67	3,602,833.13	5,553,312.94	3,800,000	4,240,339
Selective Sales and Use Tax						
100-310-31400-34200 Alcoholic Beverage Excise Tax	269,863.95	253,258.99	255,952.40	236,430.55	250,000	250,000
100-310-31400-34300 Local Option Mixed Drink	101,444.09	112,044.23	113,536.91	115,390.94	105,000	132,000
100-310-31400-34900 Other Selective Tax	11,194.61	15,836.34	16,675.95	360,176.92	0	0
Subtotal	382,502.65	381,139.56	386,165.26	711,998.41	355,000	382,000
Business Taxes						
100-310-31600-31610 Business & Occupation Taxes	2,396,689.41	2,567,228.49	2,606,671.93	3,294,711.86	2,550,000	3,150,000
100-310-31600-31620 Insurance Premium Tax	2,050,114.78	2,190,210.64	2,372,423.66	2,525,915.69	2,500,000	2,723,935
100-310-31600-31630 Financial Institutions Taxes	62,328.06	106,543.99	119,730.75	135,774.93	100,000	198,000
Subtotal	4,509,132.25	4,863,983.12	5,098,826.34	5,956,402.48	5,150,000	6,071,935
Pen & Int on Delinq Tax						
100-310-31900-39100 Pen & Int on Delinq Tax	163.85	953.95	0.00	0.00	0	0
Subtotal	163.85	953.95	0.00	0.00	0	0
Business License						
100-320-32100-32110 Alcoholic Beverages	351,510.00	367,765.00	417,893.26	407,146.00	375,000	418,778
100-320-32100-32120 General Business License	0.00	0.00	0.00	0.00	0	0
100-320-32100-32190 Other Licenses/Permits	0.00	1,050.00	1,850.00	3,900.00	0	4,600
100-320-32100-32210 Insurance License	14,500.00	21,470.00	22,343.50	24,845.41	20,000	30,500
Subtotal	366,010.00	390,285.00	442,086.76	435,891.41	395,000	453,878

	FY2015 Actuals	FY2016 Actuals	FY2017 Actuals	FY2018 Actuals	FY2019 Budget	FY2019 Amended Budget
Licenses & Permits						
100-320-32200-32200 Building Permits	578,073.96	610,939.92	692,746.26	881,886.34	700,000	700,000
100-320-32200-32202 Development Permits	40,085.00	44,664.20	51,439.12	65,643.00	50,000	42,000
Subtotal	618,158.96	655,604.12	744,185.38	947,529.34	750,000	742,000
Regulatory Fees						
100-320-32300-32300 Regulatory Fees	0.00	0.00	0.00	0.00	0	0
100-320-32300-32310 Inspection Fees	0.00	0.00	0.00	0.00	0	0
Subtotal	0.00	0.00	0.00	0.00	0	0
Federal Government Grants						
100-330-33100-32310 Federal Grants	79,747.81	0.00	0.00	0.00	0	1,876,630
Subtotal	79,747.81	0.00	0.00	0.00	0	1,876,630
State Government Grants						
100-330-34300-33401 State Grants Received	8,189.45	50,000.00	40,840.80	75,510.00	0	9,120
Subtotal	8,189.45	50,000.00	40,840.80	75,510.00	0	9,120
Local Government Shared Rev						
100-330-33370-33720 Local Government Reimb	17,672.50	0.00	0.00	0.00	0	0
Subtotal	17,672.50	0.00	0.00	0.00	0	0
General Government						
100-340-34000-34119 Other Fees	-1,917.87	3,938.12	84,408.89	55,063.18	0	79,950
100-340-34000-34190 Election Qualifying Fees	0.00	1,710.00	0.00	1,200.00	0	0
100-340-34000-34430 Electricity	516.80	324,284.36	330,480.30	334,724.74	324,000	333,000
Subtotal	-1,401.07	329,932.48	414,889.19	390,987.92	324,000	412,950
Fine and Forfeitures						
100-350-35100-35100 Municipal Court	6,909.51	8,007.36	4,262.67	4,079.61	8,000	3,857
Subtotal	6,909.51	8,007.36	4,262.67	4,079.61	8,000	3,857
Interest Revenues						
100-360-36100-36100 Interest Revenues	3,807.35	2,397.27	1,100.60	1,708.08	500	850
Subtotal	3,807.35	2,397.27	1,100.60	1,708.08	500	850

	FY2015 Actuals	FY2016 Actuals	FY2017 Actuals	FY2018 Actuals	FY2019 Budget	FY2019 Amended Budget
Contribution/Donations						
100-370-37100-37100 General City	26,000.00	500.00	0.00	15,000.00	0	0
Subtotal	26,000.00	500.00	0.00	15,000.00	0	0
Other Charges for Svcs						
100-340-39000-34930 Bad Check Fees	108.00	180.00	180.00	0.00	0	140
Subtotal	108.00	180.00	180.00	0.00	0	140
Other						
100-380-38100-38100 Rental Revenue	0.00	0.00	0.00	53,690.63	278,000	415,000
100-380-38100-38101 Rent Community Chest	0.00	0.00	0.00	675.00	0	3,000
100-380-38900-38900 Other	0.00	0.00	0.00	0.00	0	80
100-380-38900-38910 Prior Year Reserves	0.00	0.00	0.00	2,199,269.00	1,250,000	1,430,630
Subtotal	0.00	0.00	0.00	2,253,634.63	1,528,000	1,848,710
Other Financing Sources						
100-390-39100-39105 Loan Proceeds	0.00	0.00	8,000,000.00	0.00	0	0
100-390-39100-39115 Transfers from SPLOST	0.00	0.00	0.00	850,000.00	0	0
100-390-39100-39120 Transfers from Stormwater	0.00	0.00	0.00	0.00	103,900	191,950
100-390-39100-39121 Transfers from Solid Waste	0.00	0.00	0.00	0.00	27,500	27,500
Subtotal	0.00	0.00	8,000,000.00	850,000.00	131,400	219,450
Proceeds of Gen Long Term Liab						
100-390-39300-39350 Capital Leases	0.00	0.00	0.00	0.00	0	0
Subtotal	0.00	0.00	0.00	0.00	0	0
Total Department Revenues	9,802,087.55	10,345,618.53	18,735,370.13	17,196,054.82	12,441,900	16,261,859

	FY2015 Actuals	FY2016 Actuals	FY2017 Actuals	FY2018 Actuals	FY2019 Budget	FY2019 Amended Budget
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100 - General Fund Expenditures Detail

Administrative Services Department

City Council

100-010-51100-51110 Regular Salaries	57,000.24	55,666.90	57,000.24	57,000.24	57,000	57,000
100-010-51100-51200 FICA/Medicare	4,360.56	4,258.56	4,320.63	4,360.56	4,361	4,361
100-010-51100-51260 Unemployment Expense	0.00	0.00	0.00	0.00	0	0
100-010-51100-51270 Workers Comp	0.00	0.00	1,148.00	1,761.00	1,200	1,200
100-010-51100-52370 Education & Training	27,814.22	17,832.46	28,884.58	11,213.39	35,000	35,000
100-010-51100-53101 Postage	0.00	0.00	0.00	0.00	500	500
100-010-51100-53170 Other Supplies	1,763.71	1,569.95	1,073.99	1,964.17	5,000	5,000
100-010-51100-53175 Hospitality Supplies	3,071.68	3,729.28	5,249.28	5,304.08	8,000	8,000
Subtotals	94,010.41	83,057.15	97,676.72	81,603.44	111,061	111,061

City Manager

100-010-51300-51110 Regular Salaries	174,099.96	185,100.00	370,498.55	183,851.32	204,983	204,983
100-010-51300-51200 FICA/Medicare	10,123.34	10,371.92	21,569.42	10,882.42	15,681	15,681
100-010-51300-51210 Group Insurance	21,801.40	22,903.00	31,229.80	30,628.00	24,800	24,800
100-010-51300-51240 Retirement	28,220.04	29,934.17	35,899.51	25,739.18	28,698	28,698
100-010-51300-51260 Unemployment Expense	0.00	0.00	0.00	0.00	0	0
100-010-51300-51270 Workers Comp	1,769.00	1,527.00	928.00	676.50	1,000	1,350
100-010-51300-51290 Other Emp Benefits	773.50	1,856.40	39,017.30	21,977.42	21,817	21,817
100-010-51300-51280 Relocation Expense	0.00	14,350.00	9,000.00	0.00	0	0
100-010-51300-52120 Professional Services	0.00	0.00	0.00	174,403.66	250,000	250,000
100-010-51300-52350 Travel Expense	4,311.45	1,920.33	3,279.89	7,073.65	5,000	35,000
100-010-51300-52360 Dues & Fees	130.00	2,680.00	2,110.00	2,785.00	3,500	3,500
100-010-51300-52370 Education & Training	3,210.00	1,606.10	1,835.00	1,090.00	3,000	7,500
100-010-51300-53100 Operating Supplies	63.38	0.00	4,422.56	2,343.47	7,500	7,500
100-010-51300-53175 Hospitality Supplies	684.34	589.97	1,611.81	748.32	2,000	2,000
Subtotals	245,186.41	272,838.89	521,401.84	462,198.94	567,979	602,829

City Clerk

100-010-51130-51110 Regular Salaries	85,000.08	90,639.96	93,359.16	96,159.96	118,450	118,450
100-010-51130-51200 FICA/Medicare	6,676.52	6,933.96	7,070.73	7,345.44	9,061	9,061
100-010-51130-51210 Group Insurance	19,661.40	20,763.00	19,190.80	21,441.60	24,800	24,800
100-010-51130-51240 Retirement	14,450.04	15,328.94	15,871.05	16,347.24	20,137	20,137
100-010-51130-51260 Unemployment Expense	0.00	0.00	0.00	0.00	0	0

	FY2015 Actuals	FY2016 Actuals	FY2017 Actuals	FY2018 Actuals	FY2019 Budget	FY2019 Amended Budget
100-010-51130-51270 Workers Comp	629.00	391.00	459.00	278.00	685	685
100-010-51130-51290 Other Emp Benefits	529.50	1,270.80	1,298.40	6,448.71	8,017	8,017
100-010-51130-52112 Election Services	23,660.57	23,736.29	3,750.00	35,866.39	55,000	55,000
100-010-51130-52121 Contractual Svcs/CH2M	0.00	102,337.56	102,337.56	69,322.08	100,175	125,200
100-010-51130-52330 Advertising	660.00	1,290.00	1,638.00	1,790.00	2,500	8,000
100-010-51130-52350 Travel Expense	1,608.15	992.90	2,182.89	1,580.73	2,500	2,500
100-010-51130-52360 Dues & Fees	290.00	0.00	525.00	852.14	1,000	1,000
100-010-51130-52370 Education & Training	1,123.00	648.31	1,005.00	0.00	2,000	2,000
100-010-51130-53100 Operating Supplies	540.46	2,061.75	1,130.85	1,566.48	2,000	2,000
100-010-51130-53101 Postage	3,829.70	5,640.25	-23.94	0.00	0	0
Subtotals	158,658.42	272,034.72	249,794.50	258,998.77	346,325	376,850

Finance & Administration

100-010-51510-51110 Regular Salaries	0.00	0.00	22,500.00	140,672.26	154,067	154,067
100-010-51510-51200 FICA/Medicare	0.00	0.00	1,721.26	10,761.50	11,786	11,786
100-010-51510-51210 Group Insurance	0.00	0.00	3,550.80	21,441.60	24,800	24,800
100-010-51510-51240 Retirement	0.00	0.00	3,825.00	23,914.34	26,191	26,191
100-010-51510-51260 Unemployment Expense	0.00	0.00	0.00	0.00	0	0
100-010-51510-51270 Workers Comp	0.00	0.00	0.00	278.00	685	1,350
100-010-51510-51290 Other Emp Benefits	0.00	0.00	650.00	6,192.42	8,617	8,617
100-010-51510-52110 Audit Services	19,800.00	23,515.00	23,245.00	39,010.00	38,000	38,000
100-010-51510-52120 Professional Services	0.00	0.00	0.00	4,109.90	75,000	90,000
100-010-51510-52121 Contractual Svcs/CH2M	317,016.29	243,051.83	222,797.51	69,322.08	109,000	109,000
100-010-51510-52350 Travel Expense	0.00	0.00	0.00	789.07	3,500	15,000
100-010-51510-52360 Dues & Fees	0.00	0.00	0.00	1,296.00	1,500	2,000
100-010-51510-52370 Education & Training	0.00	0.00	1,839.00	4,278.00	3,500	6,000
Subtotals	336,816.29	266,566.83	280,128.57	322,065.17	456,646	486,811

Legal Services Department

100-010-51530-52122 Attorney Fees/Riley & Mcl	99,548.98	88,725.69	72,826.50	66,832.06	125,000	80,000
100-010-51530-52130 Attorney Fees/Other	62,057.85	51,190.66	129,468.57	106,346.30	100,000	265,000
Subtotals	161,606.83	139,916.35	202,295.07	173,178.36	225,000	345,000

Facilities & Buildings Dept

100-010-51565-51300 Technical Services	24,893.97	26,221.96	32,034.61	132,422.57	162,000	125,000
100-010-51565-52200 Repairs & Maintenance	0.00	0.00	0.00	189,791.51	200,000	600,000
100-010-51565-52301 Real Estate Rents/Leases	107,029.96	109,119.63	202,633.87	70,383.57	90,132	90,132
100-010-51565-52302 Economic Dev	0.00	600,000.00	460,000.00	500,000.00	500,000	500,000

	FY2015 Actuals	FY2016 Actuals	FY2017 Actuals	FY2018 Actuals	FY2019 Budget	FY2019 Amended Budget
100-010-51565-53103 Office Supplies	565.28	0.00	0.00	0.00	10,000	10,000
100-010-51565-53121 Water/Sewage	0.00	0.00	0.00	2,806.64	15,000	15,000
100-010-51565-53122 Natural Gas	0.00	0.00	0.00	0.00	0	2,500
100-010-51565-53123 Electricity	0.00	0.00	0.00	59,466.08	150,000	100,000
100-010-51565-54100 Land	0.00	0.00	1,022,277.73	0.00	0	527,000
100-010-51565-54130 Buildings	0.00	0.00	3,845,711.47	3,279,682.96	0	1,870,000
100-010-51565-54230 Furniture And Fixtures	40,142.65	16,440.56	325.00	902,425.64	25,000	100,000
100-010-51565-55530 Community Services	0.00	0.00	0.00	0.00	100,000	0
100-010-51565-56220 Transfer to DDA	0.00	0.00	11,228,057.27	121,787.72	2,500,000	2,745,000
100-010-51565-58130 Principal Note Payments	0.00	0.00	0.00	0.00	555,000	555,000
100-010-51565-58230 Interest Note Payments	0.00	0.00	0.00	174,738.89	251,256	251,256
100-010-51565-58400 Closing Costs	0.00	0.00	70,309.59	0.00	0	91,500
Subtotals	172,631.86	751,782.15	16,861,349.54	5,433,505.58	4,558,388	7,582,388
Public Information						
100-010-51570-52120 Professional Services	102,272.82	145,753.95	154,698.08	386,830.84	350,000	400,000
100-010-51570-52121 Contractual Svcs/CH2M	132,919.99	137,722.01	226,152.48	277,288.32	226,104	226,104
Subtotals	235,192.81	283,475.96	380,850.56	664,119.16	576,104	626,104
General Operations						
100-010-51590-52103 Technical Services	97,613.64	95,583.95	97,923.66	214,170.58	235,000	275,000
100-010-51590-52111 Official/Admin Svcs	17,521.02	1,471.68	68,691.68	66,007.41	70,000	0
100-010-51590-52120 Professional Services	607,958.91	600,353.06	561,044.40	1,189,544.25	518,000	1,000,000
100-010-51590-52128 Commissions	13,191.09	9,525.68	5,503.94	9,774.27	0	10,000
100-010-51590-52310 General Liability Insurance	17,337.17	21,749.33	19,497.67	35,207.17	35,000	35,000
100-010-51590-53100 Operating Supplies	31,430.33	33,231.38	31,583.12	48,880.32	55,000	55,000
100-010-51590-53101 Postage	0.00	0.00	7,530.38	6,135.82	10,000	10,000
100-010-51590-53103 Office Supplies	10,112.45	9,997.50	8,681.48	10,922.35	15,000	15,000
100-010-51590-53104 Service Fees	13,825.83	7,881.03	10,717.09	16,202.33	15,000	15,000
100-010-51590-53123 Electricity	172,750.39	347,468.81	352,316.90	385,433.98	421,000	421,000
100-010-51590-53132 Interest	403,181.63	216,381.93	0.00	0.00	0	0
100-010-51590-54240 Computer/Software	39,450.94	52,396.54	35,710.09	488,997.44	95,000	175,000
100-010-51590-58132 Other Debt Principal	4,824.38	4,982.96	0.00	0.00		0
100-010-51590-58232 Other Debt Interest	958.06	317.61	0.00	0.00	209,869	209,869
Subtotals	1,430,155.84	1,401,341.46	1,199,200.41	2,471,275.92	1,678,869	2,220,869

	FY2015 Actuals	FY2016 Actuals	FY2017 Actuals	FY2018 Actuals	FY2019 Budget	FY2019 Amended Budget
Public Works Department						
Public Works						
100-040-54100-51110 Regular Salaries	0.00	0.00	29,166.67	145,281.54	154,518	154,518
100-040-54100-51200 Fica/Medicare	0.00	0.00	2,227.65	11,113.98	11,821	11,821
100-040-54100-51210 Group Insurance	0.00	0.00	3,550.80	21,441.60	24,800	24,800
100-040-54100-51240 Retirement	0.00	0.00	4,958.33	24,697.83	26,268	26,268
100-040-54100-51260 Unemployment Expense	0.00	0.00	0.00	0.00	0	0
100-040-54100-51270 Workers Comp	0.00	0.00	0.00	278.00	685	1,350
100-040-54100-51290 Other Emp Benefits	0.00	0.00	1,725.00	9,192.42	9,817	9,817
100-040-54100-52120 Professional Services	195,428.45	287,566.10	526,029.54	223,422.66	200,000	100,000
100-040-54100-52121 Contractual Svcs/CH2M	479,977.01	615,494.32	628,164.00	433,602.46	404,244	404,244
100-040-54100-52124 Contractual Svcs/Optech	458,686.96	650,507.64	645,753.28	655,485.18	662,000	662,000
100-040-54100-52126 Road Maint Supplies	10,918.20	51,335.45	44,345.39	115,264.05	100,000	140,000
100-010-54100-52350 Travel Expense	0.00	0.00	0.00	1,063.30	3,000	3,000
100-010-54100-52360 Dues & Fees	0.00	0.00	0.00	1,485.75	3,000	3,000
100-010-54100-52370 Education & Training	0.00	0.00	0.00	1,318.00	3,000	3,000
100-040-54100-53100 Operating Supplies	5,032.24	16,900.19	16,037.94	7,301.64	15,000	15,000
100-040-54100-54120 Site Improvements				21,639.68		
100-040-54100-54231 Signs/Beautification	31,656.24	25,155.10	37,041.49	114,412.45	115,000	75,000
100-040-54100-54250 Other Equipment	1,256.76	217.60	0.00	4,514.82	10,000	10,000
Subtotals	1,182,955.86	1,647,176.40	1,939,000.09	1,791,515.36	1,743,152	1,643,817

Community Development Department

Community Development						
100-070-57200-51110 Regular Salaries	151,750.56	146,489.16	159,216.42	165,709.44	170,681	170,681
100-070-57200-51200 Fica/Medicare	9,726.84	9,767.72	9,329.72	10,469.94	12,677	12,677
100-070-57200-51210 Group Insurance	0.00	0.00	0.00	10,789.20	24,800	24,800
100-070-57200-51240 Retirement	24,177.92	24,842.68	27,066.78	28,170.60	29,016	29,016
100-070-57200-51260 Unemployment Expense	0.00	0.00	28.50	0.00	0	0
100-070-57200-51270 Workers Comp	145.00	1,006.00	780.50	676.50	1,000	1,350
100-070-57200-51290 Other Emp Benefits	773.50	11,960.40	12,455.40	12,941.67	8,617	8,617
100-070-57200-52120 Professional Services	211,032.60	375,386.68	392,122.24	197,358.79	400,000	550,000
100-070-57200-52121 Contractual Svcs/CH2M	0.00	82,499.83	109,999.86	127,090.48	131,840	131,840
100-070-57200-52125 Town Green	0.00	0.00	0.00	0.00	0	0
100-070-57200-52350 Travel Expense	0.00	0.00	0.00	0.00	3,500	3,500

	FY2015 Actuals	FY2016 Actuals	FY2017 Actuals	FY2018 Actuals	FY2019 Budget	FY2019 Amended Budget
100-070-57200-52360 Dues & Fees	0.00	0.00	0.00	0.00	1,500	1,500
100-070-57200-52370 Education & Training	3,254.06	3,641.75	4,124.48	1,013.73	3,500	3,500
100-070-57200-53175 Hospitality Supplies	0.00	0.00	4,383.10	2,644.63	6,000	6,000
100-070-57200-56230 Multi-Use Trail	0.00	0.00	276,193.00	145,669.95	0	0
Subtotals	400,860.48	655,594.22	995,700.00	702,534.93	793,131	943,481
Building Department						
100-070-57220-52120 Professional Services	0.00	0.00	0.00	0.00	0	0
100-070-57220-52121 Contractual Svcs/CH2M	0.00	0.00	20,254.32	554,574.60	633,450	633,450
100-070-57220-52123 Contractual Svcs/CAA	393,056.29	415,238.55	381,487.18	0.00	0	0
Subtotals	393,056.29	415,238.55	401,741.50	554,574.60	633,450	633,450
Planning & Zoning						
100-070-57410-52120 Professional Services	0.00	0.00	0.00	0.00	0	0
100-070-57410-52121 Contractual Svcs/CH2M	233,746.32	217,467.36	217,467.36	184,858.92	246,300	246,300
Subtotals	233,746.32	217,467.36	217,467.36	184,858.92	246,300	246,300
Code Enforcement						
100-070-57450-52120 Professional Services	0.00	0.00	0.00	0.00	0	0
100-070-57450-52121 Contractual Svcs/CH2M	420,743.40	588,441.24	588,441.24	485,254.56	442,900	442,900
Subtotals	420,743.40	588,441.24	588,441.24	485,254.56	442,900	442,900
Designated Reserve						
100-010-59000-57902 Reserve Contingency	76,948.81	1,462,050.74	0.00	0.00	62,596	0
Subtotals	76,948.81	1,462,050.74	0.00	0.00	62,596	0
Total Expenditures	5,542,570.03	8,456,982.02	23,935,047.40	13,585,683.71	12,441,900	16,261,859

	FY2015 Actuals	FY2016 Actuals	FY2017 Actuals	FY2018 Actuals	FY2019 Budget	FY2019 Amended Budget
Fund 320 SPLOST 2014						
320 - SPLOST Revenues						
320-340-34300-34321 Capital Improvement 2014	5,823,241.63	5,946,215.91	4,557,859.99	0.00	0	339,995
320-330-34300-33431 State Government Grants	242,023.85	250,711.51	374,307.29	581,875.08	0	380,749
320-360-36100-36100 Interest	0.00	0.00	6,450.85	3.51	0	0
320-380-38900-38910 Prior Year Reserves	0.00	0.00	4,747,876.00	0.00	1,800,000	1,800,000
Total Department Revenues	6,065,265.48	6,196,927.42	9,686,494.13	581,878.59	1,800,000	2,520,744

320 - SPLOST Expenditures						
320-540-54200-54220 Roadways and Walkways	1,590,993.53	2,107,414.13	2,599,852.17	1,626,967.44	1,800,000	1,800,000
320-530-51590-53104 Service Fees	0.00	0.00	60.00	0.00	0	0
320-540-54200-56220 Transfers to DDA	0.00	0.00	8,324,590.46	0.00	0	0
320-540-54200-56221 Transfers to General Fund				850,000.00	0	
Total Department Expenditures	1,590,993.53	2,107,414.13	10,924,502.63	2,476,967.44	1,800,000	1,800,000

Fund 321 SPLOST 2017

321 - SPLOST Revenues						
321-340-34300-34322 Capital Improvement 2017	0.00	0.00	1,503,746.08	6,233,173.03	5,700,000	5,700,000
321-330-34300-33431 State Government Grants	0.00	0.00	0.00	0.00	0	0
321-360-36100-36100 Interest	0.00	0.00	0.00	12,959.66	0	80,000
321-380-38900-38910 Prior Year Reserves	0.00	0.00	0.00	0.00	0	0
Total Department Revenues	0.00	0.00	1,503,746.08	6,246,132.69	5,700,000	5,780,000

321 - SPLOST Expenditures						
321-540-54200-54220 Roadways and Walkways	0.00	0.00	0.00	1,788,786.24	5,700,000	5,700,000
320-520-51530-52130 Attorney Fees/Other	0.00	0.00	0.00	0.00	0	45,000
321-530-51590-53104 Service Fees	0.00	0.00	0.00	0.00	0	0
Total Department Expenditures	0.00	0.00	0.00	1,788,786.24	5,700,000	5,745,000

	FY2015 Actuals	FY2016 Actuals	FY2017 Actuals	FY2018 Actuals	FY2019 Budget	FY2019 Amended Budget
Fund 540 Solid Waste						
540 - Solid Waste Revenues						
General Government						
540-340-34000-34411 Sanitation	1,275,143.72	1,299,878.39	1,317,285.01	1,306,364.13	1,700,000	1,700,000
540-360-36100-36100 Interest	2,239.97	0.00	0.00	0.00	0	0
540-340-39000-34930 Bad Check Fees	36.00	0.00	0.00	0.00	0	0
Total Department Revenues	1,277,419.69	1,299,878.39	1,317,285.01	1,306,364.13	1,700,000	1,700,000
540 - Solid Waste Expenditures						
Solid Waste and Recycling						
540-540-51590-54510 Solid Waste and Recycling Administr	0.00	0.00	0.00	0.00	0	0
540-530-51590-53105 Operating Supplies/Sanitation	12,310.59	5,263.30	744.50	224.64	30,000	30,000
540-520-51590-52127 Contractual Svcs/Waste Pro	1,144,808.22	1,232,060.60	1,227,772.84	1,227,738.32	1,530,000	1,530,000
540-560-51590-56221 Transfer to General Fund	0.00	0.00	0.00	0.00	27,500	27,500
540-570-59000-57902 Reserve Contingency	0.00	0.00	0.00	0.00	112,500	112,500
Total Department Expenditures	1,157,118.81	1,237,323.90	1,228,517.34	1,227,962.96	1,700,000	1,700,000

	FY2015 Actuals	FY2016 Actuals	FY2017 Actuals	FY2018 Actuals	FY2019 Budget	FY2019 Amended Budget
Fund 560 Stormwater						
560 - Stormwater Fund Revenues						
General Government						
560-340-34400-34426 Stormwater Utility Charges	0.00	0.00	0.00	2,667,249.91	2,800,000	2,800,000
560-360-36100-36100 Interest	0.00	0.00	0.00	0.00	0	0
560-390-391-39131 Capital Contribution						
Total Department Revenues	0.00	0.00	0.00	2,667,249.91	2,800,000	2,800,000
560 - Stormwater Fund Expenditures						
Stormwater						
560-540-51590-54320 Stormwater Collection and Disposal	0.00	0.00	0.00	55,221.39	1,110,761	1,110,761
560-520-51590-52120 Professional Services	0.00	0.00	0.00	102,376.54	500,000	500,000
560-520-51590-52121 Contractual Svcs/CH2M	0.00	0.00	0.00	417,443.45	773,204	773,204
560-520-51590-52124 Contractual Svcs/Optech	0.00	0.00	0.00	84,479.40	209,085	209,085
560-530-51590-53106 Operating Supplies/Stormwater	0.00	0.00	0.00	85.02	15,000	15,000
560-560-51590-56221 Transfer to General Fund	0.00	0.00	0.00	0.00	191,950	191,950
560-570-59000-57902 Reserve Contingency	0.00	0.00	0.00	0.00	0	0
Total Department Expenditures	0.00	0.00	0.00	659,605.80	2,800,000	2,800,000

02019-05-146

AN ORDINANCE OF THE CITY OF PEACHTREE CORNERS, GEORGIA, ADOPTING THE FISCAL YEAR 2020 BUDGET FOR EACH FUND OF THE CITY OF CITY OF PEACHTREE CORNERS, GEORGIA. APPROPRIATING THE AMOUNTS SHOW IN IN EACH BUDGET AS EXPENDITURES, ADOPTING THE ANTICIPATED REVENUES FOR EACH FUND, PROHIBITING EXPENDITURES TO EXCEED APPROPRIATIONS FOR EACH FUND AND PROHIBITING EXPENDITURES TO EXCEED ACTUAL FUNDING AVAILABLE FOR EACH FUND.

WHEREAS, A PROPOSED Budget for each of the various funds of the City has been presented to the City Council by the Mayor; and

WHEREAS, appropriately advertised public hearings have been held on the proposed Budget, as required by State law and City Charter; and

WHEREAS, the city Council has reviewed the proposed Budget and has made certain amendments to both funding sources and appropriations; and

WHEREAS, the Mayor and City Council intend to adopt an annual Operating Budget for the Fiscal Year 2020, and a Capital Improvements Budget for the Fiscal Year 2020, and a Enterprise Budget for the Fiscal Year 2020.

NOW THEREFORE, THE MAYOR AND COUNCIL OF THE CITY OF PEACHTREE CORNERS HEREBY ORDAIN that the Operating Budget, shown as “Exhibit A” attached hereto and by this reference made a part of this Ordinance, shall be the City of Peachtree Corners’ Fiscal Year 2020 Operating Budget; and

BE IT FURTHER ORDAINED that this Budget be and is hereby approved and that the anticipated revenues presented for each fund are adopted in the amounts shown and that the amounts shown for each fund as proposed expenditures are hereby appropriated to the department named in each fund; and

BE IT FURTHER ORDAINED that any increase or decrease in appropriations or revenues of any fund for any department or the establishment of capital projects other than those exceptions provided for herein shall require approval of the Mayor and Council; and

BE IT FURTHER ORDAINED that, as provided in Section 6.26 of the City Charter, such revisions to the Budget may be made by majority vote of the Mayor and Council at any business meeting; and

BE IT FURTHER ORDAINED that the expenditures shall not exceed the appropriations authorized by this Budget or amendments thereto and that expenditures for the fiscal year shall not exceed actual funding available; and

BE IT FURTHER ORDAINED that the city Manager or his/her designee may promulgate all necessary internal rules, regulations and policies to ensure compliance with the Budget Ordinance.

STATE OF GEORGIA
COUNTY OF GWINNETT
CITY OF PEACHTREE CORNERS

ORDINANCE 2019-05-146

SO ORDAINED AND EFFECTIVE, this _____ day of _____, 2019.

Approved:

ATTEST:

Mike Mason, Mayor

_____(SEAL)
Kymberly Chereck, City Clerk

2020

PROPOSED BUDGET



Fiscal Year 2020
July 1, 2019 – June 30, 2020

FY2020 GENERAL FUND BUDGET SUMMARY

	FY2015 Actuals	FY2016 Actuals	FY2017 Actuals	FY2018 Actuals	FY2019 Budget	FY2019 Amended Budget	FY2020 Budget
Fees & Taxes	8,676,885.04	8,908,712.30	9,087,824.73	12,221,713.83	9,305,000	10,694,274	9,673,000
Licenses & Permits	984,168.96	1,045,889.12	1,186,272.14	1,383,420.75	1,145,000	1,195,878	1,040,000
Intergovernmental	105,609.76	50,000.00	40,840.80	75,510.00	0.00	1,885,750.00	0
Fines & Forfeitures	6,909.51	8,007.36	4,262.67	4,079.61	8,000	3,857	4,000
Interest Earned	3,807.35	2,397.27	1,100.60	1,708.08	500	850	500
Miscellaneous Revenue	24,706.93	330,612.48	8,415,069.19	3,509,622.55	1,983,400	2,481,250	978,200
Total General Fund Revenues	9,802,087.55	10,345,618.53	18,735,370.13	17,196,054.82	12,441,900	16,261,859	11,695,700

City Council	94,010.41	83,057.15	97,676.72	81,603.44	111,061	111,061	111,061
City Manager	245,186.41	272,838.89	521,401.84	462,198.94	567,979	602,829	653,587
City Clerk	158,658.42	272,034.72	249,794.50	258,998.77	346,325	376,850	524,638
Finance/Administration	336,816.29	266,566.83	280,128.57	322,065.17	456,646	486,811	446,777
Legal	161,606.83	139,916.35	202,295.07	173,178.36	225,000	345,000	320,000
Public Information	235,192.81	283,475.96	380,850.56	664,119.16	576,104	626,104	601,248
General Operations	1,430,155.84	1,401,341.46	1,199,200.41	2,471,275.92	1,678,869	2,220,869	1,875,293
Facilities and Buildings	172,631.86	751,782.15	16,861,349.54	5,433,505.58	4,558,388	7,582,388	2,683,048
Contingency	76,948.81	1,462,050.74	0.00	0.00	62,596	0	0
Community Development	400,860.48	655,594.22	995,700.00	702,534.93	793,131	943,481	1,034,892
Building Department	393,056.29	415,238.55	401,741.50	554,574.60	633,450	633,450	935,688
Code Enforcement	420,743.40	588,441.24	588,441.24	485,254.56	442,900	442,900	122,248
Planning & Zoning	233,746.32	217,467.36	217,467.36	184,858.92	246,300	246,300	464,541
Public Works	1,182,955.86	1,647,176.40	1,939,000.09	1,791,515.36	1,743,152	1,643,817	1,482,588
Total Expenditures	5,542,570.03	8,456,982.02	23,935,047.40	13,585,683.71	12,441,900	16,261,859	11,255,608

FY2020 SOLID WASTE FUND BUDGET SUMMARY

Sanitation	1,275,143.72	1,299,878.39	1,317,285.01	1,306,364.13	1,700,000	1,700,000	1,750,517
Total Revenues	1,275,143.72	1,299,878.39	1,317,285.01	1,306,364.13	1,700,000	1,700,000	1,750,517
Operating Supplies/Sanitation	12,310.59	5,263.30	744.50	224.64	57,500	57,500	57,500
Contractual Svcs/Waste Pro	1,144,808.22	1,232,060.60	1,227,772.84	1,227,738.32	1,530,000	1,530,000	1,580,517
Reserve Contingency	0.00	0.00	86,000.00	0.00	112,500	112,500	112,500
Total Expenditures	1,157,118.81	1,237,323.90	1,314,517.34	1,227,962.96	1,700,000	1,700,000	1,750,517

	FY2015 Actuals	FY2016 Actuals	FY2017 Actuals	FY2018 Actuals	FY2019 Budget	FY2019 Amended Budget	FY2020 Budget
FY2020 SPLOST FUND BUDGET SUMMARY							
Capital Improvement 2014	6,065,265.48	6,196,927.42	9,686,494.13	581,878.59	1,800,000	2,520,744	400,000
Capital Improvement 2017	0.00	0.00	0.00	6,246,132.69	5,700,000	5,780,000	9,796,225
Total Revenues	6,065,265.48	6,196,927.42	9,686,494.13	6,828,011.28	7,500,000	8,300,744	10,196,225
Roadways and Walkways	1,590,993.53	2,107,414.13	10,924,502.63	8,723,100.13	7,500,000	7,545,000	10,196,225
Total Expenditures	1,590,993.53	2,107,414.13	10,924,502.63	8,723,100.13	7,500,000	7,545,000	10,196,225
FY2020 STORMWATER FUND BUDGET SUMMARY							
Stormwater Utility Charges	0.00	0.00	0.00	2,667,249.91	2,800,000	2,800,000	2,800,000
Total Revenues	0.00	0.00	0.00	2,667,249.91	2,800,000	2,800,000	2,800,000
General Operations	0.00	0.00	0.00	659,605.80	2,800,000	2,800,000	2,800,000
Contingency	0.00	0.00	0.00	0.00	0	0	0
Total Expenditures	0.00	0.00	0.00	659,605.80	2,800,000	2,800,000	2,800,000
TOTAL REVENUES ALL FUNDS	17,142,496.75	17,842,424.34	29,739,149.27	27,997,680.14	24,441,900	29,062,603	26,442,442
TOTAL EXPENDITURES ALL FUNDS	8,290,682.37	11,801,720.05	36,174,067.37	24,196,352.60	24,441,900	28,306,859	26,002,350

	FY2015 Actuals	FY2016 Actuals	FY2017 Actuals	FY2018 Actuals	FY2019 Budget	FY2019 Amended Budget	FY2020 Budget
100- General Fund Revenue Detail							
General Property Tax							
100-310-31100-31100 Ad Valorem Tax-Current Year	0.00	0.00	0.00	0.00	0	0	0
100-310-31100-31110 Public Utility Tax	0.00	0.00	0.00	0.00	0	0	0
100-310-31100-31200 Ad Valorem Tax-Prior Year	3,451.45	488.22	4,003.90	504.07	0	339	0
100-310-31100-31310 Motor Vehicle Tax	154.07	32.06	7.05	0.20	0	0	0
100-310-31100-31315 Title Ad Valorem Tax	752,918.18	608,791.44	378,633.99	558,528.22	300,000	650,000	450,000
100-310-31100-31320 Mobile Home Tax	0.00	0.00	0.00	0.00	0	0	0
100-310-31100-31325 Heavy Equipment Tax	0.00	0.00	0.00	0.00	0	0	0
100-310-31100-31340 Intangible Tax Revenue	0.00	0.00	0.00	0.00	0	0	0
100-310-31100-31350 Railroad Equipment Tax	0.00	0.00	0.00	0.00	0	0	0
100-310-31100-31360 Real Estate Transfer Tax	0.00	0.00	0.00	0.00	0	0	0
100-310-31100-31370 Franchise Fees	3,028,562.59	3,053,323.95	3,220,188.19	4,994,280.45	3,500,000	3,590,000	3,500,000
Subtotal	3,785,086.29	3,662,635.67	3,602,833.13	5,553,312.94	3,800,000	4,240,339	3,950,000
Selective Sales and Use Tax							
100-310-31400-34200 Alcoholic Beverage Excise Tax	269,863.95	253,258.99	255,952.40	236,430.55	250,000	250,000	250,000
100-310-31400-34300 Local Option Mixed Drink	101,444.09	112,044.23	113,536.91	115,390.94	105,000	132,000	105,000
100-310-31400-34900 Other Selective Tax	11,194.61	15,836.34	16,675.95	360,176.92	0	0	18,000
Subtotal	382,502.65	381,139.56	386,165.26	711,998.41	355,000	382,000	373,000
Business Taxes							
100-310-31600-31610 Business & Occupation Taxes	2,396,689.41	2,567,228.49	2,606,671.93	3,294,711.86	2,550,000	3,150,000	2,550,000
100-310-31600-31620 Insurance Premium Tax	2,050,114.78	2,190,210.64	2,372,423.66	2,525,915.69	2,500,000	2,723,935	2,700,000
100-310-31600-31630 Financial Institutions Taxes	62,328.06	106,543.99	119,730.75	135,774.93	100,000	198,000	100,000
Subtotal	4,509,132.25	4,863,983.12	5,098,826.34	5,956,402.48	5,150,000	6,071,935	5,350,000
Pen & Int on Delinq Tax							
100-310-31900-39100 Pen & Int on Delinq Tax	163.85	953.95	0.00	0.00	0	0	0
Subtotal	163.85	953.95	0.00	0.00	0	0	0
Business License							
100-320-32100-32110 Alcoholic Beverages	351,510.00	367,765.00	417,893.26	407,146.00	375,000	418,778	380,000
100-320-32100-32120 General Business License	0.00	0.00	0.00	0.00	0	0	0
100-320-32100-32190 Other Licenses/Permits	0.00	1,050.00	1,850.00	3,900.00	0	4,600	0
100-320-32100-32210 Insurance License	14,500.00	21,470.00	22,343.50	24,845.41	20,000	30,500	20,000
Subtotal	366,010.00	390,285.00	442,086.76	435,891.41	395,000	453,878	400,000
Licenses & Permits							
100-320-32200-32200 Building Permits	578,073.96	610,939.92	692,746.26	881,886.34	700,000	700,000	600,000
100-320-32200-32202 Development Permits	40,085.00	44,664.20	51,439.12	65,643.00	50,000	42,000	40,000
Subtotal	618,158.96	655,604.12	744,185.38	947,529.34	750,000	742,000	640,000

	FY2015 Actuals	FY2016 Actuals	FY2017 Actuals	FY2018 Actuals	FY2019 Budget	FY2019 Amended Budget	FY2020 Budget
Regulatory Fees							
100-320-32300-32300 Regulatory Fees	0.00	0.00	0.00	0.00	0	0	0
100-320-32300-32310 Inspection Fees	0.00	0.00	0.00	0.00	0	0	0
Subtotal	0.00	0.00	0.00	0.00	0	0	0
Federal Government Grants							
100-330-33100-32310 Federal Grants	79,747.81	0.00	0.00	0.00	0	1,876,630	0
Subtotal	79,747.81	0.00	0.00	0.00	0	1,876,630	0
State Government Grants							
100-330-34300-33401 State Grants Received	8,189.45	50,000.00	40,840.80	75,510.00	0	9,120	0
Subtotal	8,189.45	50,000.00	40,840.80	75,510.00	0	9,120	0
Local Government Shared Rev							
100-330-33370-33720 Local Government Reimb	17,672.50	0.00	0.00	0.00	0	0	0
Subtotal	17,672.50	0.00	0.00	0.00	0	0	0
General Government							
100-340-34000-34119 Other Fees	-1,917.87	3,938.12	84,408.89	55,063.18	0	79,950	0
100-340-34000-34190 Election Qualifying Fees	0.00	1,710.00	0.00	1,200.00	0	0	0
100-340-34000-34430 Electricity	516.80	324,284.36	330,480.30	334,724.74	324,000	333,000	330,000
Subtotal	-1,401.07	329,932.48	414,889.19	390,987.92	324,000	412,950	330,000
Fine and Forfeitures							
100-350-35100-35100 Municipal Court	6,909.51	8,007.36	4,262.67	4,079.61	8,000	3,857	4,000
Subtotal	6,909.51	8,007.36	4,262.67	4,079.61	8,000	3,857	4,000
Interest Revenues							
100-360-36100-36100 Interest Revenues	3,807.35	2,397.27	1,100.60	1,708.08	500	850	500
Subtotal	3,807.35	2,397.27	1,100.60	1,708.08	500	850	500
Contribution/Donations							
100-370-37100-37100 General City	26,000.00	500.00	0.00	15,000.00	0	0	0
Subtotal	26,000.00	500.00	0.00	15,000.00	0	0	0
Other Charges for Svcs							
100-340-39000-34930 Bad Check Fees	108.00	180.00	180.00	0.00	0	140	0
Subtotal	108.00	180.00	180.00	0.00	0	140	0
Other							
100-380-38100-38100 Rental Revenue	0.00	0.00	0.00	53,690.63	278,000	415,000	428,750
100-380-38100-38101 Rent Community Chest	0.00	0.00	0.00	675.00	0	3,000	0

	FY2015 Actuals	FY2016 Actuals	FY2017 Actuals	FY2018 Actuals	FY2019 Budget	FY2019 Amended Budget	FY2020 Budget
100-380-38900-38900 Other	0.00	0.00	0.00	0.00	0	80	0
100-380-38900-38910 Prior Year Reserves	0.00	0.00	0.00	2,199,269.00	1,250,000	1,430,630	0
Subtotal	0.00	0.00	0.00	2,253,634.63	1,528,000	1,848,710	428,750
Other Financing Sources							
100-390-39100-39105 Loan Proceeds	0.00	0.00	8,000,000.00	0.00	0	0	0
100-390-39100-39115 Transfers from SPLOST	0.00	0.00	0.00	850,000.00	0	0	0
100-390-39100-39120 Transfers from Stormwater	0.00	0.00	0.00	0.00	103,900	191,950	191,950
100-390-39100-39121 Transfers from Solid Waste	0.00	0.00	0.00	0.00	27,500	27,500	27,500
Subtotal	0.00	0.00	8,000,000.00	850,000.00	131,400	219,450	219,450
Proceeds of Gen Long Term Liab							
100-390-39300-39350 Capital Leases	0.00	0.00	0.00	0.00	0	0	0
Subtotal	0.00	0.00	0.00	0.00	0	0	0
Total Department Revenues	9,802,087.55	10,345,618.53	18,735,370.13	17,196,054.82	12,441,900	16,261,859	11,695,700

	FY2015 Actuals	FY2016 Actuals	FY2017 Actuals	FY2018 Actuals	FY2019 Budget	FY2019 Amended Budget	FY2020 Budget
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100 - General Fund Expenditures Detail

Administrative Services Department

City Council

100-010-51100-51110 Regular Salaries	57,000.24	55,666.90	57,000.24	57,000.24	57,000	57,000	57,000
100-010-51100-51200 FICA/Medicare	4,360.56	4,258.56	4,320.63	4,360.56	4,361	4,361	4,361
100-010-51100-51260 Unemployment Expense	0.00	0.00	0.00	0.00	0	0	0
100-010-51100-51270 Workers Comp	0.00	0.00	1,148.00	1,761.00	1,200	1,200	1,200
100-010-51100-52370 Education & Training	27,814.22	17,832.46	28,884.58	11,213.39	35,000	35,000	35,000
100-010-51100-53101 Postage	0.00	0.00	0.00	0.00	500	500	500
100-010-51100-53170 Other Supplies	1,763.71	1,569.95	1,073.99	1,964.17	5,000	5,000	5,000
100-010-51100-53175 Hospitality Supplies	3,071.68	3,729.28	5,249.28	5,304.08	8,000	8,000	8,000
Subtotals	94,010.41	83,057.15	97,676.72	81,603.44	111,061	111,061	111,061

City Manager

100-010-51300-51110 Regular Salaries	174,099.96	185,100.00	370,498.55	183,851.32	204,983	204,983	211,403
100-010-51300-51200 FICA/Medicare	10,123.34	10,371.92	21,569.42	10,882.42	15,681	15,681	16,172
100-010-51300-51210 Group Insurance	21,801.40	22,903.00	31,229.80	30,628.00	24,800	24,800	24,800
100-010-51300-51240 Retirement	28,220.04	29,934.17	35,899.51	25,739.18	28,698	28,698	29,596
100-010-51300-51260 Unemployment Expense	0.00	0.00	0.00	0.00	0	0	0
100-010-51300-51270 Workers Comp	1,769.00	1,527.00	928.00	676.50	1,000	1,350	1,000
100-010-51300-51290 Other Emp Benefits	773.50	1,856.40	39,017.30	21,977.42	21,817	21,817	24,615
100-010-51300-51280 Relocation Expense	0.00	14,350.00	9,000.00	0.00	0	0	0
100-010-51300-52120 Professional Services	0.00	0.00	0.00	174,403.66	250,000	250,000	300,000
100-010-51300-52350 Travel Expense	4,311.45	1,920.33	3,279.89	7,073.65	5,000	35,000	30,000
100-010-51300-52360 Dues & Fees	130.00	2,680.00	2,110.00	2,785.00	3,500	3,500	3,500
100-010-51300-52370 Education & Training	3,210.00	1,606.10	1,835.00	1,090.00	3,000	7,500	3,000
100-010-51300-53100 Operating Supplies	63.38	0.00	4,422.56	2,343.47	7,500	7,500	7,500
100-010-51300-53175 Hospitality Supplies	684.34	589.97	1,611.81	748.32	2,000	2,000	2,000
Subtotals	245,186.41	272,838.89	521,401.84	462,198.94	567,979	602,829	653,587

City Clerk

100-010-51130-51110 Regular Salaries	85,000.08	90,639.96	93,359.16	96,159.96	118,450	118,450	118,450
100-010-51130-51200 FICA/Medicare	6,676.52	6,933.96	7,070.73	7,345.44	9,061	9,061	9,061
100-010-51130-51210 Group Insurance	19,661.40	20,763.00	19,190.80	21,441.60	24,800	24,800	24,800
100-010-51130-51240 Retirement	14,450.04	15,328.94	15,871.05	16,347.24	20,137	20,137	20,137
100-010-51130-51260 Unemployment Expense	0.00	0.00	0.00	0.00	0	0	0
100-010-51130-51270 Workers Comp	629.00	391.00	459.00	278.00	685	685	685
100-010-51130-51290 Other Emp Benefits	529.50	1,270.80	1,298.40	6,448.71	8,017	8,017	11,560
100-010-51130-52112 Election Services	23,660.57	23,736.29	3,750.00	35,866.39	55,000	55,000	55,000
100-010-51130-52121 Contractual Svcs/CH2M	0.00	102,337.56	102,337.56	69,322.08	100,175	125,200	268,945

	FY2015 Actuals	FY2016 Actuals	FY2017 Actuals	FY2018 Actuals	FY2019 Budget	FY2019 Amended Budget	FY2020 Budget
100-010-51130-52330 Advertising	660.00	1,290.00	1,638.00	1,790.00	2,500	8,000	8,000
100-010-51130-52350 Travel Expense	1,608.15	992.90	2,182.89	1,580.73	2,500	2,500	3,000
100-010-51130-52360 Dues & Fees	290.00	0.00	525.00	852.14	1,000	1,000	1,000
100-010-51130-52370 Education & Training	1,123.00	648.31	1,005.00	0.00	2,000	2,000	2,000
100-010-51130-53100 Operating Supplies	540.46	2,061.75	1,130.85	1,566.48	2,000	2,000	2,000
100-010-51130-53101 Postage	3,829.70	5,640.25	-23.94	0.00	0	0	0
Subtotals	158,658.42	272,034.72	249,794.50	258,998.77	346,325	376,850	524,638
Finance & Administration							
100-010-51510-51110 Regular Salaries	0.00	0.00	22,500.00	140,672.26	154,067	154,067	158,634
100-010-51510-51200 FICA/Medicare	0.00	0.00	1,721.26	10,761.50	11,786	11,786	12,135
100-010-51510-51210 Group Insurance	0.00	0.00	3,550.80	21,441.60	24,800	24,800	24,800
100-010-51510-51240 Retirement	0.00	0.00	3,825.00	23,914.34	26,191	26,191	26,968
100-010-51510-51260 Unemployment Expense	0.00	0.00	0.00	0.00	0	0	0
100-010-51510-51270 Workers Comp	0.00	0.00	0.00	278.00	685	1,350	1,000
100-010-51510-51290 Other Emp Benefits	0.00	0.00	650.00	6,192.42	8,617	8,617	12,240
100-010-51510-52110 Audit Services	19,800.00	23,515.00	23,245.00	39,010.00	38,000	38,000	38,000
100-010-51510-52120 Professional Services	0.00	0.00	0.00	4,109.90	75,000	90,000	150,000
100-010-51510-52121 Contractual Svcs/CH2M	317,016.29	243,051.83	222,797.51	69,322.08	109,000	109,000	0
100-010-51510-52350 Travel Expense	0.00	0.00	0.00	789.07	3,500	15,000	15,000
100-010-51510-52360 Dues & Fees	0.00	0.00	0.00	1,296.00	1,500	2,000	2,000
100-010-51510-52370 Education & Training	0.00	0.00	1,839.00	4,278.00	3,500	6,000	6,000
Subtotals	336,816.29	266,566.83	280,128.57	322,065.17	456,646	486,811	446,777
Legal Services Department							
100-010-51530-52122 Attorney Fees/Riley & McL	99,548.98	88,725.69	72,826.50	66,832.06	125,000	80,000	80,000
100-010-51530-52130 Attorney Fees/Other	62,057.85	51,190.66	129,468.57	106,346.30	100,000	265,000	240,000
Subtotals	161,606.83	139,916.35	202,295.07	173,178.36	225,000	345,000	320,000
Facilities & Buildings Dept							
100-010-51565-51300 Technical Services	24,893.97	26,221.96	32,034.61	132,422.57	162,000	125,000	150,000
100-010-51565-52200 Repairs & Maintenance	0.00	0.00	0.00	189,791.51	200,000	600,000	250,000
100-010-51565-52301 Real Estate Rents/Leases	107,029.96	109,119.63	202,633.87	70,383.57	90,132	90,132	90,132
100-010-51565-52302 Economic Dev	0.00	600,000.00	460,000.00	500,000.00	500,000	500,000	500,000
100-010-51565-53103 Office Supplies	565.28	0.00	0.00	0.00	10,000	10,000	10,000
100-010-51565-53121 Water/Sewage	0.00	0.00	0.00	2,806.64	15,000	15,000	17,000
100-010-51565-53122 Natural Gas	0.00	0.00	0.00	0.00	0	2,500	6,000
100-010-51565-53123 Electricity	0.00	0.00	0.00	59,466.08	150,000	100,000	225,000
100-010-51565-54100 Land	0.00	0.00	1,022,277.73	0.00	0	527,000	0
100-010-51565-54130 Buildings	0.00	0.00	3,845,711.47	3,279,682.96	0	1,870,000	0
100-010-51565-54230 Furniture And Fixtures	40,142.65	16,440.56	325.00	902,425.64	25,000	100,000	35,000
100-010-51565-55530 Community Services	0.00	0.00	0.00	0.00	100,000	0	100,000
100-010-51565-56220 Transfer to DDA	0.00	0.00	11,228,057.27	121,787.72	2,500,000	2,745,000	637,000

	FY2015 Actuals	FY2016 Actuals	FY2017 Actuals	FY2018 Actuals	FY2019 Budget	FY2019 Amended Budget	FY2020 Budget
100-010-51565-58130 Principal Note Payments	0.00	0.00	0.00	0.00	555,000	555,000	435,000
100-010-51565-58230 Interest Note Payments	0.00	0.00	0.00	174,738.89	251,256	251,256	227,916
100-010-51565-58400 Closing Costs	0.00	0.00	70,309.59	0.00	0	91,500	0
Subtotals	172,631.86	751,782.15	16,861,349.54	5,433,505.58	4,558,388	7,582,388	2,683,048

Public Information

100-010-51570-52120 Professional Services	102,272.82	145,753.95	154,698.08	386,830.84	350,000	400,000	479,000
100-010-51570-52121 Contractual Svcs/CH2M	132,919.99	137,722.01	226,152.48	277,288.32	226,104	226,104	122,248
Subtotals	235,192.81	283,475.96	380,850.56	664,119.16	576,104	626,104	601,248

General Operations

100-010-51590-52103 Technical Services	97,613.64	95,583.95	97,923.66	214,170.58	235,000	275,000	290,000
100-010-51590-52111 Official/Admin Svcs	17,521.02	1,471.68	68,691.68	66,007.41	70,000	0	70,000
100-010-51590-52120 Professional Services	607,958.91	600,353.06	561,044.40	1,189,544.25	518,000	1,000,000	812,293
100-010-51590-52128 Commissions	13,191.09	9,525.68	5,503.94	9,774.27	0	10,000	0
100-010-51590-52310 General Liability Insurance	17,337.17	21,749.33	19,497.67	35,207.17	35,000	35,000	75,000
100-010-51590-53100 Operating Supplies	31,430.33	33,231.38	31,583.12	48,880.32	55,000	55,000	55,000
100-010-51590-53101 Postage	0.00	0.00	7,530.38	6,135.82	10,000	10,000	10,000
100-010-51590-53103 Office Supplies	10,112.45	9,997.50	8,681.48	10,922.35	15,000	15,000	15,000
100-010-51590-53104 Service Fees	13,825.83	7,881.03	10,717.09	16,202.33	15,000	15,000	15,000
100-010-51590-53123 Electricity	172,750.39	347,468.81	352,316.90	385,433.98	421,000	421,000	438,000
100-010-51590-53132 Interest	403,181.63	216,381.93	0.00	0.00	0	0	0
100-010-51590-54240 Computer/Software	39,450.94	52,396.54	35,710.09	488,997.44	95,000	175,000	95,000
100-010-51590-58132 Other Debt Principal	4,824.38	4,982.96	0.00	0.00	0	0	0
100-010-51590-58232 Other Debt Interest	958.06	317.61	0.00	0.00	209,869	209,869	0
Subtotals	1,430,155.84	1,401,341.46	1,199,200.41	2,471,275.92	1,678,869	2,220,869	1,875,293

Public Works Department

Public Works

100-040-54100-51110 Regular Salaries	0.00	0.00	29,166.67	145,281.54	154,518	154,518	158,753
100-040-54100-51200 Fica/Medicare	0.00	0.00	2,227.65	11,113.98	11,821	11,821	12,145
100-040-54100-51210 Group Insurance	0.00	0.00	3,550.80	21,441.60	24,800	24,800	24,800
100-040-54100-51240 Retirement	0.00	0.00	4,958.33	24,697.83	26,268	26,268	26,988
100-040-54100-51260 Unemployment Expense	0.00	0.00	0.00	0.00	0	0	0
100-040-54100-51270 Workers Comp	0.00	0.00	0.00	278.00	685	1,350	1,000
100-040-54100-51290 Other Emp Benefits	0.00	0.00	1,725.00	9,192.42	9,817	9,817	13,515
100-040-54100-52120 Professional Services	195,428.45	287,566.10	526,029.54	223,422.66	200,000	100,000	200,000
100-040-54100-52121 Contractual Svcs/CH2M	479,977.01	615,494.32	628,164.00	433,602.46	404,244	404,244	171,147
100-040-54100-52124 Contractual Svcs/Optech	458,686.96	650,507.64	645,753.28	655,485.18	662,000	662,000	675,240

	FY2015 Actuals	FY2016 Actuals	FY2017 Actuals	FY2018 Actuals	FY2019 Budget	FY2019 Amended Budget	FY2020 Budget
100-040-54100-52126 Road Maint Supplies	10,918.20	51,335.45	44,345.39	115,264.05	100,000	140,000	100,000
100-010-54100-52350 Travel Expense	0.00	0.00	0.00	1,063.30	3,000	3,000	3,000
100-010-54100-52360 Dues & Fees	0.00	0.00	0.00	1,485.75	3,000	3,000	3,000
100-010-54100-52370 Education & Training	0.00	0.00	0.00	1,318.00	3,000	3,000	3,000
100-040-54100-53100 Operating Supplies	5,032.24	16,900.19	16,037.94	7,301.64	15,000	15,000	15,000
100-040-54100-54120 Site Improvements				21,639.68			
100-040-54100-54231 Signs/Beautification	31,656.24	25,155.10	37,041.49	114,412.45	115,000	75,000	65,000
100-040-54100-54250 Other Equipment	1,256.76	217.60	0.00	4,514.82	10,000	10,000	10,000
Subtotals	1,182,955.86	1,647,176.40	1,939,000.09	1,791,515.36	1,743,152	1,643,817	1,482,588

Community Development Department

Community Development

100-070-57200-51110 Regular Salaries	151,750.56	146,489.16	159,216.42	165,709.44	170,681	170,681	170,681
100-070-57200-51200 Fica/Medicare	9,726.84	9,767.72	9,329.72	10,469.94	12,677	12,677	12,677
100-070-57200-51210 Group Insurance	0.00	0.00	0.00	10,789.20	24,800	24,800	24,800
100-070-57200-51240 Retirement	24,177.92	24,842.68	27,066.78	28,170.60	29,016	29,016	29,016
100-070-57200-51260 Unemployment Expense	0.00	0.00	28.50	0.00	0	0	0
100-070-57200-51270 Workers Comp	145.00	1,006.00	780.50	676.50	1,000	1,350	1,000
100-070-57200-51290 Other Emp Benefits	773.50	11,960.40	12,455.40	12,941.67	8,617	8,617	12,172
100-070-57200-52120 Professional Services	211,032.60	375,386.68	392,122.24	197,358.79	400,000	550,000	250,000
100-070-57200-52121 Contractual Svcs/CH2M	0.00	82,499.83	109,999.86	127,090.48	131,840	131,840	220,046
100-070-57200-52125 Town Green	0.00	0.00	0.00	0.00	0	0	300,000
100-070-57200-52350 Travel Expense	0.00	0.00	0.00	0.00	3,500	3,500	3,500
100-070-57200-52360 Dues & Fees	0.00	0.00	0.00	0.00	1,500	1,500	1,500
100-070-57200-52370 Education & Training	3,254.06	3,641.75	4,124.48	1,013.73	3,500	3,500	3,500
100-070-57200-53175 Hospitality Supplies	0.00	0.00	4,383.10	2,644.63	6,000	6,000	6,000
100-070-57200-56230 Multi-Use Trail	0.00	0.00	276,193.00	145,669.95	0	0	0
Subtotals	400,860.48	655,594.22	995,700.00	702,534.93	793,131	943,481	1,034,892

Building Department

100-070-57220-52120 Professional Services	0.00	0.00	0.00	0.00	0	0	0
100-070-57220-52121 Contractual Svcs/CH2M	0.00	0.00	20,254.32	554,574.60	633,450	633,450	935,688
100-070-57220-52123 Contractual Svcs/CAA	393,056.29	415,238.55	381,487.18	0.00	0	0	0
Subtotals	393,056.29	415,238.55	401,741.50	554,574.60	633,450	633,450	935,688

Planning & Zoning

100-070-57410-52120 Professional Services	0.00	0.00	0.00	0.00	0	0	0
100-070-57410-52121 Contractual Svcs/CH2M	233,746.32	217,467.36	217,467.36	184,858.92	246,300	246,300	464,541
Subtotals	233,746.32	217,467.36	217,467.36	184,858.92	246,300	246,300	464,541

	FY2015 Actuals	FY2016 Actuals	FY2017 Actuals	FY2018 Actuals	FY2019 Budget	FY2019 Amended Budget	FY2020 Budget
Code Enforcement							
100-070-57450-52120 Professional Services	0.00	0.00	0.00	0.00	0	0	0
100-070-57450-52121 Contractual Svcs/CH2M	420,743.40	588,441.24	588,441.24	485,254.56	442,900	442,900	122,248
Subtotals	420,743.40	588,441.24	588,441.24	485,254.56	442,900	442,900	122,248
Designated Reserve							
100-010-59000-57902 Reserve Contingency	76,948.81	1,462,050.74	0.00	0.00	62,596	0	0
Subtotals	76,948.81	1,462,050.74	0.00	0.00	62,596	0	0
Total Expenditures	5,542,570.03	8,456,982.02	23,935,047.40	13,585,683.71	12,441,900	16,261,859	11,255,608

	FY2015 Actuals	FY2016 Actuals	FY2017 Actuals	FY2018 Actuals	FY2019 Budget	FY2019 Amended Budget	FY2020 Budget
Fund 320 SPLOST 2014							
320 - SPLOST Revenues							
320-340-34300-34321 Capital Improvement 2014	5,823,241.63	5,946,215.91	4,557,859.99	0.00	0	339,995	0
320-330-34300-33431 State Government Grants	242,023.85	250,711.51	374,307.29	581,875.08	0	380,749	0
320-360-36100-36100 Interest	0.00	0.00	6,450.85	3.51	0	0	0
320-380-38900-38910 Prior Year Reserves	0.00	0.00	4,747,876.00	0.00	1,800,000	1,800,000	400,000
Total Department Revenues	6,065,265.48	6,196,927.42	9,686,494.13	581,878.59	1,800,000	2,520,744	400,000

320 - SPLOST Expenditures

320-540-54200-54220 Roadways and Walkways	1,590,993.53	2,107,414.13	2,599,852.17	1,626,967.44	1,800,000	1,800,000	400,000
320-530-51590-53104 Service Fees	0.00	0.00	60.00	0.00	0	0	0
320-540-54200-56220 Transfers to DDA	0.00	0.00	8,324,590.46	0.00	0	0	0
320-540-54200-56221 Transfers to General Fund				850,000.00	0		0
Total Department Expenditures	1,590,993.53	2,107,414.13	10,924,502.63	2,476,967.44	1,800,000	1,800,000	400,000

Fund 321 SPLOST 2017

321 - SPLOST Revenues

321-340-34300-34322 Capital Improvement 2017	0.00	0.00	1,503,746.08	6,233,173.03	5,700,000	5,700,000	6,300,000
321-330-34300-33431 State Government Grants	0.00	0.00	0.00	0.00	0	0	0
321-360-36100-36100 Interest	0.00	0.00	0.00	12,959.66	0	80,000	40,000
321-380-38900-38910 Prior Year Reserves	0.00	0.00	0.00	0.00	0	0	3,456,225
Total Department Revenues	0.00	0.00	1,503,746.08	6,246,132.69	5,700,000	5,780,000	9,796,225

321 - SPLOST Expenditures

321-540-54200-54220 Roadways and Walkways	0.00	0.00	0.00	1,788,786.24	5,700,000	5,700,000	9,796,225
320-520-51530-52130 Attorney Fees/Other	0.00	0.00	0.00	0.00	0	45,000	
321-530-51590-53104 Service Fees	0.00	0.00	0.00	0.00	0	0	0
Total Department Expenditures	0.00	0.00	0.00	1,788,786.24	5,700,000	5,745,000	9,796,225

	FY2015 Actuals	FY2016 Actuals	FY2017 Actuals	FY2018 Actuals	FY2019 Budget	FY2019 Amended Budget	FY2020 Budget
Fund 540 Solid Waste							
540 - Solid Waste Revenues							
General Government							
540-340-34000-34411 Sanitation	1,275,143.72	1,299,878.39	1,317,285.01	1,306,364.13	1,700,000	1,700,000	1,750,517
540-360-36100-36100 Interest	2,239.97	0.00	0.00	0.00	0	0	0
540-340-39000-34930 Bad Check Fees	36.00	0.00	0.00	0.00	0	0	0
Total Department Revenues	1,277,419.69	1,299,878.39	1,317,285.01	1,306,364.13	1,700,000	1,700,000	1,750,517

540 - Solid Waste Expenditures

Solid Waste and Recycling

540-540-51590-54510 Solid Waste and Recycling Adm	0.00	0.00	0.00	0.00	0	0	0
540-530-51590-53105 Operating Supplies/Sanitation	12,310.59	5,263.30	744.50	224.64	30,000	30,000	30,000
540-520-51590-52127 Contractual Svcs/Waste Pro	1,144,808.22	1,232,060.60	1,227,772.84	1,227,738.32	1,530,000	1,530,000	1,580,517
540-560-51590-56221 Transfer to General Fund	0.00	0.00	0.00	0.00	27,500	27,500	27,500
540-570-59000-57902 Reserve Contingency	0.00	0.00	0.00	0.00	112,500	112,500	112,500
Total Department Expenditures	1,157,118.81	1,237,323.90	1,228,517.34	1,227,962.96	1,700,000	1,700,000	1,750,517

Fund 560 Stormwater

560 - Stormwater Fund Revenues

General Government

560-340-34400-34426 Stormwater Utility Charges	0.00	0.00	0.00	2,667,249.91	2,800,000	2,800,000	2,800,000
560-360-36100-36100 Interest	0.00	0.00	0.00	0.00	0	0	0
560-390-391-39131 Capital Contribution							
Total Department Revenues	0.00	0.00	0.00	2,667,249.91	2,800,000	2,800,000	2,800,000

560 - Stormwater Fund Expenditures

Stormwater

560-540-51590-54320 Stormwater Collection and Disp	0.00	0.00	0.00	55,221.39	1,110,761	1,110,761	1,017,919
560-520-51590-52120 Professional Services	0.00	0.00	0.00	102,376.54	500,000	500,000	500,000
560-520-51590-52121 Contractual Svcs/CH2M	0.00	0.00	0.00	417,443.45	773,204	773,204	861,864
560-520-51590-52124 Contractual Svcs/Optech	0.00	0.00	0.00	84,479.40	209,085	209,085	213,267
560-530-51590-53106 Operating Supplies/Stormwater	0.00	0.00	0.00	85.02	15,000	15,000	15,000
560-560-51590-56221 Transfer to General Fund	0.00	0.00	0.00	0.00	191,950	191,950	191,950
560-570-59000-57902 Reserve Contingency	0.00	0.00	0.00	0.00	0	0	0
Total Department Expenditures	0.00	0.00	0.00	659,605.80	2,800,000	2,800,000	2,800,000